

# PLANNING COMMISSION AGENDA

CHAIRPERSON:

Mary Beatie



VICE CHAIRPERSON:

Bill Davis

COMMISSIONERS: Kris Bruce, Pura Cordero, Charlie Norman, Bill Davis, Mary Beatie

**MONDAY, JANUARY 12, 2026**  
**VISALIA COUNCIL CHAMBERS**  
**LOCATED AT 707 W. ACEQUIA AVENUE, VISALIA, CA**  
**MEETING TIME: 7:00 PM**

1. CALL TO ORDER –
2. THE PLEDGE OF ALLEGIANCE –
3. ROLL CALL –
4. CITIZEN'S COMMENTS – This is the time for citizens to comment on subject matters that are not on the agenda but are within the jurisdiction of the Visalia Planning Commission. You may provide comments to the Planning Commission at this time, but the Planning Commission may only legally discuss those items already on tonight's agenda.  
The Commission requests that a five (5) minute time limit be observed for Citizen Comments. You will be notified when your five minutes have expired.
5. AGENDA COMMENTS OR CHANGES –
6. CONSENT CALENDAR – All items under the consent calendar are to be considered routine and will be enacted by one motion. For any discussion of an item on the consent calendar, it will be removed at the request of the Commission and made a part of the regular agenda.
  - a. No items on the Consent Calendar
7. PUBLIC HEARING – Jarred Olsen, Principal Planner

**Conditional Use Permit No. 2025-036:** A request by Lucky Strike Visalia LLC, to allow for the sales, service, and consumption of distilled spirits at Adventure Park in addition to clarifying and removal of conditions.

Environmental Assessment Status: The project is Categorically Exempt from the California Environmental Quality Act (CEQA) pursuant to CEQA Guidelines Section 15301.

Project Location: The project site is located at 5600 West Cypress Avenue (APN: 087-450-019)

8. WORK SESSION – Leslie Blair, City Traffic Engineer

Overview of How Engineering Evaluates Development Impacts on City Traffic

9. WORK SESSION – Jarred Olsen, Principal Planner

Work Session Discussion on Initiation of Subdivision Ordinance Amendment

10. CITY PLANNER UPDATE –

a. Administrative Adjustment Annual Report to Planning Commission.

b. 2026 Planning Commission Meeting Calendar

c. 2026 Planning Commissioner Academy

11. ADJOURNMENT

The Planning Commission meeting may end no later than 11:00 P.M. Any unfinished business may be continued to a future date and time to be determined by the Commission at this meeting. The Planning Commission routinely visits the project sites listed on the agenda.

For Hearing Impaired – Call (559) 713-4900 (TTY) 48-hours in advance of the scheduled meeting time to request signing services.

Any written materials relating to an item on this agenda submitted to the Planning Commission after distribution of the agenda packet are available for public inspection in the City Office, 315 E. Acequia Visalia, CA 93291, during normal business hours.

**APPEAL PROCEDURE**

**THE LAST DAY TO FILE AN APPEAL IS THURSDAY, JANUARY 22, 2026, BEFORE 5:00 PM**

According to the City of Visalia Zoning Ordinance Section 17.02.145 and Subdivision Ordinance Section 16.04.040, an appeal to the City Council may be submitted within ten days following the date of a decision by the Planning Commission. An appeal form with applicable fees shall be filed with the City Clerk at 220 North Santa Fe Street, Visalia, CA 93292. The appeal shall specify errors or abuses of discretion by the Planning Commission, or decisions not supported by the evidence in the record. The appeal form can be found on the city's website [www.visalia.city](http://www.visalia.city) or from the City Clerk.

**THE NEXT REGULAR MEETING WILL BE HELD ON MONDAY, JANUARY 26, 2026**



# REPORT TO CITY OF VISALIA PLANNING COMMISSION

**HEARING DATE:** January 12, 2026

**PROJECT PLANNER:** Jarred Olsen, Principal Planner  
Phone: (559) 713-4449  
Email: [Jarred.Olsen@visalia.gov](mailto:Jarred.Olsen@visalia.gov)

**SUBJECT:** **Conditional Use Permit No. 2025-036:** A request by Lucky Strike Visalia LLC to allow for the sales, service, and consumption of distilled spirits at Adventure Park in addition to clarifying and removal of conditions.

Applicant: Lucky Strike Visalia, LLC

Location: 5600 West Cypress Avenue (APN: 874-500-19)

## STAFF RECOMMENDATION

Staff recommends approval of Conditional Use Permit No. 2025-036 based on findings and conditions in Resolution No. 2026-01. Staff's recommendation is based on the project's consistency with the policies of the City's General Plan and Zoning Ordinance.

## RECOMMENDED MOTION

I move to approve Conditional Use Permit No. 2025-036 based on findings and conditions in Resolution No. 2026-01.

## PROJECT DESCRIPTION

This request is seeking to add the sale, dispensing, and consumption of distilled spirits to the existing Adventure Park use and seeking to amend some of the conditions approved with prior amended approvals to make it easier for Adventure Park, the City, and the general public to understand conditions and requirements that Adventure Park is required to comply with.

Adventure Park is seeking to allow for distilled spirits sales, dispensing, and consumption within the fenced-in and walled-in areas of the facility, as depicted in red demarcated area as identified per Exhibit "G"). Sales of all alcoholic beverages would still be made within the primary building, and the lounge building that was constructed with the outdoor water park area (see Exhibit's "H" and "G"), with consumption of alcoholic beverages being permitted within the red demarcated area (see Exhibit "G").

Originally approved in 2003, Adventure Park has over time been granted the authorization to sell beer and wine within the restaurant/dining area (2011), as well as to expand its facilities to include other amenities, including the water feature area which also included the approval to sale of beer and wine within the new lounge building associated with the water park (2018). Each amended conditional use permit (CUP) approval referenced prior approvals, with these amendments modifying conditions to those prior approvals, resulting in a "nesting doll" of conditions. As a result, the list of conditions under Recommended Conditions of Approval for each subsequent CUP has become lengthy and redundant, which can make it difficult for not only the new owner of the property to understand the conditions adopted for each CUP, but also for the general public and City staff.

As a result, the applicant is also seeking modifications and/or removal of some alcohol-related conditions because these conditions may be preempted by the California Department of

Alcoholic Beverage Control's (ABC) authority to regulate alcohol sales. For example, ABC has placed operating restrictions on Adventure Park's alcohol licenses as follows:

1. Where on the premises it can sell alcohol.
2. How alcoholic beverages are sold and served.
3. Where its alcoholic beverages can be served.
4. The presence of employees in the areas where alcoholic beverages are being served or consumed.
5. Signage restricting alcohol consumption areas.
6. Limitation on alcohol sales compared to food sales.

More information on Adventure Park's alcohol license and the conditions ABC places on the facility can be found in Exhibit "J".

Additionally, some noise-related conditions are being requested for removal as part of this request as a result of redundancy with other specified conditions regarding noise. For example, all businesses need to comply with the Noise Ordinance is provided as a condition in addition to other conditions that specify compliance with noise standards to not exceed the City's Noise Ordinance. Cleaning up the conditions to remove duplicate requirements would help in clarifying adopted requirements for this use.

## BACKGROUND INFORMATION

General Plan Land Use Designation: Commercial Mixed Use

Zoning: C-MU (Commercial – Mixed Use)

Surrounding Zoning and Land Use: North: O-PA (Office – Professional and Administration) / Offices  
South: C-MU / Hotel  
East: C-MU / Hotel  
West: C-MU / Vacant

Environmental Document Environmental Document No. 2025-63

Site Plan: Site Plan Review No. 2003-093 (Adventure Park), as modified by Site Plan Review No. 2018-058 (Water Feature)

### Related Projects

- **Conditional Use Permit No. 2002-04** authorized the Village West Commercial Master Plan, a planned commercial development, in which Adventure Park is located.
- **Conditional Use Permit No. 2003-39** authorized the construction of the Adventure Park use, which included an arcade, laser tag, miniature golf course, batting cage, miniature race track, and bumper boats.
- **Conditional Use Permit No. 2006-14** was sought by Adventure Park to sell beer and wine, however the request was denied. The denial findings indicated that the sale of alcohol would be detrimental to the public health, safety, and welfare, in that the proposed methods of physically separating alcohol consumption from the youth-oriented activities at the facility would be inadequate to ensure the health, safety, and welfare of the community.

- **Conditional Use Permit No. 2011-24** authorized the sale and service of beer and wine on the Adventure Park premises in the Sports Bar portion of the Adventure Park restaurant.
- **Conditional Use Permit No. 2018-18** authorized the use of the water slide feature and a water feature building, in addition to sales, service, and consumption of alcohol sales to the water feature building.

## **PROJECT EVALUATION**

The site is currently approved to sell, dispense, and allow for the consumption of beer and wine on-site within designated areas. A review of Adventure Park's current license and previous license reveal no disciplinary actions undertaken by ABC. The Police Department has also reviewed the proposal and has no additional conditions to add to their CUP amendment request.

### **Evaluation of the Request**

The applicant is seeking to sell distilled spirits, in addition to the beer and wine that is approved to do, within the fenced or walled in confines of the Adventure Park facility. Currently, the facility has been limited to beer and wine within the buildings.

Staff conducted a review of similar "family entertainment" facilities, such as bowling alleys, kids venues (Chuck E. Cheese), John's Incredible Pizza, and Dave and Buster's. These family entertainment facilities cater to a wide variety of clientele, including children. Even international-drawing family entertainment facilities like Disneyland, Sea World, and Knott's Berry Farm have begun selling cocktails that contain distilled spirits. While children may be more willing to frequent these family entertainment facilities, most attend with the parents or guardians who desire to purchase and consume these beverages. Facilities like these bring either a different type of clientele or a different attitude given the family atmosphere, and thus the security or safety problems most commonly associated with bars or live entertainment are generally not experienced.

The applicant is proposing to modify several conditions spanning the three existing CUPs that Adventure Park is subject to. The actual request can be found under Exhibit "K". Below in Tables 1, 2, and 3 are a review of the applicant's request, staff's analysis, and where the proposed condition can be found, if added or modified, under the Recommended Conditions of Approval section below. Proposed text to be removed and added is in strikethrough and underlined, respectively.

**Table 1. Analysis of Changes to Conditional Use Permit No. 2018-018**

#	Condition	Response
1	That the Conditional Use Permit be developed consistent with the comments and conditions of Site Plan Review No. 2018-058.	This condition refers to development of the site; this condition has been consolidated into Proposed Condition No. 11.
2	<del>That the water feature be installed and operated consistent with Exhibits "A", "B", "D", and "E".</del>	This condition refers to development of the site; this condition has been consolidated into Proposed Condition No 11.

**Table 1. Analysis of Changes to Conditional Use Permit No. 2018-018**

#	Condition	Response
3	<del>That all other applicable conditions of Conditional Use Permit No. 2003-39 and Conditional Use Permit No. 2011-24 shall apply, and the limitations on alcohol sales in the restaurant area of the main building shall be met.</del>	Staff concurs with the removal of this condition, as this Conditional Use Permit is intended to merge all conditions into one permit.
4	<del>That alcoholic beverage service and consumption in the Water Feature facility shall be consistent with the Operational Statement and the Security Plan in Exhibits "F" and "G" of this report. <u>Site Plan and Floor Plans attached hereto.</u></del>	This proposed change would specify where alcohol sales could occur. Staff has no concerns about this change, and is referenced as Proposed Condition No. 23.
5	<del>That private/special events are not restricted to times or locations of alcohol consumption. These restrictions are intended to apply when the facility is open to the public.</del>	This condition is clarifying and is proposed to be removed. Staff has no concerns about the removal of this condition.
6	That signs be posted at the Water Feature exits which state, "No adult beverages allowed beyond this point."	No changes are proposed. This condition can be found under Condition 24.
7	<del>That there shall be no alcohol sales in the Water Feature Lounge when the Water Feature is closed.</del>	This condition is proposed by the applicant to be removed because the Lounge can be used when the water feature is closed. Staff is proposing to amend this to specify that the water feature lounge may be used when the feature is closed, but only when access to the feature is restricted. This can be found under Condition No. 26(e).
8	<del>That there shall be no alcohol sales during Seber Grad Night and similar school activities/events.</del>	It is understood that multiple events could occur on the same day or time as an event or activity that intends to serve primarily minors. Nevertheless, it is incumbent upon the license operator to ensure that minors are not served alcohol. Therefore, staff is satisfied with removal of this condition.
9	That all necessary licenses from the California Alcoholic Beverage Control, commonly known as ABC board, shall be obtained, kept current and complied with.	No changes are proposed. This condition can be found below as Proposed Condition No. 22.
10	That inspection by City representatives on the premises may be conducted at any time during business hours to validate conformance with these conditions of approval.	No changes are proposed. This condition can be found below as Proposed Condition No. 3.

**Table 1. Analysis of Changes to Conditional Use Permit No. 2018-018**

#	Condition	Response
11	<p>The City Planner may initiate a CUP revocation hearing pursuant to Visalia Municipal Code Section No. 17.38.040, based on documented evidence of failure to comply with any conditions of:</p> <ol style="list-style-type: none"><li>Conditional Use Permit No. 2011-24 and Conditional Use Permit No. 2018-18.</li><li>Conditions and Requirements of the Alcoholic Beverage Control license for the business.</li><li>All applicable federal, state and city laws, codes and ordinances.</li></ol>	No changes are proposed, however this CUP is proposed to consolidate conditions into one document. This condition is reworded to be more general as Proposed Condition No. 8.
12	That the operator/owner shall meet and resolve any issues that may be identified by Visalia Police Department, which may result in changes to the security plan. The establishment shall correct any safety or security problem as soon as possible after receiving written notice of such problem from the Visalia Police Department.	No changes are proposed. This condition can be found below as Condition No. 52.
13	That all applicable federal, state, and city laws and codes and ordinances be met, including all necessary licenses from the California Department of Alcohol Beverage Control.	This condition is not proposed to be removed. This condition is being proposed as Condition Nos. 5 and 22.

**Table 2. Analysis of Changes to Conditional Use Permit No. 2011-24**

#	Condition	Response
1	<p>All other conditions of Conditional Use Permit No. 2003-39 shall apply, and the applicable conditions of Site Plan Review No. 2011-111 shall apply. This conditional use permit shall only allow the sale of beer and wine in conjunction with the recreational facility shown in Exhibit "B", and only in conjunction with a bona fide restaurant/buffet. There shall be no adult entertainment or nightclub activities authorized by this Conditional Use Permit. The sale and consumption of alcohol be consistent with the operational statement contained in Exhibit "C"</p>	<p>This condition refers to development of the site; this condition has been consolidated into Proposed Condition No. 11.</p> <p>The adult entertainment and nightclub condition is found under Proposed Condition No. 2.</p>
2	<p>Private/special events conducted during times the Park is closed to the public are not subject to restricted to times or locations of alcohol sales/consumption contained in these Conditions of Approval. Such restrictions contained in these Conditions of Approval are intended to apply only when the facility is open to the public.</p>	This condition is clarifying and is proposed to be removed. Staff has no concerns about the removal of this condition.

**Table 2. Analysis of Changes to Conditional Use Permit No. 2011-24**

#	Condition	Response
3	<del>Alcoholic beverages shall be restricted to the dining area in Exhibit "A" when the Park is open to the public, excepting for events within the outdoor event area, as shown in Exhibit "B", and shall be subject to the Security Plan on file with the Visalia Police Department.</del>	This condition is superseded by the approved CUP No. 2018-018 which allows for alcohol consumption in the Water Feature Lounge, and is proposed to be superseded by the applicant's proposal to serve alcohol within the demarcated areas in Exhibit "G" and Exhibit "H". This change can be found under Proposed Condition No. 23.
4	<del>Guests shall be required to purchase a meal (buffet) to be able to purchase an alcoholic beverage, and there shall be no alcoholic beverage sales when the buffet is closed, excepting for events within the outdoor event area, as shown in Exhibit "B".</del>	Staff is aware that this condition enters a field that is regulated by ABC, as depicted in Exhibit "J".
5	<del>Beer and wine only shall be sold from the alcohol service counter. No soft drinks shall be available for sale from the alcohol service counter.</del>	Staff is aware that this condition enters a field that is regulated by ABC, as depicted in Exhibit "J".
6	<del>Persons who consume alcohol on-site shall be identified by a stamped ink marking which can be identified to Park employees at the batting cages, racetracks, and bumper boats. Stamped individuals shall not be allowed to use these Park attractions after consuming alcoholic beverages. The operator may also use wrist bands in addition to the stamp.</del>	This condition is not proposed to be removed, and can be founder under Proposed Condition No. 14.
7	<del>There shall be no signage inside or on the outside of the facility that identifies or promotes alcoholic beverages or alcoholic beverage brand names or logos. Menu signs may list beer/ wine and costs. Restaurant area may have signs to direct guests to the Sports Dining room for beer and wine sales. The alcohol service counter may have brand identification and related signage within the counter area. Signs be posted at the two exits of the dining area which state, "No alcoholic beverages allowed beyond this point." Signage that displays no alcoholic beverage brand names or logos, may be displayed at the applicant's discretion, with signage copy that "encourages guests to play first and drink later".</del>	Staff concurs with this request. Advertising alcohol sales within a licensed premise is under the jurisdiction of ABC (see Exhibit "J"). With respect to other signage, all other signs and/or request for signage shall comply with the City's Sign Ordinance. Signage regarding where alcohol beverages cannot pass is maintained, and can be found in Proposed Condition No. 27.
8	<del>The maximum occupancy limit established by the Visalia Building Department and Fire Marshal shall be posted and not exceeded.</del>	This condition is not proposed to be removed, and can be founder under Proposed Condition No. 4.

**Table 2. Analysis of Changes to Conditional Use Permit No. 2011-24**

#	Condition	Response
9	Inspections by City representatives on the premises may be conducted at any time during business hours to verify ongoing conformance with these Conditions of Approval.	This condition is not proposed to be removed, and can be found under Proposed Condition No. 3.
10	<del>The City Planner may initiate a CUP revocation hearing pursuant to Visalia Municipal Code Section No. 17.38.040, based on documented evidence of failure to comply with any conditions of:</del> a. Conditional Use Permit No. 2011-24. b. Conditions and Requirements of the Alcoholic Beverage Control license for the business. c. All applicable federal, state and city laws, codes and ordinances.	This CUP is proposed to consolidate conditions into one document. This condition is reworded to be more general as Proposed Condition No. 8.
11	<del>A Security Plan for events within the building and outdoor recreation area be approved by, and filed with the Visalia Police Department (VPD).</del> a. The Plan shall indicate the location and types of barriers, any added personnel and other security measures to assure the separation of events which serve alcoholic beverages, from patrons when the park is open to the public. b. The establishment shall correct any safety or security problem as soon as possible after receiving written notice of such problem from the VPD. c. Contact information for the establishment's designated contact person for all safety and security shall be provided to the VPD District Commander. The operator shall also provide the telephone number for direct contact with the business during business hours.	Removing the condition for a security plan is not acceptable for the City of Visalia. The City wants to work with Adventure Park's new operators to ensure that safety or security problems are addressed in an adequate way, and VPD can know who to contact. A security plan is required for all facilities that have a Conditional Use Permit to serve alcohol. This condition can be found under Proposed Conditions No. 29, 30, and 31.
12	All applicable federal, state, and city laws and codes and ordinances be met, including all necessary licenses from the California Department of Alcohol Beverage Control which shall be obtained, kept current and complied with.	This condition is not proposed to be removed. This condition is being proposed as Condition Nos. 5 and 22.
13	<del>All of the conditions and responsibilities of Conditional Use Permit No. 2011-24 shall run with the land.</del> The property owner and business operator shall provide a copy of this resolution and conditions of approval to any and all subsequent owners/operators who	Conditional Use Permits run with the land where approval is sought, and is simply informing the property owner. While this condition is not proposed to be removed, reference to CUP No. 2011-24 will be removed, and can be found under Proposed Condition No. 6.

**Table 2. Analysis of Changes to Conditional Use Permit No. 2011-24**

#	Condition	Response
	shall also be subject to all of the conditions herein, unless amended or revoked.	
14	<del>Subsequent owners/operators of the facility who chose to utilize this CUP for beer and wine service shall sign a letter of acceptance stating that they understand and agree to all the conditions of Conditional Use Permit No. 2011-24.</del>	Staff concurs with the removal of this condition, as the City no longer requires this for most entitlements.
15	The applicant shall submit to the City of Visalia a signed receipt and acceptance of conditions, stating that they understand and agree to all the conditions of Conditional Use Permit No. 2011-24.	Staff concurs with the removal of this condition, as the City no longer requires this for most entitlements.
16	The property owner shall record in the office of the Tulare County Clerk-Recorder's Office a document in a form acceptable to the City which includes the Planning Commission's resolution of, and conditions for, approval for the proposed uses granted through this Conditional Use Permit. A conformed copy of said recorded document shall be provided to the City's Planning Division prior to commencing operation of the proposed uses.	This condition is not proposed to be removed and can be found in Proposed Condition No. 1.

**Table 3. Analysis of Changes to Conditional Use Permit No. 2003-39**

#	Condition	Response
1	<del>That the proposed facilities shall be generally consistent with the site plan (Exhibit "A")</del>	This condition is related to the development of the Adventure Park facility. As such, staff does not agree that it should be removed and is proposed to remain in Proposed Conditions No. 11.
2	<del>That the proposed facility shall operate in substantial compliance with the operational statement in Exhibit "B".</del>	The original operational statement discussed the number of employees, operating days and hours, and the identification of potential events that could exceed those hours. Given that Adventure Park is located in a Commercial Mixed Use, is located along a commercial corridor and in an area where other commercial uses are not regulated with respect to hours of operation, staff concurs with the removal of these operational requirements. Concerns over noise are adequately addressed by the City's Noise Ordinance which reduces the allowed noise levels during nighttime hours.

**Table 3. Analysis of Changes to Conditional Use Permit No. 2003-39**

#	Condition	Response
3	<del>That the sale of beer and wine is prohibited.</del>	This condition is superseded by the approved CUP Nos. 2011- 24 and 2018-018, in addition to the applicant's proposal. This change can be found under Proposed Condition No. 23.
4	<del>That the facility shall comply with the City of Visalia Noise Ordinance at all times.</del>	No change is proposed. This condition can be found under Proposed Condition No. 15.
5	<del>That all noise generating mechanical equipment be located inside a building or screened with a sound barrier.</del>	Staff disagrees with the removal of this condition. This is a development standard applicable to most zone districts, and can be found in VMC § 17.30.015 (E)(1). This condition can be found under Proposed Condition No. 16.
6	<del>Those outdoor party events at the park shall be regulated so that amplification is limited so that noise levels do not exceed the levels within the City of Visalia Noise Ordinance.</del>	Staff concurs with the removal of this condition, as it is duplicative with Condition 4, and compliance with the City of Visalia Noise Ordinance serves as the "backstop".
7	<del>That should the noise levels exceed the allowable levels in the Noise Ordinance the noise generating activities shall cease operations including but not limited to the mini cars or amplified music.</del>	Staff concurs with the removal of this condition, as this condition serves the same as comply with the City of Visalia Noise Ordinance.
8	<del>That the mitigation measures found within the Mitigation Monitoring Plan for the Village West Commercial Development are hereby incorporated as conditions of this conditional use permit, as amended to include the usage of electric cars in lieu of the depressed track and a block wall.</del>	This condition is related to the development of the Adventure Park facility and is required pursuant to the Environmental Impact Report adopted for the Master Plan area of which the subject property is located in. As such, staff does not agree that it should be removed, and is proposed to remain in Proposed Conditions No. 14.
9	<del>That the applicant provides adequate parking for employees and customers at all times.</del>	No change is proposed. This condition can be found under Proposed Condition No. 19.
10	<del>That additional parking is provided in the event that the 178 spaces provided are inadequate during peak times or cause overflow to adjacent property owners parking. The parking shall be reviewed upon a complaint of adjacent property owners. Upon such review the City shall factually quantify the parking deficiency and impact on adjacent properties and provide the applicant with its report; where after, the applicant shall propose a remedy to meet the parking requirement. The determination of the parking</del>	No change is proposed. This condition can be found under Proposed Condition No. 20.

**Table 3. Analysis of Changes to Conditional Use Permit No. 2003-39**

#	Condition	Response
	deficiency shall be in general conformance with the peak hour and average hour parking methodologies used to establish parking standards for other uses in the City.	
11	That any future parking agreement that may be proposed by the applicant to satisfy condition 10, shall be approved by the City of Visalia and be limited to uses or properties that have excess parking during peak entertainment park hours.	No change is proposed. This condition can be found under Proposed Condition No. 21.
12	That any expansion or change in operation of the entertainment park will require an amendment to the Conditional Use Permit.	No change is proposed. This condition can be found under Proposed Condition No. 7.
13	That construction around the Oak Tree is in accordance with the City of Visalia Oak Tree Ordinance and the adopted Standard Specifications for Building around Valley Oaks.	This condition is related to the development of the Adventure Park facility. As such, staff does not agree that it should be removed, and is proposed to remain in Proposed Conditions No. 12.
14	That the riparian setback along the Persian Ditch be landscaped by the applicant in accordance with the Conservation, Open Space Recreation and Parks Element of the General Plan.	This condition is related to the development of the Adventure Park facility. As such, staff does not agree that it should be removed, and is proposed to remain in Proposed Conditions No. 13.
15	That signage will require a separate permit and shall meet the requirements of the Village West Design Guidelines. Resolution No, 2003-93	This condition is related to the development of the Adventure Park facility. As such, staff does not agree that it should be removed, and is proposed to remain in Proposed Conditions No. 48.
16	That the conditional use permit will be reviewed annually for the project's compliance with the conditions contained herein, and a report prepared to the Planning Commission on such compliance...	Staff concurs that the removal of annual compliance is appropriate, as considerable resources would be spent by the City to monitor conditions. As discussed above in other CUPs, the City already has a revocation process to address non-compliance. However, should Planning Commission decide that retention of this condition is necessary, staff recommend that a condition be placed that either requires the property owner to submit an annual compliance report or that a fee be paid to the City to conduct such compliance.
17	That all applicable city codes and ordinances be met.	This condition is not proposed to be removed. This condition is being proposed as Condition No. 5.
18	That the applicant submit to the City of Visalia a signed receipt and acceptance of conditions from the applicant and property owner, stating	Staff concurs with the removal of this condition, as the City no longer requires this for most entitlements.

**Table 3. Analysis of Changes to Conditional Use Permit No. 2003-39**

#	Condition	Response
	that they understand and agree to all the conditions of Conditional Use Permit No. 2003-39	

### **Security Plan**

The applicant has provided a security plan in which Lucky Strike Visalia LLC intends to respond to events where a person needs to be ejected from their facility. This can be found under Exhibit "L". Proposed Condition Nos. 29, 30, and 31 ensure that a security plan be prepared, reviewed and approved by Visalia Police Department (VPD). Furthermore, amendments to the security plan, made in coordination with VPD may be necessary if improvements need to be made in response to a safety or security problem.

### **Inter-Departmental Review**

The Visalia Police Department and Planning staff have reviewed the proposed conditions of approval. In staff's assessment, the proposed conditions are reasonable and necessary for the request. Failure by the property owner or establishment operator to comply with these conditions may result in a hearing to revoke the CUP as stated per Condition No. 8.

### **Alcoholic Beverage Control License**

Recommended Condition of Approval No. 22 states that all applicable federal, state, and city laws and codes and ordinances be met. This by default means that a license from the Department of Alcohol and Beverage Control (ABC) shall be obtained, kept current, and complied with at all times.

### **Conditional Use Permit Revocation Process**

Pursuant to Visalia Municipal Code (VMC) 17.38.040, a failure by the owner/operator to comply with the conditions of project approval or if the business is declared a public nuisance as defined per VMC 8.40.030, will result in the issuance of a Notice of Conditional Use Permit Suspension Order to Cease and Desist and a Declaration of Public Nuisance. The City of Visalia has the authority to automatically suspend a conditional use permit for failure to comply with the condition(s) of the use permit. Upon suspension, the Planning Commission shall hold a public hearing within 60 days in accordance with the public hearing notice procedures. If the Planning Commission is not satisfied that the regulation, general provisions, or applicant's ability to meet the conditions, the Planning Commission may revoke the use permit or take action as may be necessary to ensure compliance with the regulation(s), general provision(s), or condition(s).

### **Environmental Review**

The subject property already has approval to and has exercised its privilege to serve alcohol to its patrons. Approval of the Conditional Use Permit would result in a wider variety of alcoholic beverages to be served to its patrons, and therefore would be a negligible expansion of the current use. Therefore, the Project would be categorically exempt from the California Environmental Quality Act (CEQA) pursuant to a Class 1 (Existing Facilities) exemption. None of the exceptions under CEQA Guidelines Section 15300.2 apply.

## RECOMMENDED FINDINGS

### Conditional Use Permit No. 2025-036

1. That the proposed project, as conditioned, will not be detrimental to the public health, safety, or welfare, or materially injurious to properties or improvements in the vicinity.
2. That the proposed conditional use permit is consistent with the policies and intent of the General Plan and Zoning Ordinance. Specifically, the project is consistent with the required findings of Zoning Ordinance Section 17.38.110.
3. That the proposed conditional use permit would be compatible with adjacent land uses. The proposed use is compatible subject to compliance with the conditions of Project Approval of this conditional use permit.
4. That the project is considered Categorically Exempt under Section 15301 of the Guidelines for the Implementation of the California Environmental Quality Act (CEQA), Categorical Exemption No. 2025-49.
5. The proposed location of the request to sale, serve, distilled spirits to patrons is in accordance with the objectives of the zoning ordinance and the purpose of the Commercial Mixed Use zone in which the site is located.
6. The proposed location of the conditional use and the conditions under which it would be operated or maintained will not be detrimental to the public health, safety, or welfare, or materially injurious to properties or improvements in the vicinity.

## RECOMMENDED CONDITIONS OF APPROVAL

### Conditional Use Permit No. 2025-036

#### Overall Entertainment Park Conditions

1. **Recording of Conditions.** The property owner shall record in the office of the Tulare County Clerk-Recorder's Office a document in a form acceptable to the City which includes the Planning Commission's resolution of, and conditions for, approval for the proposed uses granted through this Conditional Use Permit. A conformed copy of said recorded document be provided to the City's Planning Division prior to commencing operation of the proposed uses.
2. **No adult entertainment or nightclub activities.** There shall be no aspects of the business that are associated with an adult oriented business, as defined by VMC Chapter 17.62, or Live Entertainment as defined by VMC Chapter 17.04, authorized by this Conditional Use Permit.
3. **Inspection by City.** That inspection by City representatives on the premises may be conducted at any time during business hours to validate conformance with these conditions of approval.
4. **Maximum Occupancy Limit.** The maximum occupancy limit established by the Visalia Building Department and Fire Marshal shall be posted and not exceeded.
5. **Compliance with Applicable Regulations.** All applicable federal, state, and city laws and codes and ordinances be met.
6. **Communication of Conditions.** The property owner and business operator shall provide a copy of this resolution and conditions of approval to any and all subsequent owners/operators who shall also be subject to all of the conditions herein, unless amended or revoked.
7. **Changes in Operation or Expansion of Use.** Any expansion or change in operation of the entertainment park will require an amendment to the Conditional Use Permit.

8. **Revocation Proceedings.** The City Planner may initiate a revocation hearing pursuant to VMC § 17.38.040, based on document evidence of failure to comply with any of the conditions in this Conditional Use Permit.

## Site Development Conditions

11. **Site Plan.** The site shall be developed in accordance with Exhibit "A", as modified by Exhibit "B", subject to the comments and conditions of Site Plan Review Nos. 2003-093 and 2018-058 (Exhibit "C" and Exhibit "D", respectively).
12. **Valley Oak Trees.** Construction around Oak trees shall be conducted in accordance with the City of Visalia Oak Tree Ordinance (VMC Chapter 12.24) and the adopted Standard Specifications for Building around Valley Oaks.
13. **Persian Ditch.** The riparian setback along the Persian Ditch shall be landscaped by the property owner in accordance with the Conservation, Open Space Recreation and Parks Element of the General Plan, as existed in 2003 (see Exhibit "E").
14. **Mitigation Measures.** Mitigation measures found within the Mitigation Monitoring Plan for the Village West Commercial Development (see Exhibit "F") are hereby incorporated as conditions of this conditional use permit, as amended to include the usage of electric cars in lieu of the depressed track and a block wall.

## Noise

15. **Compliance with Noise Ordinance.** The facility shall comply with the City of Visalia Noise Ordinance at all times.
16. **Mechanical Equipment.** All noise-generating mechanical equipment shall be located inside a building or screened with a sound barrier.
17. **Outdoor Events.** Outdoor party events at the park shall be regulated so that amplification is limited so that noise levels do not exceed the levels within the City of Visalia Noise Ordinance.
18. **Mini Cars and Amplified Music Included.** Should the noise levels exceed the allowable levels in the Noise Ordinance the noise generating activities shall cease operations including, but not limited to, the mini cars or amplified music.

## Parking Conditions

19. **Adequate Parking.** Applicant shall provide adequate parking for employees and customers at all times.
20. **Determination of Inadequate Parking.** Additional parking shall be provided in the event that the 178 spaces provided on-site are inadequate during peak times or cause overflow to adjacent property owners parking. Parking capacity shall be reviewed upon a complaint of adjacent property owners. Upon such review the City shall factually quantify the parking deficiency and impact on adjacent properties and provide the applicant with its report; whereafter, the applicant shall propose a remedy to meet the parking requirement. The determination of the parking deficiency shall be in general conformance with the peak hour and average hour parking methodologies used to establish parking standards for other uses in the City.
21. **Parking Agreement.** Any future parking agreement that may be proposed by the applicant to satisfy Condition No. 20, shall be approved by the City of Visalia and be limited to uses or properties that have excess parking during peak entertainment park hours.

## Alcohol Beverage Service

22. **ABC License.** All necessary licenses from the California Department of Alcoholic Beverage Control shall be obtained, kept current, and complied with.

23. **Sales, Service, and Consumption Areas.** Alcohol beverage service and consumption shall be consistent with the Site Plan and Floor Plans identified in Exhibit "G" and Exhibit "H".
24. **No Consumption at Water Features.** That signs be posted at the Water Feature exists which state, "No adult beverages allowed beyond this point."
25. **Identification of Persons Consuming Alcohol.** Persons who consume alcohol on-site shall be identified by a stamped ink marking which can be identified to Park employees at the batting cages, race tracks, and bumper boats. The operator may also use wrist bands in addition to the stamp.
26. **Areas Restricted to Persons Consuming Alcohol.** Stamped or wristbanded individuals shall not be allowed to use the following Park attractions after consuming alcoholic beverages:
  - a. Batting cages
  - b. Race tracks
  - c. Bumper boats
  - d. Water Feature
  - e. Water Feature Lounge, when access to the Water Feature is closed and access is not restricted.

### **Signage**

27. **Design Guidelines.** On-site signage shall meet the requirements of the Village West Design Guidelines approved pursuant to Planning Commission Resolution No. 2003-93 (see Exhibit "I").
28. **Licensed Premise Signage.** Signs shall be posted at all exits of the facility that state, "No alcoholic beverages allowed beyond this point."

### **Security Plan**

29. **Approved by Police Department.** A Security Plan for events within the buildings and outdoor recreation area shall be prepared by the operator/owner and filed with and approved by the Visalia Police Department (VPD). Responses to safety or security problems shall be consistent with the approved Security Plan.
30. **Security Plan Contents.** The Plan shall indicate the location and types of barriers, any added personnel and other security measures to assure the separation of events which serve alcoholic beverages, from patrons when the park is open to the public. Contact information for the establishment's designated contact person for all safety and security shall be provided to the VPD District Commander. The operator shall also provide the telephone number for direct contact with the business during business hours.
31. **Correction of Issues and Amendment of Security Plan.** The operator/owner shall meet and resolve any issues that may be identified by VPD, which may result in changes to the security plan. The establishment shall correct any safety or security problem as soon as possible after receiving written notice of such problem from the Visalia Police Department.

### **APPEAL INFORMATION**

According to the City of Visalia Zoning Ordinance Section 17.02.145, an appeal to the City Council may be submitted within ten days following the date of a decision by the Planning Commission. An appeal with applicable fees shall be in writing and shall be filed with the City Clerk at 220 N. Santa Fe Street. The appeal shall specify errors or abuses of discretion by the Planning Commission, or decisions not supported by the evidence in the record. The appeal form can be found on the city's website [www.visalia.city](http://www.visalia.city) or from the City Clerk.

## LIST OF ATTACHMENTS

- Related Plans and Policies
- Resolution No. 2026-01
- Exhibit "A" – Site Plan
- Exhibit "B" – Site Plan for Water Feature
- Exhibit "C" – Comments and Conditions of Site Plan Review No. 2003-093
- Exhibit "D" – Comments and Conditions of Site Plan Review No. 2018-058
- Exhibit "E" – Conservation, Open Space Recreation and Parks Element of the General Plan
- Exhibit "F" – Mitigation Monitoring Plan for the Village West Commercial Development
- Exhibit "G" – Outdoor Areas for Allowed Sales, Service, and Consumption of Alcohol
- Exhibit "H" – Indoor Areas for Allowed Sales, Service, and Consumption of Alcohol
- Exhibit "I" – Village West Design Guidelines
- Exhibit "J" – ABC License Report
- Exhibit "K" – Applicant-Proposed Changes to Conditions
- Exhibit "L" – Proposed Security Plan
- General Plan Land Use Map
- Zoning Map
- Aerial Map

## RELATED PLANS AND POLICIES

### 17.38.010 Purposes and powers.

In certain zones conditional uses are permitted subject to the granting of a conditional use permit. Because of their unusual characteristics, conditional uses require special consideration so that they may be located properly with respect to the objectives of the zoning ordinance and with respect to their effects on surrounding properties. In order to achieve these purposes and thus give the zone use regulations the flexibility necessary to achieve the objectives of this title, the planning commission is empowered to grant or deny applications for conditional use permits and to impose reasonable conditions upon the granting of such permits.

### 17.38.020 Application procedures.

A. Application for a conditional use permit shall be made to the planning commission on a form prescribed by the commission which shall include the following data:

1. Name and address of the applicant;
2. Statement that the applicant is the owner of the property or is the authorized agent of the owner;
3. Address and legal description of the property;
4. The application shall be accompanied by such sketches or drawings as may be necessary by the planning division to clearly show the applicant's proposal;
5. The purposes of the conditional use permit and the general description of the use proposed;
6. Additional information as required by the historic preservation advisory committee.
7. Additional technical studies or reports, as required by the Site Plan Review Staff.
8. A traffic study or analysis prepared by a certified traffic engineer, as required by the Site Plan Review Staff or Traffic Engineer, that identifies traffic service levels of surrounding arterials, collectors, access roads, and regionally significant roadways impacted by the project and any required improvements to be included as a condition or mitigation measure of the project in order to maintain the required services levels identified in the General Plan Circulation Element.

B. The application shall be accompanied by a fee set by resolution of the city council sufficient to cover the cost of handling the application.

### 17.38.030 Lapse of conditional use permit.

A conditional use permit shall lapse and shall become void twenty-four (24) months after the date on which it became effective, unless the conditions of the permit allowed a shorter or greater time limit, or unless prior to the expiration of twenty-four (24) months a building permit is issued by the city and construction is commenced and diligently pursued toward completion on the site that was the subject of the permit. A permit may be renewed for an additional period of one year; provided, that prior to the expiration of twenty-four (24) months from the date the permit originally became effective, an application for renewal is filed with the planning commission. The commission may grant or deny an application for renewal of a conditional use permit. In the case of a planned residential development, the recording of a final map and improvements thereto shall be deemed the same as a building permit in relation to this section.

### 17.38.040 Revocation.

Upon violation of any applicable provision of this title, or, if granted subject to a condition or conditions, upon failure to comply with the condition or conditions, a conditional use permit shall be suspended automatically. The planning commission shall hold a public hearing within sixty (60) days, in accordance with the procedure prescribed in Section 17.38.080, and if not satisfied that the regulation, general provision or condition is being complied with, may revoke the permit or take such action as may be necessary to insure compliance with the regulation, general

provision or condition. Appeals of the decision of the planning commission may be made to the city council as provided in Section 17.38.120.

#### **17.38.050 New application.**

Following the denial of a conditional use permit application or the revocation of a conditional use permit, no application for a conditional use permit for the same or substantially the same conditional use on the same or substantially the same site shall be filed within one year from the date of denial or revocation of the permit unless such denial was a denial without prejudice by the planning commission or city council.

#### **17.38.060 Conditional use permit to run with the land.**

A conditional use permit granted pursuant to the provisions of this chapter shall run with the land and shall continue to be valid upon a change of ownership of the site or structure that was the subject of the permit application subject to the provisions of Section 17.38.065.

#### **17.38.065 Abandonment of conditional use permit.**

If the use for which a conditional use permit was approved is discontinued for a period of one hundred eighty (180) days, the use shall be considered abandoned and any future use of the site as a conditional use will require the approval of a new conditional use permit.

#### **17.38.080 Public hearing—Notice.**

A. The planning commission shall hold at least one public hearing on each application for a conditional use permit.

B. Notice of the public hearing shall be given not less than ten days nor more than thirty (30) days prior to the date of the hearing by mailing a notice of the time and place of the hearing to property owners within three hundred (300) feet of the boundaries of the area occupied or to be occupied by the use that is the subject of the hearing, and by publication in a newspaper of general circulation within the city.

#### **17.38.090 Investigation and report.**

The planning staff shall make an investigation of the application and shall prepare a report thereon that shall be submitted to the planning commission. The report can recommend modifications to the application as a condition of approval.

#### **17.38.100 Public hearing—Procedure.**

At the public hearing the planning commission shall review the application and the statement and drawing submitted therewith and shall receive pertinent evidence concerning the proposed use and the proposed conditions under which it would be operated or maintained, particularly with respect to the findings prescribed in Section 17.38.110. The planning commission may continue a public hearing from time to time as it deems necessary.

#### **17.38.110 Action by planning commission.**

A. The planning commission may grant an application for a conditional use permit as requested or in modified form, if, on the basis of the application and the evidence submitted, the commission makes the following findings:

1. That the proposed location of the conditional use is in accordance with the objectives of the zoning ordinance and the purposes of the zone in which the site is located;
2. That the proposed location of the conditional use and the conditions under which it would be operated or maintained will not be detrimental to the public health, safety or welfare, or materially injurious to properties or improvements in the vicinity.

B. A conditional use permit may be revocable, may be granted for a limited time period, or may be granted subject to such conditions as the commission may prescribe. The commission may grant conditional approval for a permit subject to the effective date of a change of zone or other ordinance amendment.

C. The commission may deny an application for a conditional use permit.

**17.38.120 Appeal to city council.**

The decision of the City planning commission on a conditional use permit shall be subject to the appeal provisions of Section 17.02.145.

**17.38.130 Effective date of conditional use permit.**

A conditional use permit shall become effective immediately when granted or affirmed by the council, or ten days following the granting of the conditional use permit by the planning commission if no appeal has been filed.

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF VISALIA APPROVING CONDITIONAL USE PERMIT NO. 2025-36, A REQUEST BY STEPHEN ALLEN JAMIESON ON BEHALF OF LUCKY STRIKE VISALIA, LLC TO ALLOW FOR THE SALE, SERVICE, AND CONSUMPTION OF DISTILLED SPIRITS AT ADVENTURE PARK. THE SITE IS LOCATED AT 5600 WEST CYPRESS AVENUE. (APN: 087-450-019).

**WHEREAS**, Conditional Use Permit No. 2025-36, is a request by Stephen Allen Jamieson on behalf of Lucky Strike Visalia, LLC to allow for the sales, service, and consumption of distilled spirits at the Adventure Park facility in the C-MU (Commercial Mixed Use) Zone. The site is located at 5600 West Cypress Avenue (APN: 087-450-019); and

**WHEREAS**, the Planning Commission of the City of Visalia, after duly published notice did hold a public hearing before said Commission on January 12, 2026; and

**WHEREAS**, the Planning Commission of the City of Visalia finds Conditional Use Permit No. 2025-36 to be in accordance with Chapter 17.38 of the Zoning Ordinance of the City of Visalia based on the evidence contained in the staff report and testimony presented at the public hearing; and

**WHEREAS**, the Planning Commission finds the project to be consistent with the California Environmental Quality Act (CEQA) and City of Visalia Environmental Guidelines.

**NOW, THEREFORE, BE IT RESOLVED** that the project is exempt from further environmental review pursuant to CEQA Section 15301 (Existing Facilities).

**NOW, THEREFORE, BE IT FURTHER RESOLVED** that the Planning Commission of the City of Visalia makes the following specific findings based on the evidence presented:

**BE IT FURTHER RESOLVED** that the Planning Commission hereby approves the Conditional Use Permit on the real property here described in accordance with the terms of this resolution under the provisions of Section 17.38.110 of the Ordinance Code of the City of Visalia, subject to the following conditions:

#### **Overall Entertainment Park Conditions**

9. **Recording of Conditions.** The property owner shall record in the office of the Tulare County Clerk-Recorder's Office a document in a form acceptable to the City which includes the Planning Commission's resolution of, and conditions for, approval for the proposed uses granted through this Conditional Use Permit. A conformed copy of said recorded document be provided to the City's Planning Division prior to commencing operation of the proposed uses.
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## **Site Development Conditions**

32. **Site Plan.** The site shall be developed in accordance with Exhibit "A", as modified by Exhibit "B", subject to the comments and conditions of Site Plan Review Nos. 2003-093 and 2018-058 (Exhibit "C" and Exhibit "D", respectively).
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## **Noise**

36. **Compliance with Noise Ordinance.** The facility shall comply with the City of Visalia Noise Ordinance at all times.
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hour and average hour parking methodologies used to establish parking standards for other uses in the City.

42. **Parking Agreement.** Any future parking agreement that may be proposed by the applicant to satisfy Condition No. 20, shall be approved by the City of Visalia and be limited to uses or properties that have excess parking during peak entertainment park hours.

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43. **ABC License.** All necessary licenses from the California Department of Alcoholic Beverage Control shall be obtained, kept current, and complied with.

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46. **Identification of Persons Consuming Alcohol.** Persons who consume alcohol on-site shall be identified by a stamped ink marking which can be identified to Park employees at the batting cages, race tracks, and bumper boats. The operator may also use wrist bands in addition to the stamp.

47. **Areas Restricted to Persons Consuming Alcohol.** Stamped or wristbanded individuals shall not be allowed to use the following Park attractions after consuming alcoholic beverages:

- f. Batting cages
- g. Race tracks
- h. Bumper boats
- i. Water Feature
- j. Water Feature Lounge, when the Water Feature is closed.

### **Signage**

48. **Design Guidelines.** On-site signage shall meet the requirements of the Village West Design Guidelines approved pursuant to Planning Commission Resolution No. 2003-93 (see Exhibit "I").

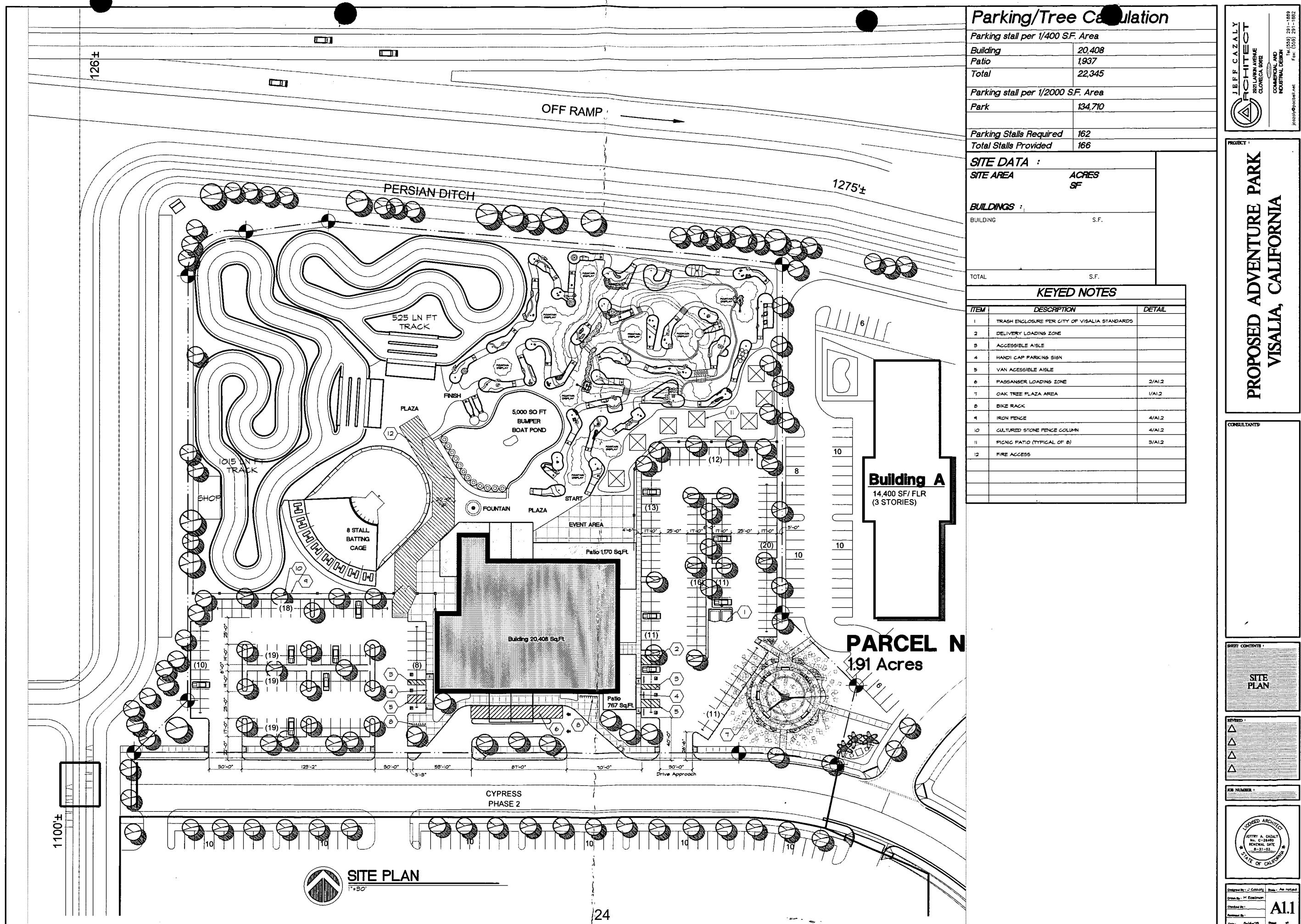
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### **Security Plan**

50. **Approved by Police Department.** A Security Plan for events within the buildings and outdoor recreation area shall be prepared by the operator/owner and filed with and approved by the Visalia Police Department (VPD). Responses to safety or security problems shall be consistent with the approved Security Plan.

51. **Security Plan Contents.** The Plan shall indicate the location and types of barriers, any added personnel and other security measures to assure the separation of events which serve alcoholic beverages, from patrons when the park is open to the public. Contact information for the establishment's designated contact person for all safety and security shall be provided to the VPD District Commander. The operator shall also provide the telephone number for direct contact with the business during business hours.

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**PROPOSED ADVENTURE PARK  
VISALIA, CALIFORNIA**

LTANTS

## CONTENTS

# SITE PLAN

110

Mr. J. Gandy  
M. Eastman  
y.  
y.  
8-14-03  
Book

A1

Exhibit "B"

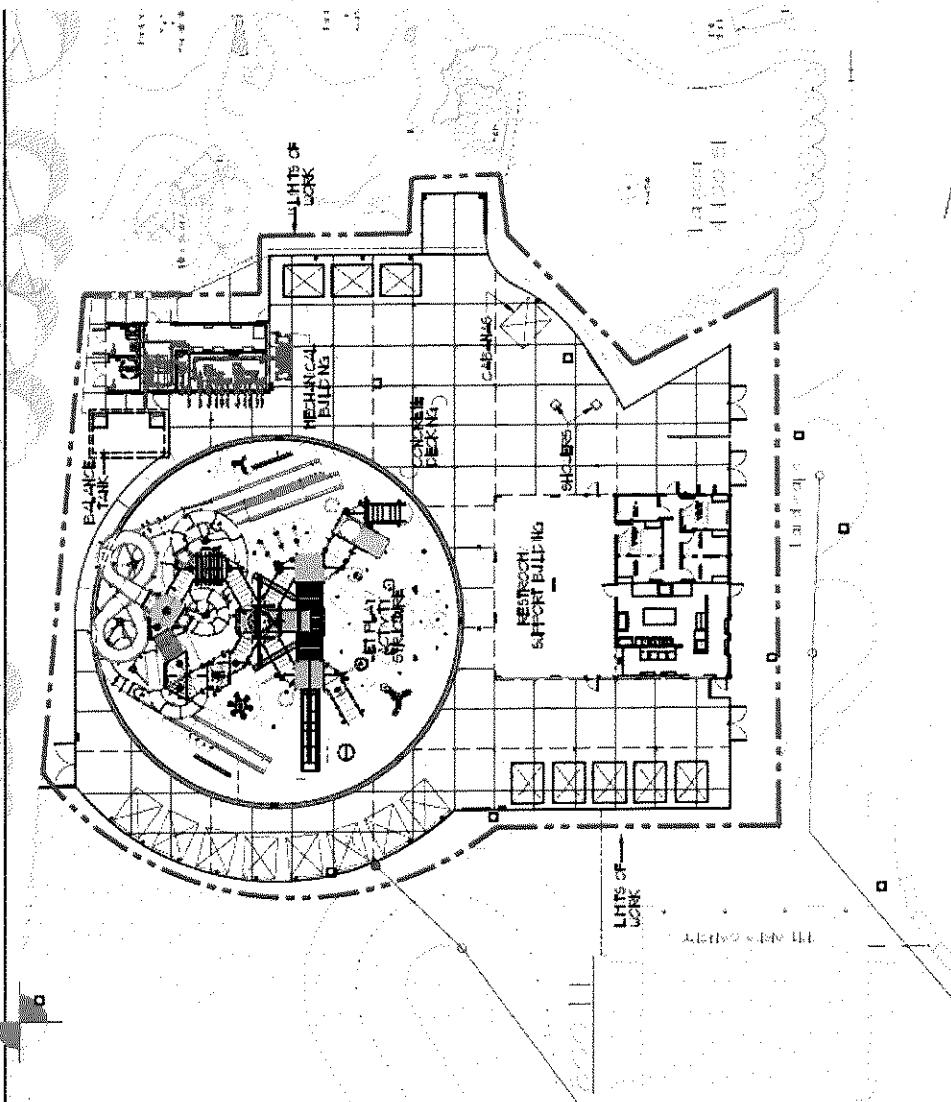
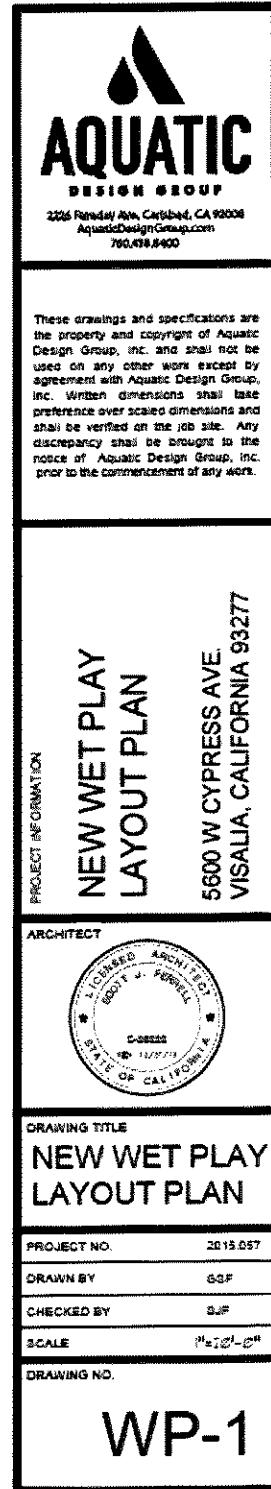


Exhibit - "A"



# City of Visalia

315 East Acequia, Visalia, CA 93291



# Community Development

Tel: (559) 713-4495 Fax: (559) 713-4812

Exhibit "C"

MEETING DATE 05/28/2003  
SITE PLAN NO. 03-093  
PARCEL MAP NO.  
SUBDIVISION  
LOT LINE ADJUSTMENT NO.



Enclosed for your review are the comments and decisions of the Site Plan Review committee. Please review all comments since they may impact your project.

**RESUBMIT** Major changes to your plans are required. Prior to accepting construction drawings for building permit, your project must return to the Site Plan Review Committee for review of the revised plans.

**REVISE AND PROCEED** (see below)

A revised plan addressing the Committee comments and revisions must be submitted for Off-Agenda Review and approval prior to submitting for building permits or discretionary actions.

Submit plans for a building permit between the hours of 8 a.m. and 5 p.m., Monday through Friday.

Your plans must be reviewed by:

CITY COUNCIL

REDEVELOPMENT

PLANNING COMMISSION

PARK/RECREATION

HISTORIC PRESERVATION

OTHER \_\_\_\_\_

**ADDITIONAL COMMENTS** \_\_\_\_\_

If you have any questions or comments, please call the Planning Dept.: (559) 713-4359.

*Site Plan Review Committee*

# SITE PLAN REVIEW COMMENTS

## PLANNING DIVISION

Andrew Chamberlain A.I.C.P. (559) 713-4003

DATE: May 28, 2003

SITE PLAN NO. 03-093

PROJECT: Family Fun Park

APPLICANT Family Fun Park

LOCATION: 5434 W. Cypress

APN: 087-450-07

GENERAL PLAN DESIGNATION: Commercial Shopping Office

EXISTING ZONING: CSO

---

### **The project will require the following:**

- Conditional Use Permit
- Building Permits

### **DEVELOPMENT STANDARDS**

- Meet all applicable requirements of the Zoning and Design District standards which are not subject to the special provisions of the development agreement and plans for the area.
- At the Site Plan Review meeting, staff indicated that the posts for the front covered loading zone would also need to be out of the setback area.
- Will there be fences separating this site from the Hotel to the east?
- Provide protection for the Valley Oak

### **The following will be required as a part of the Conditional Use Permit application:**

- Typical Building Elevations
- Operational Statement (hours of operation, details of various components, special events, other specific requests for activities or services.
- Typical elevations of structures which would be visible from the Highway.

### **Access and Circulation**

- See Engineering Comments, show extension of Cypress to the west (typical)

### **Walls, Fencing and Screening:**

- Screen all roof mounted equipment.
- Identify all fence types which will be used and visible from the Highway or other public right-of-way. Illustrations of any special fence treatments would be welcomed.

### **Parking:**

- Provide staff with a parking analysis to assist in determining if the proposed parking will meet the demand. The Zoning Ordinance does not have a single category for this type of facility, and staff would need to have the applicant provide assistance in determining the parking demand. The provided standards of one stall per 400 sq. ft. of building /patio area and one stall per 2,000 sq. ft. of outdoor area may suffice since this is a mixed entertainment use facility which includes food service and outdoor pick-nick areas.

- 30% of the required parking stalls may be compact and shall be evenly distributed throughout the lot.
- Provide handicapped space(s).
- No repair work or vehicle servicing allowed in a parking area.
- It is highly recommended that bicycle rack(s) be provided on site plan.
- No parking shall be permitted in a required front/rear/side yard.
- Parking lot to be screened from view by a 3-foot high solid wall or evergreen hedge when located across the street from residential property.
- Parking lot to be screened from view by a 3-foot tall solid wall or shrubs when located adjacent to a public street.
- Provide transit facilities on site plan.

**Landscaping:**

- Plot and protect any Valley Oak Trees
- Detailed landscape and irrigation plans are required as part of the improvements plans as per typical subdivision development.

**COMMENTS:**

- Meet all applicable requirements.
- Provide turn-around and temp. improvements for phasing as required by the Engineering Dept.
- Changes in the site plan or clarification of questions may generate additional comments or conditions related to this project.
- NOTE: A signage package should be conceptually developed and reviewed with the Project Manager for the City as soon as possible to determine if other discretionary actions related to signage would need to be processed in conjunction with the CUP.

**SIGNATURE** \_\_\_\_\_



# City of Visalia

## **Memo**



**To:** Bob Nance

**From:** Darlene Mata, Principal Planner *DN*

**CC:** Mike Olmos, John Dutton, Jim Funk, Dennis Lehman

**Date:** July 15, 2003

**Re:** Family Fun Park Fees

The following fees are estimates based on the floor plan informally submitted to the Planning Department. All final fees will be based on the plans submitted with the building permit application. The asterisked (\*) fees are subject to increased in late July and August. The fees were determined based on the following square footage and seating capacity:

Restaurant Area	12,368 square feet
Arcade Area	9,977
Total Building and Patio square footage	22,345
Total Fun Park	134,710

Total Restaurant Seats - 416

### **Planning Fees**

Conditional Use Permit	\$2,926.00
Tentative Parcel Map Filing Fee	\$2,128.00
Final Parcel Map Filing Fee	\$209.04
<b>Total</b>	<b>\$5,263.00</b>

### **Building Permit Fees**

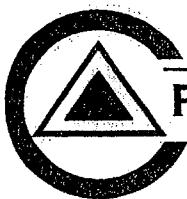
Main Building and Carport Cover	\$13,368.00
Ancillary buildings and structures	\$5,200.00
<b>Total</b>	<b>\$18,568.00</b>

(The building permit fee estimate is based on the site plan provided. There will most likely be additional lighting, water, structures and electrical that will increase building permit fees. The final fee will be based on the plans submitted. Hourly rate for building inspections \$103.98)

### **DEVELOPMENT IMPACT FEES**

<b>Treatment Plant Connection Fees</b>	
Restaurant - \$183.92* per seat X 416	\$76,510.72

<b>Public Safety Impact Fee</b>	
Fire \$364.82* per gross acre (6.6 acres)	\$2,407.81
Police \$1,866.86* per gross acre (6.6 acres)	\$12,321.28
 <b>Transportation Impact Fee</b>	 <b>\$141,099.00</b>
(Based on 12,368 square feet of high turnover restaurant at \$11,408.63* per 1,000 square feet. The remainder of the building and the fun park area were not assessed fees based on the cross use of the facility)	
 <b>Trunk Line Capacity Charge</b>	 <b>\$17,097.60</b>
Restaurant - \$41.10* per seat X 416 (Based on Family Type Restaurant without bar)	
 <b>Storm Drain Fee</b> \$4,064.19* per acre X 6.6 acres	 <b>\$26,823.65</b>
 <b>Waterways Acquisition</b> \$400.21* per acre X 6.6 acres	 <b>\$2,641.39</b>
 <b>DEVELOPMENT IMPACT FEE TOTAL</b>	 <b>\$278,901.45</b>
 <b>TOTAL ESTIMATED FEES</b>	 <b>\$302,732.49</b>



JEFF CAZALY  
ARCHITECT

2921 LARKIN AVENUE  
CLOVIS, CA 93612  
TEL: 559.291.1889 ♦ FAX 559.291.1882

Mr. Bob Nance  
Economic and Redevelopment Manager  
City of Visalia

May 21, 2003

Re: Adventure Park

Bob, please find attached the site plan review exhibits for this project. There are 12 full size and one 11 x 17 of each. The following is a list of issues that we have some concerns about:

1. The culvert, which has recently been indicated will need to be partially paid for by our project. During previous meetings in which all the principals of this project attended it was specifically indicated that the culvert would be paid for by future development to the west. Because future development to the west is in question does not change the fact that we were told it would not be our responsibility.

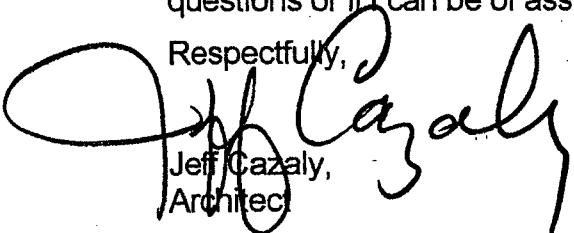
We do not think it is appropriate that members of staff be allowed to arbitrarily change verbal agreements already in place between management level City employees and the Adventure Park principals.

2. Some City staff members seem to have a major problem with the configuration of our drop off area. This drop off area is in the city's best interest as well as ours. Safety and traffic issues make it the best way to approach this type of venue. We have provided equivalent landscape and frontage sidewalk widths as prescribed in the design guidelines. Our canopy extends into the set back, but remains five feet from the property line. Although it differs for the traditional offsite/onsite pattern, it is a reasonable layout that enhances the flow and safety of this project.

3. There has been some discussion about the minimum driveway throat depth required before starting parking stall layout. Because of the way the parking area had to be laid out required throat depth could seriously impact our stall count.

These are the major concerns at this time. Please contact me if you have any questions or if I can be of assistance.

Respectfully,

  
Jeff Cazaly,  
Architect

BN052103

**BUILDING PLAN REQUIREMENTS  
ENGINEERING/TRAFFIC DIVISION**

<input type="checkbox"/> David Jacobs	713-4492
<input type="checkbox"/> Michael Carr	713-4595
<input type="checkbox"/> Ken McSheehy	713-4447
<input type="checkbox"/> Jim Funk	713-4540
<input type="checkbox"/> Daniel Espinoza	713-4259
<input type="checkbox"/> Greg Dais	713-4419
<input checked="" type="checkbox"/> Doug Damko	713-4268

ITEM NO: 5 DATE: MAY 28, 2003

SITE PLAN NO.: 03-093MOD  
PROJECT: FAMILY FUN PARK ON 6.6 ACRES, (CSO ZONED)  
APPLICANT: CITY OF VISALIA (PROP. OWNER)  
LOCATION: 5434 W. CYPRESS  
APN: 087-450-07

**SITE PLAN REVIEW COMMENTS**

REQUIREMENTS (Indicated by checked boxes)

Install curb return with ramp, with radius;

Install curb City Std.  gutter City Std.

Drive approach size: **Commercial Stds.**  Use radius return; **20'R**

Sidewalk: 6' ft. width.  7' ft. parkway width at **Cypress**

Right-of-way dedication required; **Cypress Avenue**

Deed required prior to issuing building permit. **All public right of way and public easements**

City Encroachment Permit Required. **All work within City's right of way**

Insurance certificate with general & auto liability (\$1 million each) and workers compensation (\$1 million), valid business license, and appropriate contractor's license must be on file with the City, and valid Underground Service Alert # provided prior to issuing the permit.

CalTrans Encroachment Permit required.  CalTrans comments required prior to issuing building permit. Contacts: Al Dias (planning) 488-7306;

Grading & Drainage plan required.  Prepared by registered civil engineer or project architect.  Storm Water Discharge permit is required.  All elevations shall be based on the official City of Visalia datum.

Grading permit is required for clearing and earthwork performed prior to issuance of the building permit.

Show finish elevations. (Minimum slopes: A.C. pavement = 1%, Concrete pavement = 0.25%. Curb & Gutter = .020%, V-gutter = 0.25%)

Show adjacent property grade elevations

Install landscape curbing (typical at parking lot planters).

Minimum paving section for parking: 2" asphalt/concrete paving over 4" Class 2 Agg. Base, or 4" concrete pavement over 2" sand.

Design Paving section to traffic index of 5.0 min. for solid waste truck travel path.

Provide R-value tests: 1 each at **300' ft. along Cypress Ave.**

Written comments required from ditch company **Persian/Watson** Contacts: James Silva 747-1177 for Modoc, Persian, Watson, Oakes, Flemming, Evans Ditch and Peoples Ditch; Jerry Hill 686-3425 for Tulare Irrigation Canal, Packwood and Cameron Creeks; Bruce George 747-5601 for Mill Creek and St. John's River.

Access required on ditch bank, 12' minimum  Provide wide riparian dedication from top of bank.

Show Oak trees with drip lines and adjacent grade elevations.  Protect Oak trees during construction with 6' high chain link fence at drip line.

A permit is required to remove oak trees. Contact David Pendergraft at 713-4295 for an Oak tree evaluation or permit to remove.  A pre-construction conference is required.

Ponding basin required ( : maximum slope);  Fence required;  Provide access to bottom for maintenance

Developer shall relocate existing utility poles and/or facilities.

Subject to existing Reimbursement Agreement to reimburse prior developer.

Dust control is required on site during construction and for all material excavated, graded, and/or transported.

**THE TRAFFIC DIVISION WILL PROHIBIT ON-STREET PARKING AS DEEMED NECESSARY**

Install 3 Street Light(s) on Marbelite Standards  
 Install Street Name Blades at Location(s).  
 Install Stop Sign(s) at Location(s).

Comply with prior comments.  Resubmit with additional information.  Redesign required.  Summary of Estimated Engineering Fees is attached.

**Additional Comments:**

- 1.) The developer shall improve Cypress to a width of 32 feet to accommodate two-way traffic along the full length of the development. Street improvements consist of curb, gutter and pavement. Cypress shall be designed for a T.I. of 6.5 and a design speed of 35 MPH. The centerline profile of Cypress shall be designed to tie into the box culvert crossing of the south fork of the Persian Ditch. The City will reimburse the Developer for construction of the south 9 ft. of Cypress Ave.
- 2.) The property being developed is presently owned by the City. The Developer will need to dedicate 30 feet for the road right of way. The curb pattern shall be 46-foot curb to curb with a 7-foot landscape strip on both sides. The sidewalk shall lie within a 6-foot sidewalk easement contiguous to the road right of way.
- 3.) The developer shall extend sewer and storm drain lines in Cypress Ave. to the western property line. The Master Plan service area boundary is the ditch on the property's west boundary. All underground work shall be done prior to installing street improvements.
- 4.) The Developer is responsible for 1/4 of the cost of constructing a box culvert crossing over the south fork of the Persian Ditch. The Developer may be required to construct the box culvert crossing completely and the City will reimburse for 3/4 of the actual cost or the Developer can pay 1/4 of the estimated cost to the City as determined by City staff. The cost of the box culvert crossing shall include all improvements within the limits of the Persian Ditch easement. These improvements shall consist of the concrete box culverts, concrete headwalls and the road improvements consisting of curb, gutter, sidewalk, drive approaches, access gates, aggregate base and asphalt paving. Construction of the culvert by the Developer is contingent upon all necessary rights being secured by the City prior to approval of the improvement drawings.
- 5.) An easement shall need to be obtained from the Persian Ditch company for the box culvert crossing.
- 6.) The Developer shall provide an access easement at the most westerly drive approach to be utilized for a hammerhead turnaround.
- 7.) Adjacent to the development, install City standard chain link fence with gates along the ditch easement. Included with the fence for ditch maintenance will be access gates and a drive approach whose location is approved by the ditch company and the City Engineer.
- 8.) Public sidewalk shall be installed in an easement in the median island of the circle drive.

## SUMMARY OF ESTIMATED ENGINEERING FEES

Site Plan No: 03-093MOD

Date: MAY 28, 2003

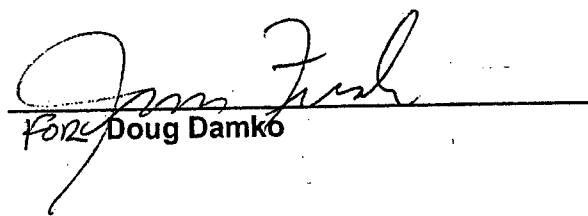
**Summary of Estimated Engineering Fees:** (Preliminary estimate only! Final Fees to be based on building permit plans.)

(Basis of fee calculation: CSO zoning - Shopping/Office Center)

(Credits: )

Additional Information is required prior to estimating applicable Engineering Fees.

FEES/ITEM	FEES/UNIT	UNIT(S)	CREDITS (if applicable)	ESTIMATED TOTAL
<input checked="" type="checkbox"/> Parking Lot Plan Check & Inspection		53,000 s.f. +/-		\$628.00
<input checked="" type="checkbox"/> Encroachment Permit	3.1% of Estimated Construction Cost for Public Improvements	n/a	n/a	
<input checked="" type="checkbox"/> Transportation Impact	\$4,827.42/1000 s.f.	20,408/1000 s.f.		\$98,517.99
<input checked="" type="checkbox"/> Trunk Line Capacity Fee	\$11.73/1000 s.f.	20,408/1000 s.f.		\$239.39
<input type="checkbox"/> Sewer Front Foot Fee				
<input checked="" type="checkbox"/> Storm Drain Fee	\$4,064.19/acre	6.2 acres		\$25,197.98
<input type="checkbox"/> Park/Acq/Dev Fee				
<input type="checkbox"/> Northeast Fees				
<input checked="" type="checkbox"/> Waterways Acquisition	\$400.21/acre	6.2 acres		\$2,481.30
<input checked="" type="checkbox"/> Public Safety Impact Fee: Police	\$1,866.86/acre	6.2 acres		\$11,574.53
<input checked="" type="checkbox"/> Public Safety Impact Fee: Fire	\$364.82/acre	6.2 acres		\$2,261.88



*Doug Damko*  
For

### Note:

1. The fees noted above are calculated as of July 3, 2003. On July 18, 2003 all fees above will be adjusted upward based on the applicable cost index. See next page for estimated fees based on proposed development.
2. The Developer is responsible for one-fourth of all costs associated with the construction of the Cypress Ave. culvert crossing at Persian Ditch. The estimated Developers cost is \$16,500 based on an estimated total culvert costs of \$66,000.

The following fees will be effective July 18, 2003

**SUMMARY OF ESTIMATED ENGINEERING FEES**

Site Plan No: 03-093MOD

Date: MAY 28, 2003

**Summary of Estimated Engineering Fees: (Preliminary estimate only. Final Fees to be based on building permit plans.)**

(Basis of fee calculation: CSO zoning - Shopping/Office Center)

(Credits: )

Additional Information is required prior to estimating applicable Engineering Fees.

FEES/ITEM	FEES/UNIT	UNIT(S)	CREDITS (if applicable)	ESTIMATED TOTAL
<input checked="" type="checkbox"/> Parking Lot Plan Check & Inspection		53,000 s.f. +/-		\$672.00
<input checked="" type="checkbox"/> Encroachment Permit	3.1% of Estimated Construction Cost for Public Improvements	n/a	n/a	
<input checked="" type="checkbox"/> Transportation Impact	\$4,919.14/1000 s.f.	20,408/1000 s.f.		\$100,389.81
<input checked="" type="checkbox"/> Trunk Line Capacity Fee	\$11.95/1000 s.f.	20,408/1000 s.f.		\$243.88
<input checked="" type="checkbox"/> Storm Drain Fee	\$4,141.41/acre	6.2 acres		\$25,676.74
<input type="checkbox"/> Park Acq/Dev Fee				
<input type="checkbox"/> Northeast Fees				
<input checked="" type="checkbox"/> Waterways Acquisition	\$407.81/acre	6.2 acres		\$2,528.42
<input checked="" type="checkbox"/> Public Safety Impact Fee: Police	\$1,902.33/acre	6.2 acres		\$11,794.45
<input checked="" type="checkbox"/> Public Safety Impact Fee: Fire	\$371.75/acre	6.2 acres		\$2,304.85

# BUILDING SITE PLAN REVIEW COMMENTS

ITEM NO: 5

DATE: MAY 28, 2003

SITE PLAN NO:

03-093

PROJECT:

FAMILY FUN PARK

APPLICANT TITLE:

PROPOSED 6.6 ACRES FAMILY FUN  
PARK, (CSO ZONED)

LOCATION TITLE:

CITY OF VISALIA (PROP. OWNER)

APN TITLE:

CYPRESS, W.

087-450-07

Indicate abandoned wells, septic systems and excavations on construction plans.

Submit 3 sets of engineered plans and 2 sets of calculations.

Meet city and state requirement for the physically handicapped. *Parking*

Submit sets of plans signed by architect or engineer. Must comply with Section 2326 U.B.C. 1994 Ed. for conventional framing or submit 1 set of calculations.

Maintain sound transmission control between units.

Obtain required permits for Air Pollution Board, Tulare County.

Location of cashier must provide clear view of gas pump island.

Calculations of free-standing carport.

Treatment connection charge to be assessed based on use.

Must comply with state energy requirements.

Plans must be approved by the Tulare County Health Department. *FOR FOOD SERVICE*

Common areas must comply with requirements for access by the handicapped. *ACCESS*

Project is located in Flood Zone  . Minimum finished floor elevations required \_\_\_\_\_.

All accessible units required to be adaptable for the physically handicapped.

Acceptable as submitted  Arrange for an on-site inspection.

Hazardous materials report.  A demolition permit is required.

Park Development fees \$ \_\_\_\_\_.

Plans Submitted for a building permit will need to be accompanied by a completed "Pre-Submittal" checklist. Please request the checklist in Site Plan Review or obtain a copy from the internet at <http://frontpage.lightspeed.net/oracle>



36

Signature



## INTEROFFICE MEMORANDUM

Date: May 13, 2003

To: Darlene Mata  
City of Visalia Planning Department

From: Agent Brent Abbott  
Special Enforcement Unit

Subject: Adventure Park / Sports Bar

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The Visalia Police Department has reviewed the plans for the Adventure Park / Sports Bar to be located at Cypress & Akers. Based on the information available at this time, we cannot support the project in its present form.

Our main concern with the project is the availability of alcohol and the access to motorized vehicles. An additional concern is the possibility of the mixing of intoxicated adults with children.

Visalia Police Department looks forward to working with the Planning Department on this matter. If you have any additional questions, please contact us at your earliest convenience.

BA:jg

**Site Plan Review Comments For:**

Visalia Fire Department  
Jeff Newton, Fire Marshal  
309 S. Johnson  
Visalia, CA 93291  
559-713-4263 *office*  
559-713-4808 *fax*

Item # 5 Date 5-28-03

Site Plan # 03-093

Project family Fun park

Applicant City Of Visalia

Location 5434 W. Cypress

APN \_\_\_\_\_

The following comments are applicable when checked:

- No comments at this time for this project.
- Refer to previous comments dated \_\_\_\_\_.
- No fire protection items required for parcel map or lot line adjustment; however, any future projects will be subject to fire protection requirements.
- Address numbers must be placed on the exterior of the building in such a position as to clearly and plainly visible from the street. Numbers will be at least six inches (6") high and shall be of a color to contrast with their background.
- No additional fire hydrants are required for this project; however, additional fire hydrants may be required for any future development.
- There is/are \_\_\_\_\_ fire hydrants required for this project.
- The turning radius for emergency fire apparatus is 20 feet inside diameter and 35 feet outside diameter. Ensure that the turns identified to you during site plan comply with the requirements. An option is a hammer-head constructed to City standards.
- An access road is required and shall be a minimum of 20 feet wide. The road shall be serviceable prior to and during construction.
- A fire lane is required for this project. The location will be given to you during the site plan meeting.
- A Knox Box key lock system is required. Applications are available at the Building Department counter.
- The security gates, if to be locked, shall be locked with a typical chain and lock that can be cut with a common bolt cutter, or the developer may opt to provide a Knox Box key lock system. Applications are available at the Building Department counter.

- That portion of the building that is built upon a property line shall be constructed as to comply with Section 503.4 and Table 5-A of the California Building Code.
- Commercial dumpsters with 1.5 cubic yards or more shall not be stored or placed within 5 feet of combustible walls, openings, or a combustible roof eave line except when protected by a fire sprinkler system.
- If you handle hazardous material in amounts that exceed the exempt amounts listed on Table 3-D of the California Building Code, you are required to submit an emergency response plan to the Tulare County Health Department. Prior to the building final inspection, we will want a copy of the plan and any Material Safety Data Sheets.
- An automatic fire sprinkler system will be required for this building. A fire hydrant is required within 50 feet of the fire department connection. The fire hydrant, fire department connection and the PIV valve should be located together and in the front of the building, if possible.
- An automatic fire extinguishing system for protection of the kitchen grease hood and ducts is required.
- Fire Department Impact Fee - \$364.82 per acre.
- Fire Department Permit Fee - complete application during Building Department permit process.
- Special comments: \_\_\_\_\_

---

Jeff Newton, Fire Marshal

QUALITY ASSURANCE DIVISION  
SITE PLAN REVIEW COMMENTS

ITEM NO: 5 DATE: MAY 28, 2003  
SITE PLAN NO: 03-093  
PROJECT: FAMILY FUN PARK  
APPLICANT TITLE: PROPOSED 6.6 ACRES FAMILY FUN  
LOCATION TITLE: PARK, (CSO ZONED)  
APN TITLE: CITY OF VISALIA (PROP. OWNER)  
CYPRESS, W.  
087-450-07

YOU ARE REQUIRED TO COMPLY WITH THE CITY OF VISALIA WASTEWATER ORDINANCE 13.08 RELATIVE TO CONNECTION TO THE SEWER, PAYMENT OF CONNECTION FEES AND MONTHLY SEWER USER CHARGES. THE ORDINANCE ALSO RESTRICTS THE DISCHARGE OF CERTAIN NON-DOMESTIC WASTES INTO THE SANITARY SEWER SYSTEM.

YOUR PROJECT IS ALSO SUBJECT TO THE FOLLOWING REQUIREMENTS

PRETREATMENT PROGRAM \_\_\_\_\_

RESOURCE CONSERVATION AND RECOVERY ACT (RCRA) \_\_\_\_\_

SAND AND GREASE TRAP - 3 COMPARTMENT \_\_\_\_\_

GREASE TRAP \_\_\_\_\_ LB. CAPACITY \_\_\_\_\_

GARBAGE GRINDER - 3/4 HP. MAXIMUM \_\_\_\_\_

SUBMISSION OF A DRY PROCESS DECLARATION \_\_\_\_\_

NO SINGLE PASS COOLING WATER IS PERMITTED \_\_\_\_\_

OTHER \_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

CALL THE QUALITY ASSURANCE DIVISION AT (559) 713-4529 IF YOU HAVE ANY QUESTIONS.

7579 AVE. 288  
CITY OF VISALIA  
PUBLIC WORKS DEPARTMENT  
QUALITY ASSURANCE DIVISION  
336 N. BEN MADDOX WAY  
VISALIA, CA 93292  
93277

Dr. R. Knight  
AUTHORIZED SIGNATURE  
5-27-03  
DATE

**CITY OF VISALIA**  
**SOLID WASTE DIVISION**  
**336 N. BEN MADDOX**  
**VISALIA CA. 93291**  
**713 - 4177**

**CHECK MARK INDICATES APPLICABILITY**

ITEM NO: 5 DATE: MAY 28, 2003  
SITE PLAN NO: 03-093  
PROJECT: FAMILY FUN PARK  
APPLICANT TITLE: PROPOSED 6.6 ACRES FAMILY FUN  
LOCATION TITLE: PARK, (CSO ZONED)  
APN TITLE: 5434 CITY OF VISALIA (PROP. OWNER)  
CYPRESS, W.  
087-450-07

No comments.

Same comments as \_\_\_\_\_

Revisions required. See comments below.

Resubmittal required. See comments below.

Individual can refuse service will be provided curbside.

Backyard fence gates must be a minimum of 32 inches in width for backyard automation container storage.

Commercial bin service requires room for recycling container. All refuse enclosures must be a double ( ) T - 1 or ( X ) T - 3 for 6yd containers. Service will be provided at bin enclosure built according to city standards.

Type of refuse service not indicated.

Location of bin enclosure not acceptable. See comments below.

Bin enclosure not to city standards double. ( ) T - 1 or T - 3

Inadequate number of bins to provide sufficient service. See comments below.

Drive approach too narrow for refuse trucks access. See comments below.

Area not adequate for allowing refuse truck turning radius of :  
Commercial ( ) 50 ft. outside 36 ft. inside; Residential ( ) 35 ft. outside, 20 ft. inside.

Paved areas should be engineered to withstand a 55,000 lb. refuse truck.

Hammerhead turnaround must be built per city standards.

Cul - de - sac must be built per city standards.

Bin enclosures are for city refuse containers only. Grease drums or any other items are not allowed to be stored inside bin enclosures.

Area in front of refuse enclosure must be marked in red indicating no parking

comments: **ENCLOSURE MUST BE DOUBLE T - 3 FOR TWO 6YDS REFUSE CONTAINERS**  
**ENCLOSURES MUST BE PLACED SO REFUSE TRUCK CAN DRIVE RIGHT UP TO REFUSE CONTAINER**  
**TO MAKE COLLECTION CONTAINERS DO NOT HAVE WHEELS. 1 6YD CONTAINER WILL BE FOR TRASH**  
**AND 1 - 6YD CONTAINER FOR RECYCLING. THIS SIZE CONTAINER WILL HELP CUSTOMER MAKE IT**  
**THROUGH THE WEEK ENDS**

Name ABEL FLORES

Phone # 713 - 4177

City of Visalia  
Public Works Department  
336 N. Ben Maddox Way  
Visalia, CA 93292

SITE PLAN REVIEW COMMENTS

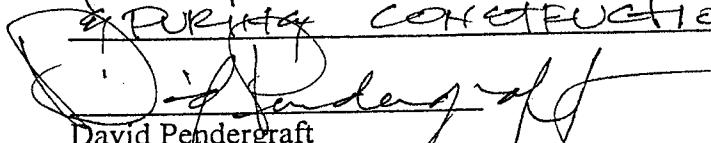
ITEM NO:	5	DATE:	MAY 28, 2003
SITE PLAN NO:	03-093		
PROJECT:	FAMILY FUN PARK		
APPLICANT TITLE:	PROPOSED 6.6 ACRES FAMILY FUN PARK, (CSO ZONED)		
LOCATION TITLE:	CITY OF VISALIA (PROP. OWNER)		
APN TITLE:	CYPRESS, W.		
	087-450-07		

COMMENTS: See Below  None

- Please plot and protect all Valley Oak Trees.
- Landscape along parkway to be planted by developer and maintained by a maintenance district.
- All drainage from curb and gutter along streets to be connected to storm drain system.
- All trees planted in street right-of-way to be approved by the Public Works Superintendent of Parks.
- Tie-ins to existing infrastructure may require a bore. Check with the Public Works Department prior to any street cut.

Other Comments: SHOW DIAMETER AT BREAST

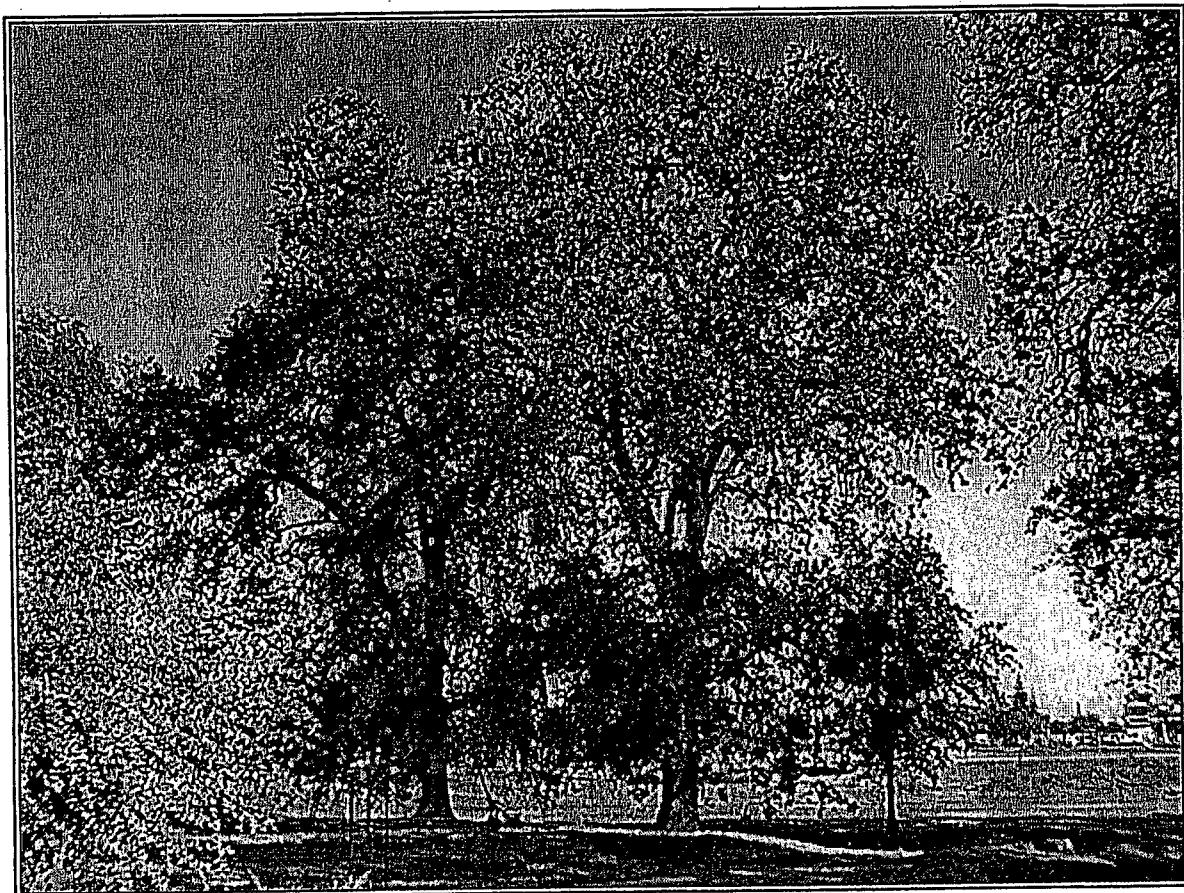
HEIGHT (DBH) AND DIMENSIONS OF CANOPY  
ON PLANS. PROVIDE PROTECTION GUIDELINES  
ON PLANS. FENCE OFF & PROTECT BEFORE  
ASPHALT CONSTRUCTION.

  
David Pendergraft  
Landscape & Irrigation Specialist  
559 713-4295      Fax 559 713-4818

CALL ME ON  
OAK LANDSCAPE

Email: dpendergraft@ci.visalia.ca.us

# STANDARD SPECIFICATIONS FOR BUILDING AROUND VALLEY OAKS



CITY OF VISALIA  
Urban Forestry Guidelines

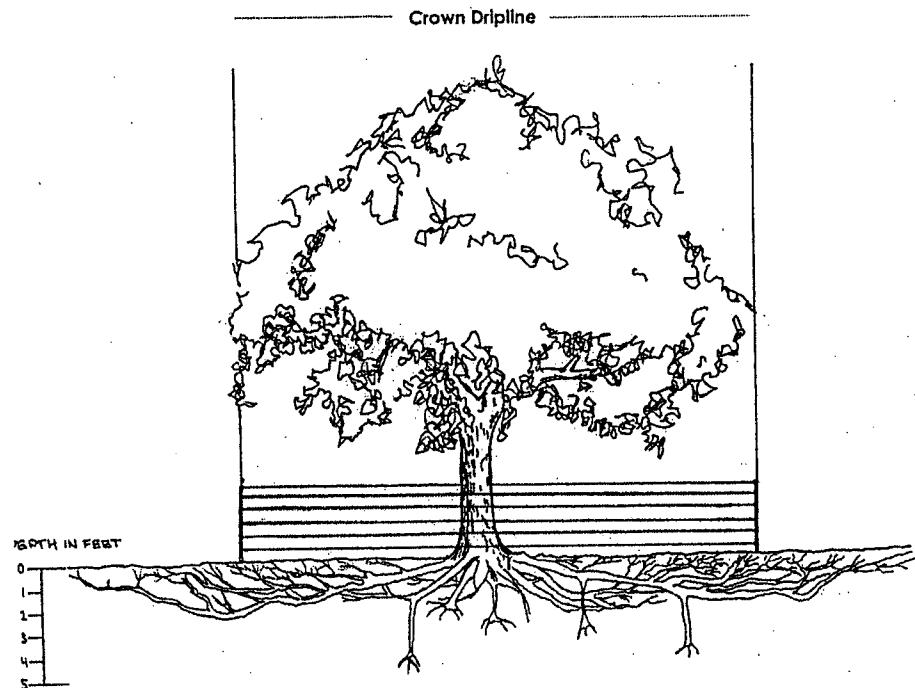


The citizens of Visalia are fortunate to live among the largest remaining stand of native Valley Oaks in the Central Valley. These magnificent trees need to be protected during development, so that they will survive for the next generation. By following these standard specifications we can ensure that all will enjoy the beauty of the Valley Oaks for generations to come.

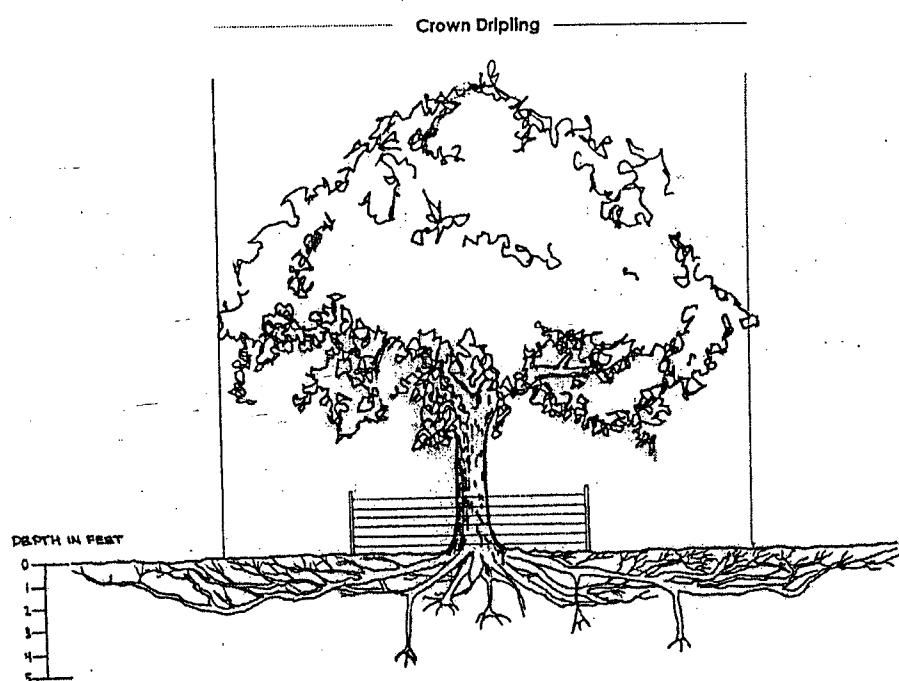
1. The protection zone of all Valley Oaks shall be drawn to scale on plans; this includes accurately locating the trunk and depicting the crown dripline. There shall be no earth work around the crown dripline without the consent of the City Arborist.
2. All utility locations shall be included in all develop plans involving Valley Oak(s)
3. Protective tree fencing shall be added prior to any earthwork, at least 3 ft. minimum in height, installed at outer most end of the dripline surrounding the trunk of a Valley Oak. The temporary fencing shall be: safety orange color, plastic webbing, temporary construction type fencing. (Snow fencing) Fencing shall be supported by steel T-bar stakes. This fence is to remain until construction is complete and the City Arborist approves its removal. Nothing may be stored inside the protective fence. See detail 1.
4. There shall be no back filling within 10 ft. of the trunk of a Valley Oak and a maximum of 6 inches of backfill within the crown dripline. Any deviation from this requires City Arborist approval. Backfill will be of a high quality soil and clean of any debris.
5. There shall be no trenching within the crown dripline of the Valley Oak, or at a distance to be determined by the City Arborist. Utilities to be installed within the crown dripline shall be bored at a minimum depth of 36". See detail 4
6. There shall be no soil compaction, paving or structures placed within the crown drip-line of a Valley Oaks without the written consent of the City Arborist.
7. Valley Oak trees shall be irrigated before construction starts and through construction during the summer (June through October). This will help ensure that the tree can better withstand the stress of construction. Irrigation is extremely important during spring and summer when the environment around a mature Valley Oak is changed by construction. Irrigations shall water all of the area under the crown dripline. See detail 3
8. Permanent irrigation systems must be bubbler, drip, flood or sub-terrain only. No sprinkler systems allowed within 6 ft. of tree. If an irrigation system is to be added it must be approved by the City Arborist.
9. Landscaping under Valley Oaks shall consist of drought tolerant plants or California native plants that are drought tolerant in nature. There is to be no landscaping within 6 ft. of the trunk. Chipped bark and mulch are suitable for this area. No lawns shall be planted within 10 ft. of the trunk. We recommend that there be no lawn place within the crown dripline.

Please contact the City Arborist at 559-713-4295 to answer questions or provide assistance.

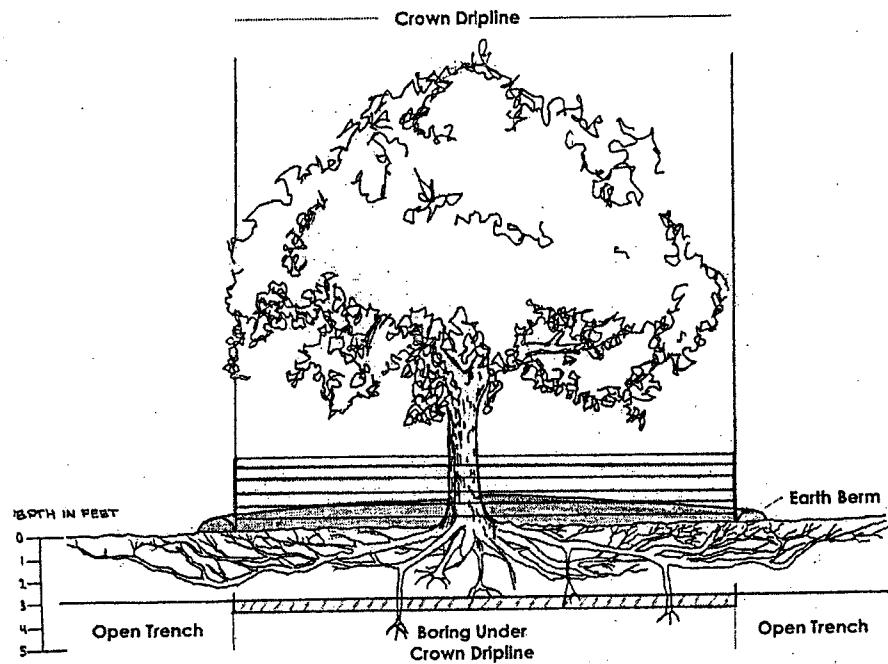
**Detail 1. Proper Protective Tree Fencing:** Protecting the root system under the crown dripline is critical for the health, longevity and stability of a tree. Mature trees including Valley Oaks typically lack taproots as commonly thought. 80% of a mature trees root system is often within the top 18" of the soil surface. Protective fencing shall in place before any earth work begins on the site.



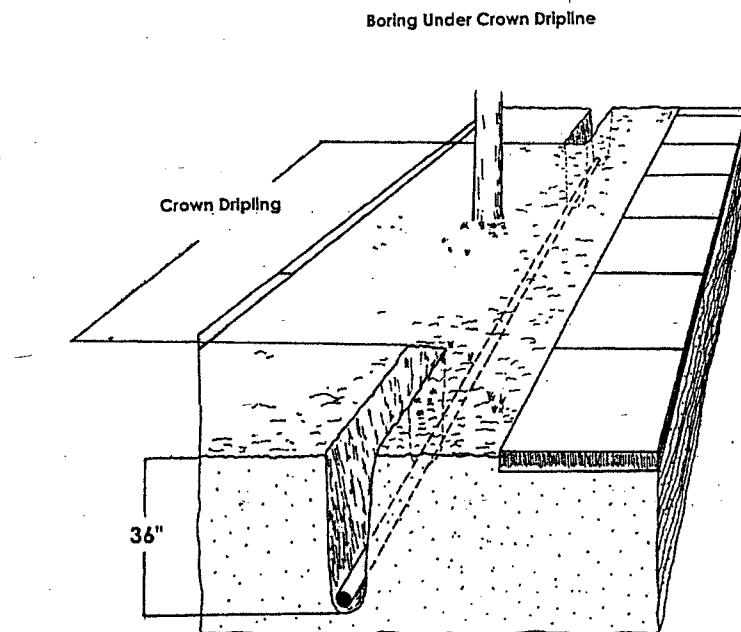
**Detail 2. Improper Protective Tree Fencing:** Protecting the health and stability of mature valley is impossible without protecting the root system under the crown dripline. The detail below is not acceptable because it does not adequately protect the tree.



**Detail 3. Irrigation.** An eight inch tall by eight inch wide earth berm can be added direct outside the protective fence surrounding the crown dripline to direct water into the root zone. The area inside the earth berm under the crown dripline shall be flood irrigated one time in each of the following months; June and August.



**Detail 4. Boring under the crown drip-line:** Mechanical boring shall be required to tunnel under the crown dripline with a horizontal directional bore. The boring shall be at a minimum depth of 36".



**City of Visalia  
Police Department**  
303 S. Johnson St.  
Visalia, Ca. 93292  
(559) 713-4370

ITEM NO: 5 DATE: **MAY 28, 2003**  
SITE PLAN NO: 03-093  
PROJECT: FAMILY FUN PARK  
APPLICANT TITLE: PROPOSED 6.6 ACRES FAMILY FUN  
PARK, (CSO ZONED)  
LOCATION TITLE: CITY OF VISALIA (PROP. OWNER)  
APN TITLE: CYPRESS, W.  
APN: 087-450-07

## Site Plan Review Comments

- No Comment at this time.
- Request opportunity to comment or make recommendations as to safety issues as plans are developed.
- Public Safety Impact fee:  
Ordinance No. 2001-11 Chapter 16.48 of Title 16 of the Visalia Municipal Code  
Effective date - August 17, 2001

Impact fees shall be imposed by the City pursuant to this Ordinance as a condition of or in conjunction with the approval of a development project. "New Development or Development Project" means any new building, structure or improvement of any parcels of land, upon which no like building, structure or improvement previously existed. \*Refer to Engineering Site Plan comments for fee estimation.

- Not enough information provided. Please provide additional information pertaining to:

Territorial Reinforcement: Define property lines (private/public space).

Access Controlled / Restricted etc:

Lighting Concerns:

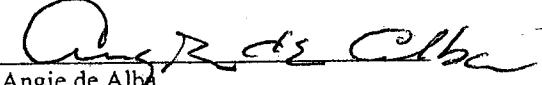
Landscaping Concerns:

Traffic Concerns:

Surveillance Issues:

Line of Sight Issues:

Other Concerns:

  
Angie de Alba

Visalia Police Department

Crime Prevention Through Environmental Design

**DEPARTMENT OF TRANSPORTATION**

1352 WEST OLIVE AVENUE  
 P.O. BOX 12616  
 FRESNO, CA 93778-2616  
 PHONE (559) 488-7306  
 FAX (559) 488-4088  
 TTY (559) 488-4066



Flex your power!  
 Be energy efficient!

June 11, 2003



2135-IGR/CEQA  
 6-TUL-198-6.76 +/-  
 SPR 03-093  
 FAMILY FUN PARK

Mr. Ken McSheehy, Plans Examiner  
 City of Visalia  
 Planning Division  
 315 East Acequia Avenue  
 Visalia, CA 93291

Dear Mr. McSheehy:

Thank you for the opportunity to review the Site Plan Review Number 03-093. The project proposes to develop an amusement/adventure park at the northwest corner of Akers Street and Cypress Avenue, south of State Route (SR) 198. The facility will include a miniature golf course, a bumper boat course, an eight-station batting cage, and two go-cart tracks of 525 feet and 1,015 feet in length. It appears that the facility will also include a recreational community center. The site plan indicates that there will be a total of 166 parking stalls provided at the facility. The project's northern boundary is directly adjacent to the eastbound SR 198/Akers Street off-ramp in the City of Visalia. Caltrans has the following comments:

Although it is anticipated that the majority of trips generated by this facility will occur during the weekend, it is estimated that the facility could generate as many as 45 trips during afternoon weekday peak periods, of which 75%-85% (34-38) could impact the SR 198/Akers Street ramp intersections. This project, in itself, is not anticipated to "significantly impact" State facilities; however, the cumulative impacts of this development and other developments in the general area will have significant impact to the interchange at Akers Street.

As mentioned in our comments for other projects in the region, the westbound slip off-ramp from SR 198 to Akers Road will need to be widened and signalized in the future. The proposed driveway on Mineral King Avenue is not compatible with the future ramp modifications.

Mr. Ken McSheehy

June 11, 2003

Page 2

The City of Visalia should add the improvements to the Akers Road interchange to the City's development impact fee program. It is recommended that the project proponent participate in the City of Visalia's development impact fee program and contribute a pro-rata fair share for the interchange improvements if it is not currently in the fee program.

Please send a response to our comments prior to staff's recommendations to the Planning Commission and the City Council. Questions regarding Traffic and Operations need to be referred to Troy Arseneau at (559) 444-2483 or John Liu at (559) 488-4331. If you have any other questions, please call me at (559) 488-7306.

Sincerely,



Al Dias

Office of Transportation Planning  
District 6

**BUILDING PLAN REQUIREMENTS  
ENGINEERING/TRAFFIC DIVISION**

<input type="checkbox"/> David Jacobs	713-4492
<input type="checkbox"/> Michael Carr	713-4595
<input type="checkbox"/> Ken McSheehy	713-4447
<input type="checkbox"/> Jim Funk	713-4540
<input type="checkbox"/> Daniel Espinoza	713-4259
<input type="checkbox"/> Greg Dais	713-4419
<input checked="" type="checkbox"/> Doug Damko	713-4268

ITEM NO: 5 DATE: MAY 28, 2003

SITE PLAN NO.: 03-093  
PROJECT: FAMILY FUN PARK ON 6.6 ACRES, (CSO ZONED)  
APPLICANT: CITY OF VISALIA (PROP. OWNER)  
LOCATION: 5434 W. CYPRESS  
APN: 087-450-07

**SITE PLAN REVIEW COMMENTS**

REQUIREMENTS (indicated by checked boxes)

Install curb return with ramp, with radius;

Install curb, City Std.  Gutter Gutter Std.

Drive approach size: **commercial std.**  Use radius return; 20'R

Sidewalk: 6' ft. width.  7' ft. parkway width at Cypress

Right-of-way dedication required; **Cypress Avenue**

Deed required prior to issuing building permit. **All public right of way and public easements**

City Encroachment Permit Required. **All work within City's right of way**

Insurance certificate with general & auto liability (\$1 million each) and workers compensation (\$1 million), valid business license, and appropriate contractor's license must be on file with the City, and valid Underground Service Alert # provided prior to issuing the permit.

CalTrans Encroachment Permit required.  CalTrans comments required prior to issuing building permit.

Contacts: Al Diaz (planning) 488-7306

Grading & Drainage plan required.  Prepared by registered civil engineer or project architect.  Storm Water Discharge permit is required.  All elevations shall be based on the official City of Visalia datum.

Grading permit is required for clearing and earthwork performed prior to issuance of the building permit.

Show finish elevations. (Minimum slopes: A.C. pavement = 1%, Concrete pavement = 0.25%. Curb & Gutter = .020%, V-gutter = 0.25%)

Show adjacent property grade elevations.

Install landscape curbing (typical at parking lot planters).

Minimum paving section for parking: 2' asphalt/concrete paving over 4" Class 2 Agg. Base, or 4" concrete paving over 2" sand.

Design Paving section to traffic index of 5.0 min. for solid waste truck travel path.

Provide 'R' value tests 1' each at 300 ft. along Cypress Ave.

Written comments required from ditch company **Persian/Watson** Contacts: James Silva 747-1177 for Modoc, Persian, Watson, Oakes, Flemming, Evans Ditch and Peoples Ditch; Jerry Hill 686-3425 for Tulare Irrigation Canal, Packwood and Cameron Creeks; Bruce George 747-5601 for Mill Creek and St. John's River.

Access required on ditch bank, 12' minimum  Provide wide riparian dedication from top of bank.

Show Oak trees with drip lines and adjacent grade elevations.  Protect Oak trees during construction with 6' high chain link fence at drip line.

A permit is required to remove oak trees. Contact David Pendergraft at 713-4295 for an Oak tree evaluation or permit to remove.  A pre-construction conference is required.

Ponding basin required ( : maximum slope);  Fence required;  Provide access to bottom for maintenance

Developer shall relocate existing utility poles and/or facilities.

Subject to existing Reimbursement Agreement to reimburse prior developer.

Dust control is required on site during construction and for all material excavated, graded, and/or transported.

**THE TRAFFIC DIVISION WILL PROHIBIT ON-STREET PARKING AS DEEMED NECESSARY**

Install 3 Street Light(s) on Marbelite Standards

Install Street Name Blades at Location(s).

Install Stop Sign(s) at Location(s).

Comply with prior comments.  Resubmit with additional information.  Redesign required.  Summary of Estimated Engineering Fees is attached.

**Additional Comments:**

1.) *The developer shall improve Cypress to a width of 32 feet to accommodate two-way traffic along the full length of the development. Street improvements consist of curb, gutter and pavement. Cypress shall be designed for a T.I. of 6.5 and a design speed of 35 MPH. The centerline profile of Cypress shall be designed to tie into the box culvert crossing of the south fork of the Persian Ditch. The City will reimburse the Developer for construction of the south 9 ft. of Cypress Ave.*

2.) *The property being developed is presently owned by the City. The Developer will need to dedicate 30 feet for the road right of way. The curb pattern shall be 46-foot curb to curb with a 7-foot landscape strip on both sides. The sidewalk shall lie within a 6-foot sidewalk easement contiguous to the road right of way.*

3.) *The developer shall extend sewer and storm drain lines in Cypress Ave. to the western property line. The Master Plan service area boundary is the ditch on the property's west boundary. All underground work shall be done prior to installing street improvements.*

4.) *The Developer is responsible for 1/4 of the cost of constructing a box culvert crossing over the south fork of the Persian Ditch. The Developer may be required to construct the box culvert crossing completely and the City will reimburse for 3/4 of the actual cost or the Developer can pay 1/4 of the estimated cost to the City as determined by City staff. The cost of the box culvert crossing shall include all improvements within the limits of the Persian Ditch easement. These improvements shall consist of the concrete box culverts, concrete headwalls and the road improvements consisting of curb, gutter, sidewalk, drive approaches, access gates, aggregate base and asphalt paving. Construction of the culvert by the Developer is contingent upon all necessary rights being secured by the City prior to approval of the improvement drawings.*

5.) *An easement shall need to be obtained from the Persian Ditch company for the box culvert crossing.*

6.) *The Developer shall provide an access easement at the most westerly drive approach to be utilized for a hammerhead turnaround.*

7.) *Adjacent to the development, install City standard chain link fence with gates along the ditch easement. Included with the fence for ditch maintenance will be access gates and a drive approach whose location is approved by the ditch company and the City Engineer.*

8.) *Public sidewalk shall be installed in an easement in the median island of the circle drive.*

## SUMMARY OF ESTIMATED ENGINEERING FEES

Site Plan No: 03-093  
Date: MAY 28, 2003

**Summary of Estimated Engineering Fees:** (Preliminary estimate only | Final Fees to be based on building permit plans.)

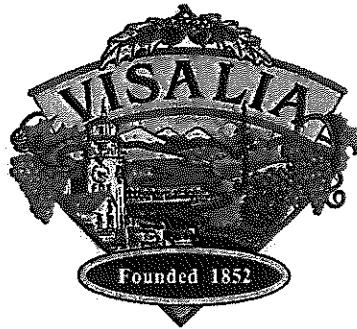
(Basis of fee calculation: CSO zoning - Shopping/Office Center)

(Credits: )

Additional Information is required prior to estimating applicable Engineering Fees.

Fee Item	Fee/Unit	Unit(s)	Credits (if applicable)	Estimated Total
<input checked="" type="checkbox"/> Parking Lot Plan		53,000 s.f. +/-		\$628.00
<input checked="" type="checkbox"/> Check & Inspection			n/a	
<input checked="" type="checkbox"/> Encroachment Permit	3.1% of Estimated Construction Cost for Public Improvements	n/a	n/a	
<input checked="" type="checkbox"/> Transportation Impact	\$4,827.42/1000 s.f.	20,408/1000 s.f.		\$98,517.99
<input checked="" type="checkbox"/> Trunk Line Capacity Fee	\$11.73/1000 s.f.	20,408/1000 s.f.		\$239.39
<input checked="" type="checkbox"/> Sewer Front Foot Fee				
<input checked="" type="checkbox"/> Storm Drain Fee	\$4,064.19/acre	6.2 acres		\$25,197.98
<input type="checkbox"/> Park Acc/Dev Fee				
<input type="checkbox"/> Northeast Fees				
<input checked="" type="checkbox"/> Waterways Acquisition	\$400.21/acre	6.2 acres		\$2,481.30
<input checked="" type="checkbox"/> Public Safety Impact Fee: Police	\$1,866.86/acre	6.2 acres		\$11,574.53
<input checked="" type="checkbox"/> Public Safety Impact Fee: Fire	\$364.82/acre	6.2 acres		\$2,261.88

  
Doug Damko



#11

MEETING DATE: MARCH 28, 2018

SITE PLAN NO. 18-058

PARCEL MAP NO.

SUBDIVISION:

LOT LINE ADJUSTMENT NO.

Enclosed for your review are the comments and decisions of the Site Plan Review committee. Please review all comments since they may impact your project.

**RESUBMIT** Major changes to your plans are required. Prior to accepting construction drawings for building permit, your project must return to the Site Plan Review Committee for review of the revised plans.

During site plan design/policy concerns were identified, schedule a meeting with

Planning       Engineering prior to resubmittal plans for Site Plan Review.

Solid Waste       Parks and Recreation       Fire Dept.

**REVISE AND PROCEED** (see below)

A revised plan addressing the Committee comments and revisions must be submitted for Off-Agenda Review and approval prior to submitting for building permits or discretionary actions.

Submit plans for a building permit between the hours of 9:00 a.m. and 4:00 p.m., Monday through Friday.

Your plans must be reviewed by:

<input type="checkbox"/> CITY COUNCIL	<input type="checkbox"/> REDEVELOPMENT
<input checked="" type="checkbox"/> PLANNING COMMISSION	<input type="checkbox"/> PARK/RECREATION
<input checked="" type="checkbox"/> <u>CUP SEE ADDL COMMENTS</u>	
<input type="checkbox"/> HISTORIC PRESERVATION	<input type="checkbox"/> OTHER: _____

**ADDITIONAL COMMENTS:** CUP REQ'D FOR WATER FEATURE COMPONENT

If you have any questions or comments, please call Jason Huckleberry at (559) 713-4259.

*Site Plan Review Committee*



**BUILDING PLAN REQUIREMENTS  
ENGINEERING/TRAFFIC DIVISION**

<input type="checkbox"/> David Jacobs	713-4492
<input type="checkbox"/> Michael Carr	713-4595
<input type="checkbox"/> Ken McSheehy	713-4447
<input type="checkbox"/> Jim Funk	713-4540
<input type="checkbox"/> Daniel Espinoza	713-4259
<input type="checkbox"/> Greg Dais	713-4419
<input checked="" type="checkbox"/> Doug Damko	713-4268

ITEM NO: 5 DATE: MAY 28, 2003

SITE PLAN NO.: 03-093  
PROJECT: FAMILY FUN PARK ON 6.6 ACRES, (CSO ZONED)  
APPLICANT: CITY OF VISALIA (PROP. OWNER)  
LOCATION: 5434 W. CYPRESS  
APN: 087-450-07

**SITE PLAN REVIEW COMMENTS**

REQUIREMENTS (indicated by checked boxes)

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Install curb, City Std.  Gutter Gutter Std.

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Sidewalk 6' ft. width.  7' ft. parkway width at Cypress

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Deed required prior to issuing building permit. **All public right of way and public easements**

City Encroachment Permit Required. **All work within City's right of way**

Insurance certificate with general & auto liability (\$1 million each) and workers compensation (\$1 million), valid business license, and appropriate contractor's license must be on file with the City, and valid Underground Service Alert # provided prior to issuing the permit.

CalTrans Encroachment Permit required.  CalTrans comments required prior to issuing building permit.

Contacts: Al Diaz (planning) 488-7306

Grading & Drainage plan required.  Prepared by registered civil engineer or project architect.  Storm Water Discharge permit is required.  All elevations shall be based on the official City of Visalia datum.

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Show finish elevations. (Minimum slopes: A.C. pavement = 1%, Concrete pavement = 0.25%. Curb & Gutter = .020%, V-gutter = 0.25%)

Show adjacent property grade elevations.

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Show Oak trees with drip lines and adjacent grade elevations.  Protect Oak trees during construction with 6' high chain link fence at drip line.

A permit is required to remove oak trees. Contact David Pendergraft at 713-4295 for an Oak tree evaluation or permit to remove.  A pre-construction conference is required.

Ponding basin required ( : maximum slope);  Fence required;  Provide access to bottom for maintenance

Developer shall relocate existing utility poles and/or facilities.

Subject to existing Reimbursement Agreement to reimburse prior developer.

Dust control is required on site during construction and for all material excavated, graded, and/or transported.

**THE TRAFFIC DIVISION WILL PROHIBIT ON-STREET PARKING AS DEEMED NECESSARY**

Install 3 Street Light(s) on Marbelite Standards

Install Street Name Blades at Location(s).

Install Stop Sign(s) at Location(s).

Comply with prior comments.  Resubmit with additional information.  Redesign required.  Summary of Estimated Engineering Fees is attached.

**Additional Comments:**

1.) *The developer shall improve Cypress to a width of 32 feet to accommodate two-way traffic along the full length of the development. Street improvements consist of curb, gutter and pavement. Cypress shall be designed for a T.I. of 6.5 and a design speed of 35 MPH. The centerline profile of Cypress shall be designed to tie into the box culvert crossing of the south fork of the Persian Ditch. The City will reimburse the Developer for construction of the south 9 ft. of Cypress Ave.*

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7.) *Adjacent to the development, install City standard chain link fence with gates along the ditch easement. Included with the fence for ditch maintenance will be access gates and a drive approach whose location is approved by the ditch company and the City Engineer.*

8.) *Public sidewalk shall be installed in an easement in the median island of the circle drive.*

## SUMMARY OF ESTIMATED ENGINEERING FEES

Site Plan No: 03-093  
Date: MAY 28, 2003

**Summary of Estimated Engineering Fees:** (Preliminary estimate only. Final Fees to be based on building permit plans.)

(Basis of fee calculation: CSO zoning - Shopping/Office Center)

(Credits: )

Additional Information is required prior to estimating applicable Engineering Fees.

Fee Item	Fee/Unit	Unit(s)	Credits (if applicable)	Estimated Total
<input checked="" type="checkbox"/> Parking Lot Plan		53,000 s.f. +/-		\$628.00
<input checked="" type="checkbox"/> Check & Inspection			n/a	
<input checked="" type="checkbox"/> Encroachment Permit	3.1% of Estimated Construction Cost for Public Improvements	n/a	n/a	
<input checked="" type="checkbox"/> Transportation Impact	\$4,827.42/1000 s.f.	20,408/1000 s.f.		\$98,517.99
<input checked="" type="checkbox"/> Trunk Line Capacity Fee	\$11.73/1000 s.f.	20,408/1000 s.f.		\$239.39
<input checked="" type="checkbox"/> Sewer Front Foot Fee				
<input checked="" type="checkbox"/> Storm Drain Fee	\$4,064.19/acre	6.2 acres		\$25,197.98
<input type="checkbox"/> Park Acc/Dev Fee				
<input type="checkbox"/> Northeast Fees				
<input checked="" type="checkbox"/> Waterways Acquisition	\$400.21/acre	6.2 acres		\$2,481.30
<input checked="" type="checkbox"/> Public Safety Impact Fee: Police	\$1,866.86/acre	6.2 acres		\$11,574.53
<input checked="" type="checkbox"/> Public Safety Impact Fee: Fire	\$364.82/acre	6.2 acres		\$2,261.88

  
Doug Damko

- Traffic indexes per city standards.
- Install street striping as required by the City Engineer.
- Install landscape curbing (typical at parking lot planters).
- Minimum paving section for parking: 2" asphalt concrete paving over 4" Class 2 Agg. Base, or 4" concrete pavement over 2" sand.
- Design Paving section to traffic index of 5.0 min. for solid waste truck travel path.
- Provide "R" value tests:      each at
- Written comments required from ditch company      Contacts: James Silva 747-1177 for Modoc, Persian, Watson, Oakes, Flemming, Evans Ditch and Peoples Ditch; Jerry Hill 686-3425 for Tulare Irrigation Canal, Packwood and Cameron Creeks; Bruce George 747-5601 for Mill Creek and St. John's River.
- Access required on ditch bank, 15' minimum     Provide      wide riparian dedication from top of bank.
- Show Valley Oak trees with drip lines and adjacent grade elevations.     Protect Valley Oak trees during construction in accordance with City requirements.
- A permit is required to remove Valley Oak trees. Contact Public Works Admin at 713-4428 for a Valley Oak tree evaluation or permit to remove.     A pre-construction conference is required.
- Relocate existing utility poles and/or facilities.
- Underground all existing overhead utilities within the project limits. Existing overhead electrical lines over 50KV shall be exempt from undergrounding.
- Subject to existing Reimbursement Agreement to reimburse prior developer.
- Fugitive dust will be controlled in accordance with the applicable rules of San Joaquin Valley Air District's Regulation VIII. Copies of any required permits will be provided to the City.
- If the project requires discretionary approval from the City, it may be subject to the San Joaquin Valley Air District's Rule 9510 Indirect Source Review per the rule's applicability criteria. A copy of the approved AIA application will be provided to the City.
- If the project meets the one acre of disturbance criteria of the State's Storm Water Program, then coverage under General Permit Order 2009-0009-DWQ is required and a Storm Water Pollution Prevention Plan (SWPPP) is needed. A copy of the approved permit and the SWPPP will be provided to the City.
- Comply with prior comments.     Resubmit with additional information.     Redesign required.

**Additional Comments:**

1. *Proposed reuse and expansion of the existing go-kart building will incur additional impact fees related to the additional floor space. Refer to page 3 for applicable fees and summary.*
2. *A building permit is required. Standard plan check and inspection fees apply.*
3. *Addition of the water feature will require further entitlement process through the Planning Dept. Refer to Planning conditions of approval.*
4. *Building remodel/addition can proceed ahead of the required Planning entitlements (which pertain to the added water feature).*

**BUILDING/DEVELOPMENT PLAN  
REQUIREMENTS  
ENGINEERING DIVISION**

Jason Huckleberry 713-4259  
 Adrian Rubalcaba 713-4271  
 Diego Corvera 713-4209

**SITE PLAN REVIEW COMMENTS**

**REQUIREMENTS** (indicated by checked boxes)

Install curb return with ramp, with radius;  
 Install curb;  gutter  
 Drive approach size:  Use radius return;  
 Sidewalk: width;  parkway width at  
 Repair and/or replace any sidewalk across the public street frontage(s) of the subject site that has become uneven, cracked or damaged and may constitute a tripping hazard.  
 Replace any curb and gutter across the public street frontage(s) of the subject site that has become uneven and has created areas where water can stand.  
 Right-of-way dedication required. A title report is required for verification of ownership.  
 Deed required prior to issuing building permit;  
 **City Encroachment Permit Required. FOR ANY WORK NECESSARY IN THE PUBLIC RIGHT-OF-WAY**  
Insurance certificate with general & auto liability (\$1 million each) and workers compensation (\$1 million), valid business license, and appropriate contractor's license must be on file with the City, and valid Underground Service Alert # provided prior to issuing the permit. Contact Encroachment Tech. at 713-4414.  
 **CalTrans Encroachment Permit required.**  CalTrans comments required prior to issuing building permit.  
Contacts: David Deel (Planning) 488-4088;  
 Landscape & Lighting District/Home Owners Association required prior to approval of Final Map. Landscape & Lighting District will maintain common area landscaping, street lights, street trees and local streets as applicable. Submit completed Landscape and Lighting District application and filing fee a min. of 75 days before approval of Final Map.  
 Landscape & irrigation improvement plans to be submitted for each phase. Landscape plans will need to comply with the City's street tree ordinance. The locations of street trees near intersections will need to comply with Plate SD-1 of the City improvement standards. A street tree and landscape master plan for all phases of the subdivision will need to be submitted with the initial phase to assist City staff in the formation of the landscape and lighting assessment district.  
 Grading & Drainage plan required. If the project is phased, then a master plan is required for the entire project area that shall include pipe network sizing and grades and street grades.  Prepared by registered civil engineer or project architect.  All elevations shall be based on the City's benchmark network. Storm run-off from the project shall be handled as follows: a)  directed to the City's existing storm drainage system; b)  directed to a permanent on-site basin; or c)  directed to a temporary on-site basin is required until a connection with adequate capacity is available to the City's storm drainage system. On-site basin: : maximum side slopes, perimeter fencing required, provide access ramp to bottom for maintenance.  
 Grading permit is required for clearing and earthwork performed prior to issuance of the building permit.  
 Show finish elevations. (Minimum slopes: A.C. pavement = 1%, Concrete pavement = 0.25%. Curb & Gutter = .020%, V-gutter = 0.25%)  
 Show adjacent property grade elevations. A retaining wall will be required for grade differences greater than 0.5 feet at the property line.  
 All public streets within the project limits and across the project frontage shall be improved to their full width, subject to available right of way, in accordance with City policies, standards and specifications.

ITEM NO: 11 DATE: MARCH 28, 2018

SITE PLAN NO.: 18-058  
PROJECT TITLE: WATER FEATURE SUPPORT BUILDING/VISALIA ADVENTURE PARK  
DESCRIPTION: ADD ON AND REMODEL EXISTING GO-KART SUPPORT BUILDING TO A SUPPORT BUILDING FOR A WATER PLAY FEATURE (CMU) (AE)  
APPLICANT: HURICK ROGER  
PROP OWNER: VISALIA INVESTMENT ASSOCIATES LLC  
LOCATION: 5600 W CYPRESS AVE  
APN: 087-450-019

## SUMMARY OF APPLICABLE DEVELOPMENT IMPACT FEES

Site Plan No: 18-058  
Date: 3/28/2018

### **Summary of applicable Development Impact Fees to be collected at the time of building permit:**

**(Preliminary estimate only! Final fees will be based on the development fee schedule in effect at the time of building permit issuance.)**

(Fee Schedule Date: 8/18/2017)

(Project type for fee rates: RETAIL)

Existing uses may qualify for credits on Development Impact Fees.

<b>FEE ITEM</b>	<b>FEE RATE</b>
<input type="checkbox"/> Groundwater Overdraft Mitigation Fee	
<input checked="" type="checkbox"/> Transportation Impact Fee	<b>\$9,475/1000SF X 2 = \$18,950</b>
<input checked="" type="checkbox"/> Trunk Line Capacity Fee	<b>\$6/SEAT X NEW OCCUPANCY TREATMENT PLANT FEE: \$14/SEAT X NEW OCCUPANCY</b>
<input type="checkbox"/> Sewer Front Foot Fee	
<input type="checkbox"/> Storm Drain Acq/Dev Fee	
<input type="checkbox"/> Park Acq/Dev Fee	
<input type="checkbox"/> Northeast Specific Plan Fees	
<input type="checkbox"/> Waterways Acquisition Fee	
<input type="checkbox"/> Public Safety Impact Fee: Police	
<input type="checkbox"/> Public Safety Impact Fee: Fire	
<input checked="" type="checkbox"/> Public Facility Impact Fee	<b>\$325/1000SF X 2 = \$650</b>
<input type="checkbox"/> Parking In-Lieu	

### **Reimbursement:**

- 1.) No reimbursement shall be made except as provided in a written reimbursement agreement between the City and the developer entered into prior to commencement of construction of the subject facilities.
- 2.) Reimbursement is available for the development of arterial/collector streets as shown in the City's Circulation Element and funded in the City's transportation impact fee program. The developer will be reimbursed for construction costs and right of way dedications as outlined in Municipal Code Section 16.44. Reimbursement unit costs will be subject to those unit costs utilized as the basis for the transportation impact fee.
- 3.) Reimbursement is available for the construction of storm drain trunk lines and sanitary sewer trunk lines shown in the City's Storm Water Master Plan and Sanitary Sewer System Master Plan. The developer will be reimbursed for construction costs associated with the installation of these trunk lines.

  
Adrian Rubalcaba

# SITE PLAN REVIEW COMMENTS

Andrew Chamberlain, Planning Division (559) 713-4003

Date: March 28, 2018

SITE PLAN NO: 2018-058  
PROJECT TITLE: Adventure Park – Alteration to Go-Cart Building  
DESCRIPTION: Adventure Park – Alteration to Go-Cart Building (C-MU)  
APPLICANT: Roger Hurick  
PROP. OWNER: Visalia Investment  
LOCATION TITLE: 5800 W. Cypress  
APN TITLE: 078-450-019  
GENERAL PLAN: Commercial Mixed Use  
ZONING: C-MU – Commercial Mixed Use

## **Planning Division Recommendation:**

- Revise and Proceed – alterations to go-cart building
- Resubmit

## **Project Requirements**

- The proposed alterations to the go-cart building may go to the building permits process.
- Additional Information as Needed

## **PROJECT SPECIFIC INFORMATION: 10/11/2017**

1. The proposed alterations to the go-cart building may go to the building permits process.
2. **NOTE:** The accompanying water park feature is required to go through the Site Plan Review process and to go through the CUP process.
3. Meet all other requirements of CUP No. 2003-39.
4. Meet all other city codes and ordinances.

## **17.19.060 Development standards in the C-MU zones outside the downtown area.**

The following development standards shall apply to property located in the C-MU zone and located outside the Downtown Area, which is defined as the area that is south of Murray Avenue, west of Ben Maddox Way, north of Mineral King Avenue, and east of Conyer Street:

- A. Minimum site area: five (5) acres.
- B. Maximum building height: fifty (50) feet.
- C. Minimum required yards (building setbacks):
  1. Front: fifteen (15) feet;
  2. Rear: zero (0) feet;
  3. Rear yards abutting an R-1 or R-M zone district: fifteen (15) feet;
  4. Side: zero (0) feet;
  5. Side yards abutting an R-1 or R-M zone district: fifteen (15) feet;
  6. Street side yard on corner lot: ten (10) feet.
- D. Minimum required landscaped yard (setback) areas:
  1. Front: fifteen (15) feet;
  2. Rear: five (5) feet;
  3. Rear yards abutting an R-1 or R-M zone district: five (5) feet;
  4. Side: five (5) feet (except where a building is located on side property line);

5. Side yards abutting an R-1 or R-M zone district: five (5) feet;
6. Street side on corner lot: ten (10) feet.
7. The provisions of Chapter 17.58 shall also be met, if applicable.

---

**Parking:**

1. No change to parking demand.

**Fencing and Screening:**

1. NOTE: The maximum height of block walls and fences is 7-feet in the appropriate areas; this height is measured on the tallest side of the fence. If the height difference is such that the fence on the inside of the project site is not of sufficient height, the fence height should be discussed with Planning Staff prior to the filing of applications to determine if an Exception to fence/wall height should also be submitted.

**Landscaping:**

1. No changes

**NOTE: Staff recommendations contained in this document are not to be considered support for a particular action or project unless otherwise stated in the comments. The comments found on this document pertain to the site plan submitted for review on the above referenced date. Any changes made to the plan submitted must be submitted for additional review.**

Signature

**City of Visalia**  
**Building: Site Plan**  
**Review Comments**

ITEM NO: 11	DATE: Mar 8, 2018
SITE PLAN NO:	SPR18058
PROJECT TITLE:	WATER FEATURE SUPPORT BUILDING/VISALIA
DESCRIPTION:	ADD ON AND REMODEL EXISTING GO-KART SUPPORT BUILDING TO A SUPPORT BUILDING FOR A WATER PLAY FEATURE. (C-MU) (AE)
APPLICANT:	HURICK ROGER
PROP OWNER:	VISALIA INVESTMENT ASSOCIATES LLC
LOCATION:	5600 W CYPRESS AVE
APN(S):	087-450-019

**NOTE:** These are general comments and DO NOT constitute a complete plan check for your specific project  
 Please refer to the applicable California Code & local ordinance for additional requirements.

- A building permit will be required. *For information call (559) 713-4444*
- Submit 5 sets of professionally prepared plans and 2 sets of calculations. (Small Tenant Improvements)
- Submit 5 sets of plans prepared by an architect or engineer. Must comply with 2016 California Building Cod Sec. 2308 for conventional light-frame construction or submit 2 sets of engineered calculations.
- Indicate abandoned wells, septic systems and excavations on construction plans.

**You are responsible to ensure compliance with the following checked items:**

- Meet State and Federal requirements for accessibility for persons with disabilities.
- A path of travel, parking and common area must comply with requirements for access for persons with disabilities.
- All accessible units required to be adaptable for persons with disabilities.
- Maintain sound transmission control between units minimum of 50 STC.
- Maintain fire-resistive requirements at property lines.
- A demolition permit & deposit is required. *For information call (559) 713-4444*
- Obtain required permits from San Joaquin Valley Air Pollution Board. *For information call (559) 230-6000*
- Plans must be approved by the Tulare County Health Department. *For information call (559) 624-8011*
- Project is located in flood zone AE \*  Hazardous materials report. *For information call (559) 713-4444*  
Flood Proof 1'-0" above B.F.E.  
 Arrange for an on-site inspection. (Fee for inspection \$157.00)
- School Development fees. Commercial \$0.56 per square foot. Residential \$3.45 per square foot.
- Park Development fee \$ \_\_\_\_\_ per unit collected with building permits.
- Existing address must be changed to be consistent with city address. *For information call (559) 713-4320*
- Acceptable as submitted
- No comments at this time

Additional comments: \_\_\_\_\_

  
 3/27/18  
 Signature



**Site Plan Rev. / Comments For:**  
Visalia Fire Department  
Kurtis A. Brown, Fire Marshal  
707 W Acequia  
Visalia, CA 93291  
559-713-4261 Office  
559-713-4808 Fax

ITEM NO: 11

SITE PLAN NO:

PROJECT TITLE:

DESCRIPTION:

APPLICANT:

PROP OWNER:

LOCATION:

APN(S):

DATE: March 28, 2018

18058

WATER FEATURE SUPPORT BUILDING/VISALIA  
ADD ON AND REMODEL EXISTING GO-KART  
SUPPORT BUILDING TO A SUPPORT BUILDING FOR  
A WATER PLAY FEATURE. (C-MU) (AE)  
HURICK ROGER  
VISALIA INVESTMENT ASSOCIATES LLC  
5600 W CYPRESS AVE  
087-450-019

**The following comments are applicable when checked:**

The Site Plan Review comments are issued as general overview of your project. With further details, additional requirements will be enforced at the Plan Review stage. Please refer to the 2016 California Fire Code (CFC), 2016 California Building Codes (CBC) and City of Visalia Municipal Codes.

All fire detection, alarm, and extinguishing systems in existing buildings shall be maintained in an operative condition at all times and shall be replaced or repaired where defective. If building has been vacant for a significant amount of time, the fire detection, alarm, and or extinguishing systems may need to be evaluated by a licensed professional. *2016 CFC 901.6*

No fire protection items required for parcel map or lot line adjustment; however, any future projects will be subject to fire & life safety requirements including fire protection.

Construction and demolition sites prior to and during construction shall comply with the following:

- Water Supply for fire protection, either temporary or permanent, shall be made available as soon as combustible materials arrive on the site. *2016 CFC 3312*
- An all-weather, 20 feet width Construction Access Road capable of holding a 75,000 pound fire apparatus. Fire apparatus access shall be provided within 100 feet of temporary or permanent fire department connections. *2016 CFC 3310*

More information is needed before a Site Plan Review can be conducted. Please submit plans with more detail. Please include information on

**General:**

Address numbers must be placed on the exterior of the building in such a position as to be clearly and plainly visible from the street. Numbers will be at least four inches (4") high and shall be of a color to contrast with their background. If multiple addresses served are by a common driveway, the range of numbers shall be posted at the roadway/driveway. *2016 CFC 505.1*

All hardware on exit doors, illuminated exit signs and emergency lighting shall comply with the 2016 California Fire Code. This includes all locks, latches, bolt locks, panic hardware, fire exit hardware and gates.

Commercial dumpsters with 1.5 cubic yards or more shall not be stored or placed within 5 feet of combustible walls, openings, or a combustible roof eave line except when protected by a fire sprinkler system. *2016 CFC 304.3.3*

- A Knox Box key lock system is required. Where access to or within a structure or area is restricted because of secured openings (doors and/or gates), a key box is to be installed in an approved location. The key box shall be ordered using an approved Knox Authorization Order Form. The forms are located at the fire department administration office located at 707 W. Acequia, Visalia, CA 93291. Please allow adequate time for shipping and installation. *2016 CFC 506.1*
- If your business handles hazardous material in amounts that exceed the Maximum Allowable Quantities listed on *Table 5003.1.1(1), 5003.1.1(2), 5003.1.1(3) and 5003.1.1(4) of the 2016 California Fire Code*, you are required to submit an emergency response plan to the Tulare County Health Department. Also you shall indicate the quantities on your building plans and prior to the building final inspection a copy of your emergency response plan and Safety Data Sheets shall be submitted to the Visalia Fire Department.

#### **Water Supply for Residential, Commercial & Industrial:**

##### **Residential**

- Fire hydrant spacing and location shall comply with the following requirements:  
The exact location and number of fire hydrants shall be at the discretion of the fire marshal, fire chief and/or their designee. *Visalia Municipal Code 16.36.120(5)*
  - Single-family residential developments shall be provided with fire hydrants every six hundred (600) lineal feet of residential frontage. In isolated developments, no less than two (2) fire hydrants shall be provided.
  - Multi-family, zero lot line clearance, mobile home park or condominium developments shall be provided with fire hydrants every four hundred (400) lineal feet of frontage. In isolated developments, no less than two (2) fire hydrants shall be provided.
  - Multi-family or condominium developments with one hundred (100) percent coverage fire sprinkler systems shall be provided with fire hydrants every six (600) lineal feet of frontage. In isolated developments, no less than two (2) fire hydrants shall be provided.

##### **Commercial & Industrial**

- Where a portion of the facility or building is more than 400 feet from a hydrant on a fire apparatus access road, on-site fire hydrant(s) shall be provided. *2016 CFC 507.5.1*
- Due to insufficient building information, the number and distance between fire hydrants cannot be determined by the Site Plan Review process. The number of fire hydrants and distance between required fire hydrants shall be determined by utilizing type of construction and square footage in accordance with *CFC 2016 Appendix C102 & C103 & CFC 507.5.1*
- To determine fire hydrant location(s) and distribution the following information was provided to the Site Plan Review committee: **Type of construction** \_\_\_\_\_ **Square footage** \_\_\_\_\_

#### **Emergency Access**

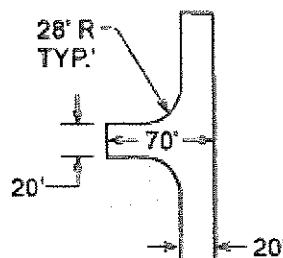
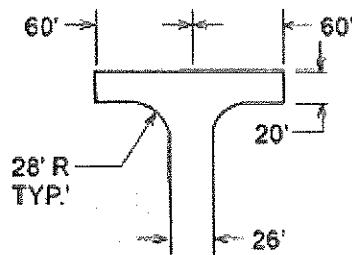
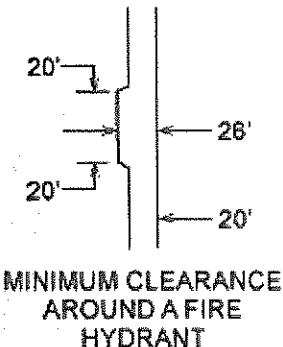
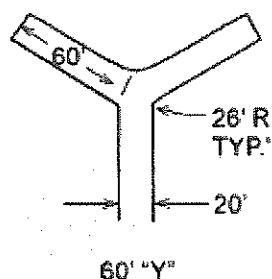
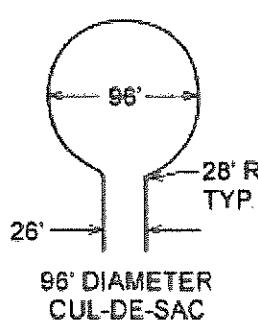
- A fire apparatus access roads shall be provided and must comply with the 2016 CFC and extend within 150 of all portions of the facility and all portions of the exterior walls of the first story of the building as measured by an approved route around the exterior of the building or facility. Fire apparatus access

roads shall have an unobstructed width of not less than 20 feet. Minimum turning radius for emergency fire apparatus shall be 20 feet inside radius and 43 feet outside radius. 2016 CFC 503.1.1

Buildings or portions of buildings or facilities with a vertical distance between the grade plan and the highest roof surface that exceed 30 feet shall provide an approved fire apparatus access roads capable of accommodating fire department aerial apparatus.

- Access roads shall have a minimum unobstructed width of 26 feet, exclusive of shoulders.
- Access routes shall be located within a minimum of 15 feet and maximum of 30 feet from the building, and shall be positioned parallel to one entire side of the building.
- Overhead utility and power lines shall not be located over the aerial fire apparatus access road or between the aerial fire apparatus road and the building.

Fire apparatus access roads in excess of 150 feet and dead end shall be provided with a turnaround. Fire apparatus access roads with a length of 151-500 feet shall be a minimum of 20 feet in width. Length of 501-750 feet shall be 26 feet in width. 2016 CFC Table D103.4



120' HAMMERHEAD

ACCEPTABLE ALTERNATIVE  
TO 120' HAMMERHEAD

Approved No PARKING – FIRE LANE signs shall be provided for fire apparatus access roads to identify such roads or prohibit the obstruction thereof. Signs shall have a minimum dimension of 12 inches wide by 18 inches high and have red letters on a white reflective background. 2013 CFC 503.3/D103.6

SIGN TYPE "A"



SIGN TYPE "C"



SIGN TYPE "D"



- On site Fire Apparatus Access Roads shall be provided and have an unobstructed width of not less than the following:
  - 20 feet width, exclusive of shoulders (No Parking)
  - More than 26 feet width, exclusive of shoulders (No Parking one side)
  - More than 32 feet wide, exclusive of shoulders (Parking permitted on both sides)
- Marking- approved signs, other approved notices or marking that include the words ‘NO PARKING- FIRE LANE shall be provided for fire apparatus access roads to identify such roads or prohibit the obstruction thereof. *CFC 503.3*
- Gates on access roads shall be a minimum width of 20 feet and shall comply with the following:  
*2016 CFC D103.5*
  - Gates shall be of the swinging or sliding type.
  - Gates shall allow manual operation by one person (power outages).
  - Gates shall be maintained in an operative condition at all times.
  - Electric gates shall be equipped with a means of opening the gate by fire department personnel for emergency access. (Note: Knox boxes shall be ordered using an approved Knox Authorization Order Form. The forms are located at the fire department administration office located at 707 W. Acequia, Visalia, CA 93291. Please allow adequate time for shipping and installation.)
- Streets shall meet the City of Visalia’s Design & Improvement Standards for streets to ensure that fire apparatus can make access to all structures in the event of an emergency.

#### Fire Protection Systems

- An automatic fire sprinkler system will be required for this building. Also, a fire hydrant is required within 50 feet of the Fire Department Connection (FDC). Where an existing building is retrofitted with a sprinkler system (NFPA 13 or NFPA 13R) a fire hydrant shall be provided within 75 feet of the FDC. An additional 25 feet of distance between a fire hydrant and FDC may be granted when a fire sprinkler Density is designed with an additional 25%. *2016 CFC 912 and Visalia Municipal Code 8.20.010 subsection C103.4*
- Locking fire department connection (FDC) caps are required. The caps shall be ordered using an approved Knox Authorization Order Form. The forms are located at the fire department administration office located at 707 W. Acequia, Visalia, CA 93291. *2016 CFC 912.4.1*
- Commercial cooking appliances and domestic cooking appliances used for commercial purposes that produces grease laden vapors shall be provided with a Type 1 Hood, in accordance with the California Mechanical Code, and an automatic fire extinguishing system. *2016 CFC 904.12 & 609.2*

#### Special Comments:

- 



Kurtis A. Brown  
Fire Marshal

# City of Visalia Police Department

303 S. Johnson St.  
Visalia, Ca. 93292  
(559) 713-4370

ITEM NO: 11

SITE PLAN NO:

PROJECT TITLE:

DESCRIPTION:

APPLICANT:

PROP OWNER:

LOCATION:

APN(S):

DATE March 28, 2018

SPR18058

WATER FEATURE SUPPORT BUILDING/VISALIA  
ADD ON AND REMODEL EXISTING GO-KART  
SUPPORT BUILDING TO A SUPPORT BUILDING FOR  
A WATER PLAY FEATURE. (C-MU) (AE)

VISALIA INVESTMENT ASSOCIATES LLC  
5600 W CYPRESS AVE  
087-450-019

## Site Plan Review Comments



No Comment at this time.



Request opportunity to comment or make recommendations as to safety issues as plans are developed.



Public Safety Impact fee:

Ordinance No. 2001-11 Chapter 16.48 of Title 16 of the Visalia Municipal Code

Effective date - August 17, 2001

Impact fees shall be imposed by the City pursuant to this Ordinance as a condition of or in conjunction with the approval of a development project. "New Development or Development Project" means any new building, structure or improvement of any parcels of land, upon which no like building, structure or improvement previously existed. \*Refer to Engineering Site Plan comments for fee estimation.



Not enough information provided. Please provide additional information pertaining to:



Territorial Reinforcement: Define property lines (private/public space).



Access Controlled / Restricted etc:



Lighting Concerns:



Landscaping Concerns:



Traffic Concerns:



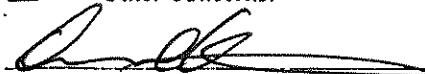
Surveillance Issues: ADD SURVEILLANCE / SECURITY SYSTEM  
Area D27C14



Line of Sight Issues:



Other Concerns:



Visalia Police Department

# SITE PLAN REVIEW COMMENTS

## CITY OF VISALIA TRAFFIC SAFETY DIVISION

March 28, 2018

ITEM NO: 11	
SITE PLAN NO:	SPR18058
PROJECT TITLE:	WATER FEATURE SUPPORT BUILDING/VISALIA ADVENTURE PARK
DESCRIPTION:	ADD ON AND REMODEL EXISTING GO-KART SUPPORT BUILDING TO A SUPPORT BUILDING FOR A WATER PLAY FEATURE (C-MU)(AE)
APPLICANT:	HURICK ROGER
PROP OWNER:	VISALIA INVESTMENT ASSOCIATES LLC
APN:	087-450-019
LOCATION:	5600 W CYPRESS AVE VISA

### THE TRAFFIC DIVISION WILL PROHIBIT ON-STREET PARKING AS DEEMED NECESSARY

- No Comments
- See Previous Site Plan Comments
- Install Street Light(s) per City Standards.
- Install Street Name Blades at Locations.
- Install Stop Signs at Locations.
- Construct parking per City Standards PK-1 through PK-4.
- Construct drive approach per City Standards.
- Traffic Impact Analysis required.
  - Provide more traffic information such as Depending on development size, characteristics, etc., a TIA may be required.

#### Additional Comments:

- 



Leslie Blair

CITY OF VISALIA  
SOLID WASTE DIVISION  
336 N. BEN MADDOX  
VISALIA CA. 93291  
713 - 4500

COMMERCIAL BIN SERVICE

XX

No comments.

ITEM NO: 11

DATE: March 28, 2018

SITE PLAN NO:

SI 0058

PROJECT TITLE:

WATER FEATURE SUPPORT BUILDING/VISALIA

DESCRIPTION:

ADD ON AND REMODEL EXISTING GO-KART

APPLICANT:  
PROP OWNER:  
LOCATION:  
APN(S):

SUPPORT BUILDING TO A SUPPORT BUILDING FOR  
A WATER PLAY FEATURE. (C-MU) (AE)  
HURICK ROGER

VISALIA INVESTMENT ASSOCIATES LLC  
5600 W CYPRESS AVE  
087-450-019

\_\_\_\_\_

Same comments as \_\_\_\_\_

\_\_\_\_\_

Rewritten required prior to submitting final plans. See \_\_\_\_\_

\_\_\_\_\_

Resubmittal required. See comments below.

\_\_\_\_\_

Customer responsible for all cardboard and other bulky recyclables to be broken down  
before disposing of in recycle containers.

\_\_\_\_\_

ALL refuse enclosures must be R-3 OR R-4

\_\_\_\_\_

Customer must provide combination or keys for access to locked gates/bins

\_\_\_\_\_

Type of refuse service not indicated.

\_\_\_\_\_

Location of bin enclosure not acceptable. See comments below.

\_\_\_\_\_

Bin enclosure not to city standards double.

\_\_\_\_\_

Inadequate number of bins to provide sufficient service. See comments below.

\_\_\_\_\_

Drive approach too narrow for refuse trucks access. See comments below.

\_\_\_\_\_

Area not adequate for allowing refuse truck turning radius of :

Commercial ( X ) 50 ft. outside 36 ft. inside; Residential ( ) 35 ft. outside, 20 ft. inside.

Paved areas should be engineered to withstand a 55,000 lb. refuse truck.

\_\_\_\_\_

Bin enclosure gates are required

\_\_\_\_\_

Hammerhead turnaround must be built per city standards.

\_\_\_\_\_

Cul - de - sac must be built per city standards.

\_\_\_\_\_

Bin enclosures are for city refuse containers only. Grease drums or any other  
items are not allowed to be stored inside bin enclosures.

Area in front of refuse enclosure must be marked off indicating no parking

\_\_\_\_\_

Enclosure will have to be designed and located for a STAB service (DIRECT ACCESS)  
with no less than 38' clear space in front of the bin, included the front concrete pad.

Customer will be required to roll container out to curb for service.

\_\_\_\_\_

Must be a concrete slab in front of enclosure as per city standards

The width of the enclosure by ten(10) feet, minimum of six(6) inches in depth.

Roll off compactor's must have a clearance of 3 feet from any wall on both sides and  
there must be a minimum of 53 feet clearance in front of the compactor  
to allow the truck enough room to provide service.

Comment

Jim Ross, Solid Waste Manager, 559-713-4533

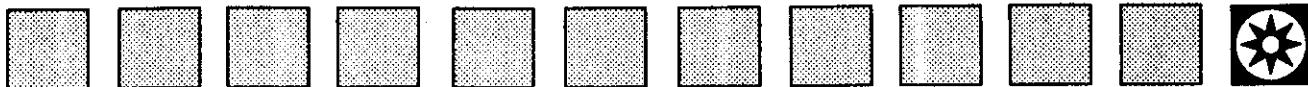


Exhibit "E"

Monitor well water and waterway quality throughout the Visalia planning area in cooperation with Tulare County, water districts, private water companies, and irrigation companies. 1.1.10

Establish water conservation design standards for private development landscaping. 1.1.11

## 1.2 COMMUNITY WATERWAYS

### Objectives

**Protect water resources vital to the health of the community's residents and important to the planning area's ecological and economical stability.** A

**Preserve and enhance selected planning area waterways and adjacent corridors as valuable community resources which serve as plant and wildlife habitats, as flood control and irrigation components, and as connections between open space areas** B

**Continue to coordinate development of a community-wide waterway program for irrigation/flood control and recreation use with water districts, irrigation companies, private water companies and state agencies.** C

*(See Figure 6 for illustration of community waterways.)*

### Implementing Policies

Protect, and where necessary, restore and enhance a continuous corridor of native riparian vegetation along planning area waterways. 1.2.1

Establish a liability agreement between the City and water conservation districts and ditch companies related to public access and trail use and riparian corridor enhancement programs along selected creeks and ditches through the community. 1.2.2

Use transferable development rights, easements or require dedication of land along waterways to protect natural habitat areas, allow maintenance operations and promote trails and bike paths. 1.2.3

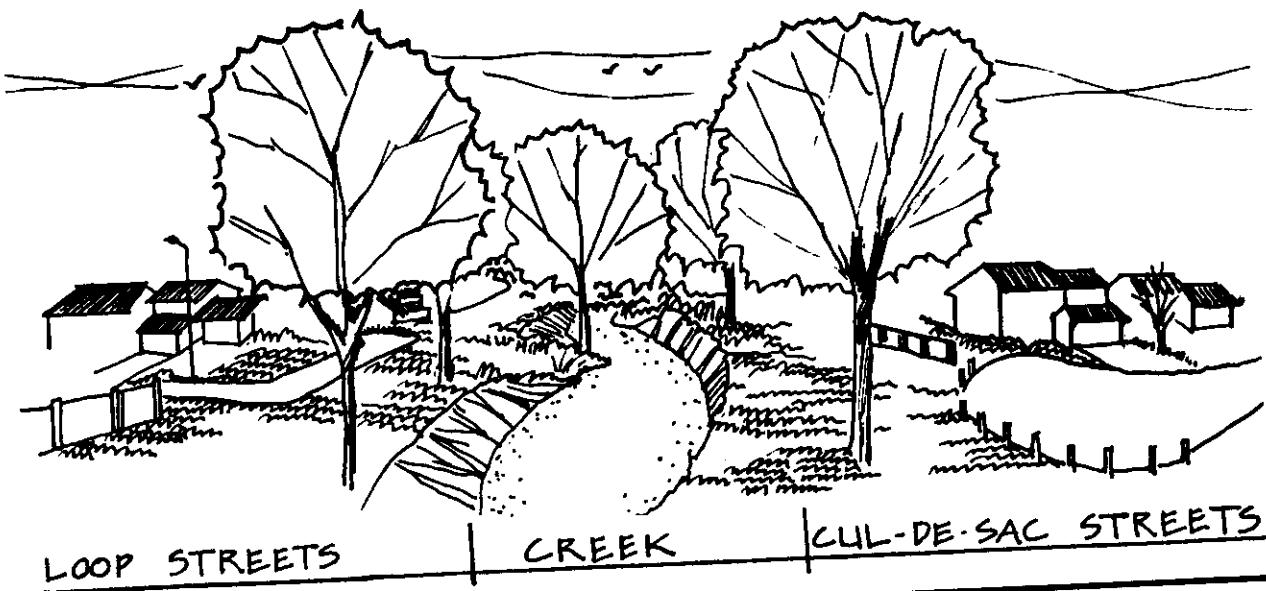
Residential or commercial development shall not be allowed within development setbacks (defined in standards below) along waterway corridors. Maintenance and emergency access roads, trails, and bike paths are permitted within waterway corridor development setbacks. 1.2.4

Discourage "back-on" and "side-on" lot development adjacent to waterways. 1.2.5



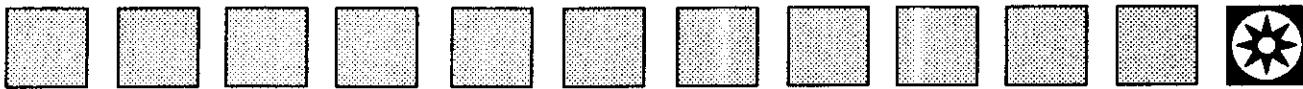


1.2.6 Site public rather than private uses adjacent to waterway corridors such as single-loaded, loop or cul-de-sac streets to promote access, security, and separation from urban development.



1.2.7 Protect and enhance the St. John's River Corridor by implementing the following specific policies: (refer to the *Community Waterways map*, Figure 6).

- a) Designate the St. John's River islands for Conservation/Open space use on the General Plan and develop a zoning district or ordinance to protect and enhance plant and wildlife habitats. Allow low intensity public use of these islands as interpretative centers for education and research.
- b) Adopt the St. John's River Park Master Plan for land acquisition and maintenance to protect riparian plants and wildlife habitat along the river corridor while encouraging low intensity public access and use.
- c) Integrate future St. John's River Park expansions into a regional park system linking Cutler Park and Terminus Dam to the east and a future regional park facility at the river's junction with Demaree Road on the west.
- d) Develop plans for and evaluate the feasibility of expanding the River Park to the river's north bank and adjacent area for conservation, open space, and recreation needs.
- e) Plant native riparian vegetation along the St. John's River levee, in accordance with California Fish & Game, California Water Resources Board (Guide for Vegetation on Project Levees), and Kaweah Delta Water Conservation District standards. Strive to enhance and expand riparian habitat as compatible with flood control purposes.



f) Development proposals adjacent to the St. John's River shall demonstrate how on-site and adjacent natural resources will be protected and buffered from new uses.

Restore, enhance and maintain the natural, scenic, historical and open space quality of the Mill, Packwood, Cameron Creek corridors. 1.2.8

Restore, enhance and maintain the natural and open space qualities of Modoc, Evans, and Persian ditches. 1.2.9

Designate Mill Creek/Evans Ditch confluence area as Conservation/ Open Space to protect and enhance plant and wildlife habitats. Promote use as an interpretative center for education and research. 1.2.10

Develop transition and buffer areas on either side of Mill Creek and Evans Ditch to provide some measure of habitat protection. 1.2.11

#### Standards

*The following standards shall apply to all future uses proposed adjacent to the various community waterways.*

Maintain a 100-foot riparian habitat development setback from the St. John's River's south levee's landside outside-bottom toe through land dedication or easements.

1:

Provide an additional minimum 30-foot firebreak setback from the St. John's River's development setback through use of easements.

2:

Where no urban development exists, maintain a 50 to 100-foot riparian habitat development setback from the discernible top of the bank for both sides of Mill, Packwood, and Cameron Creek corridors through land dedication or easements. Restore and enhance this area with native vegetation.

3:

*(Note: The width of the 50-100 foot setback shall depend on the following factors. If riparian trees are located within 100 feet of the channel, the setback shall be wide enough to include these trees. The setback shall include five feet outside of the dripline of these trees.)*

4:

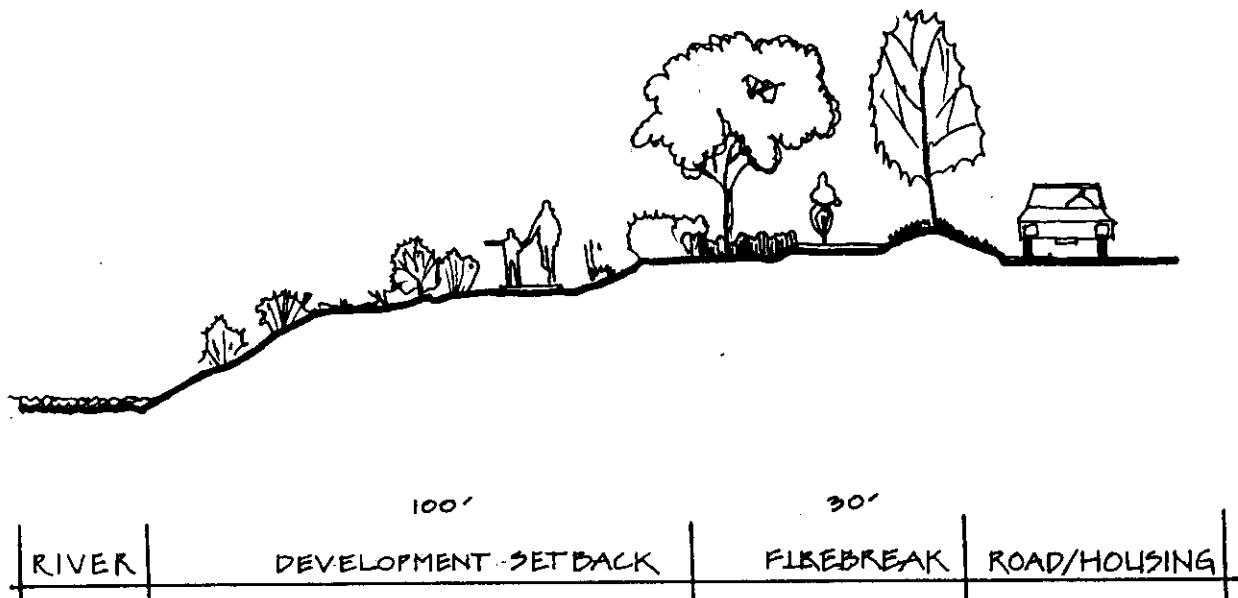
Where existing development or land committed to development prohibits the 50 to 100-foot setback on Mill, Packwood, and Cameron Creek Corridors, provide the maximum amount of land available for a development setback through land dedication or easements.

Where no urban development exists, maintain a 25 to 50-foot riparian habitat development setback (from discernible top of bank) for both sides of Modoc, Evans, and Persian Ditches through land dedication or easements.

5:



6: Where existing development or land committed to development prohibits the 25 to 50-foot setback along Modoc, Evans, and Persian Ditches, provide the maximum amount of land available for a development setback through easements.



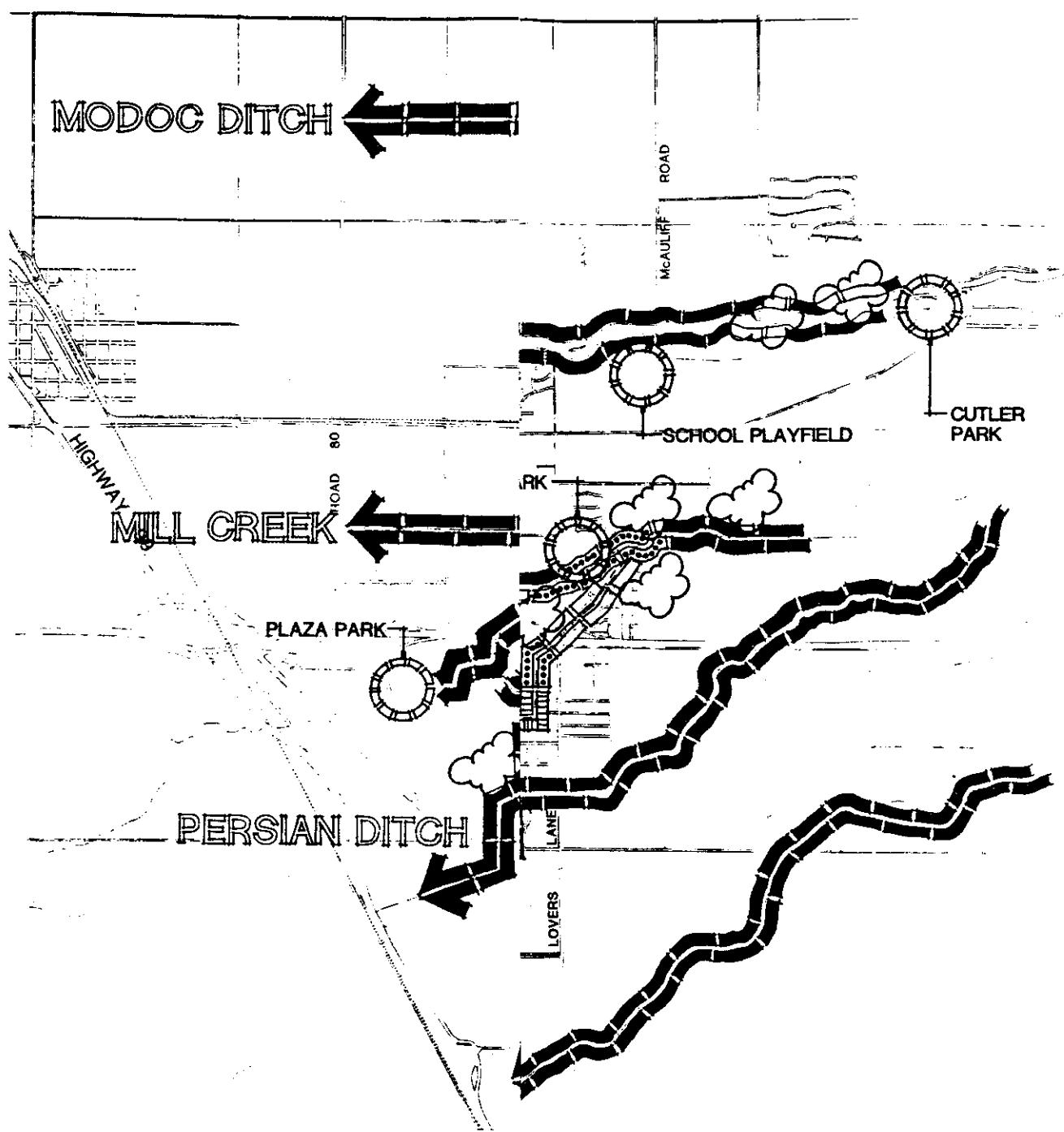
### 1.3 AIR QUALITY

#### Objective:

Strive to improve air quality for the entire planning area.

#### Implementing Policies

- 1.3.1 Promote maximum use of public transportation and ridesharing to reduce overall vehicular trips.
- 1.3.2 Continue to participate in and support regional planning efforts to meet air quality goals.



Visalia General Plan

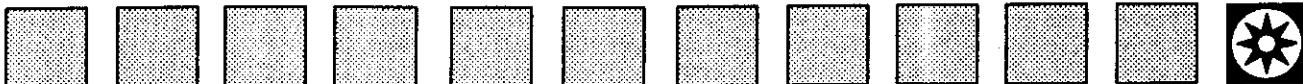
• FIGURE 6

## COMMUNITY WATERWAYS

CONSERVATION, OPEN SPACE  
RECREATION AND PARKS ELEMENT

52a

COMMUNITY WATERWAY



Continue to work with the Tulare County Air Pollution Control District to implement the vehicle smog check program and a County Air Quality Attainment Plan (AQAP). 1.3.3

Continue to mitigate short-term construction impacts and long-term stationary source impacts on a case-by-case basis as directed by the AQAP. 1.3.4

Prohibit, through the Site Plan Review Process, any development proposal which would significantly reduce vehicular speeds and flow. Significant shall be defined as reducing the service level of a roadway to "D" or below. 1.3.5

Reduce vehicle trips within the planning area and resultant air pollutants by developing improved and more extensive bikeways, bike storage facilities at major employment centers and public destinations, and pedestrian linkages through the City. 1.3.6

*(See Element Goal 3 and Circulation Element for more on trail, bikeway, and transportation system)*

Develop a coordinated and efficient roadway and circulation network through the Circulation Element of the General Plan which limits intersection delays, idling time, and other emissions-producing conditions. (See Circulation Element). 1.3.7

Provide a coordinated land use pattern which, to the maximum degree practicable, results in minimizing vehicle miles travelled in the planning area. 1.3.8

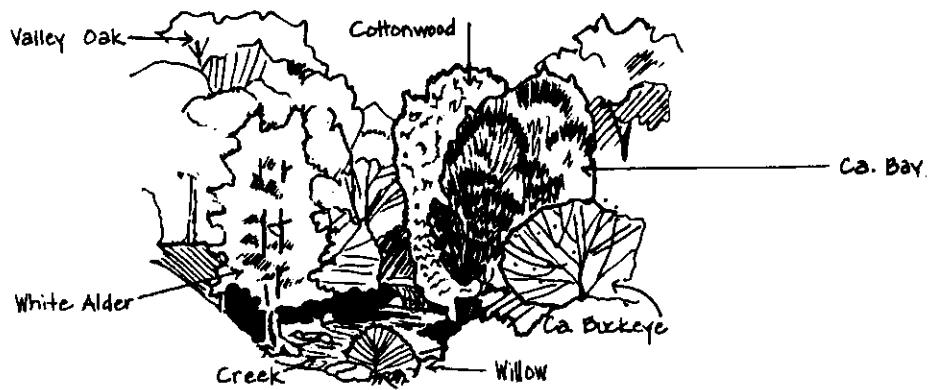
Promote use of low-pollen landscaping in City parks and open spaces. California natives and riparian species are to be used along community waterway corridors and in selected park spaces. 1.3.9

ALLERGY PRODUCERS	LOW-POLLEN PLANTS
	<i>Trees</i>
Ash	Chinese Tallow
Sycamore	Strawberry Tree
Sweetgum	Redwood
Acacia	Dogwood
Elm	Palm
Walnut	Fig
Oak	Jacaranda
Cottonwood	Red Bud
Poplar	Maidenhair
Willow	Crape Myrtle
	Magnolia
	<i>Shrubs</i>
Juniper	Oleander
Elderberry	Manzanita





ALLERGY PRODUCERS	LOW-POLLEN PLANTS
<i>Shrubs, continued</i>	
<i>Ceanothus</i>	<i>Pyracantha</i>
	<i>Boxwood</i>
	<i>Verbena</i>
<i>Grass Lawn</i>	<i>Dichondra</i>
<i>Irish Moss</i>	
<i>Bermuda</i>	



- 1.3.10 Develop public information and plant materials list on both high-and low-pollen producing landscape species.
- 1.3.11 Work with Chamber of Commerce, local landscape architects, nursery contractors, and arborists to promote landscaping with low-pollen plants.

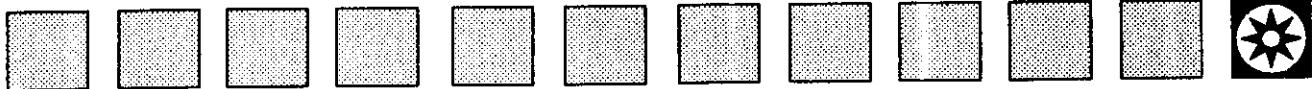
## 1.4 WILDLIFE AND NATURAL VEGETATION

### Objectives:

- A Preserve and protect natural habitat areas along community waterways.
- B Protect and enhance natural vegetation throughout the Visalia Planning Area.
- C Protect and enhance wildlife listed as rare, endangered, threatened and candidate species.

### Implementing

(Refer to the Vegetation and Habitat Map (Figure 3) in accordance with the following policies):



Develop and implement an "Open Space/Conservation" land use designation in the General Plan and Zoning Ordinance. Designate the following areas for habitat conservation and open space. 1.4.1

St. John's River Island  
Ghost Island  
Cain Street CottonwoodGrove  
Modoc Island

Mill Creek/Evans Ditch Jungle  
"Hobo Jungle"  
Northeast corner of Main Street  
/Ben Maddox Way

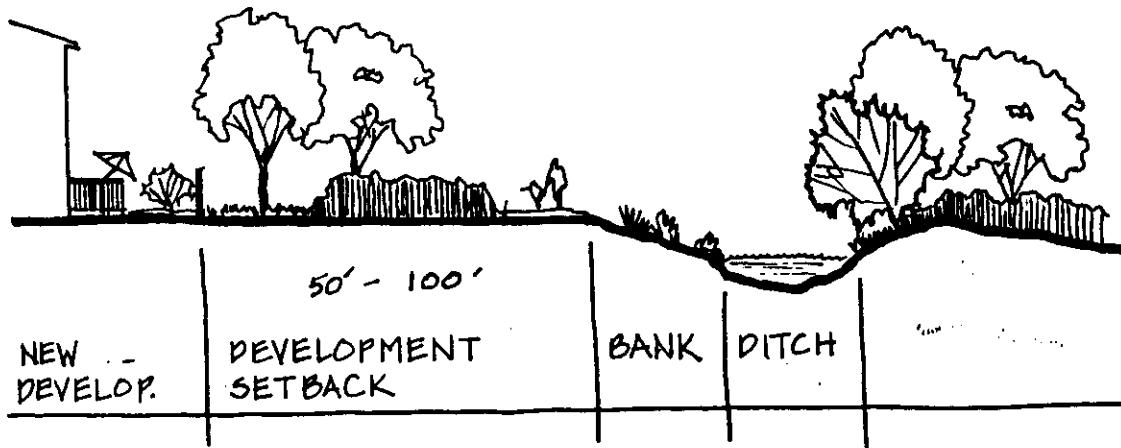
Establish guidelines to limit public access and protect Open Space/Conservation designated areas through development of open space/conservation ordinance. 1.4.2

Require field surveys for endangered species and rare plants in accordance with state and federal guidelines for new development in areas with potential occurrences. 1.4.3

Restore and enhance continuous corridors of riparian vegetation along selected community waterways. 1.4.4

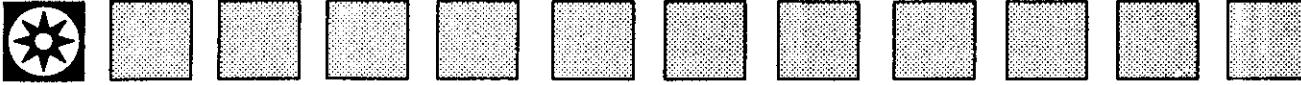
Design selected stormwater ponds and retention basins to serve a dual role as wildlife habitat by planting species appropriate for food and cover needs. Work with a trained professional in design, selection, and management of each site. 1.4.5

Reforest riparian habitat development setback areas of the planning area with Valley Oaks and other native trees. Plant riparian trees such as sycamore, cottonwood, ash, and willow along waterways. 1.4.6



Revise the City's Oak Tree Preservation Ordinance to include other mature native trees, and update the map of landmark trees and distinctive biotic areas. 1.4.7

Coordinate with Tulare County, The Nature Conservancy, U.S. Fish and Wildlife Service, California Department of Fish and Game, and other state agencies to acquire and manage land preserves which protect valuable habitat. 1.4.8



- 1.4.9 Consult with California Department of Fish and Game, U.S. Fish and Wildlife Service, and other agencies for review of development projects involving riparian habitat, endangered species habitat, and or other wildlife issues.
- 1.4.10 Develop riparian planting and maintenance standards.
- 1.4.11 Require future development adjacent to the Cain Street cottonwood grove and the Mill Creek/Evans Ditch split area to provide buffer between habitat areas and residential development.
- 1.4.12 Develop a master street tree plan for major public streets.

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## **1.5 HISTORIC AND ARCHAEOLOGICAL RESOURCES**

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**Objective:**

**The City's primary objective is to preserve and protect historic features and archaeological resources of the Visalia planning area including its agricultural surroundings for aesthetic, scientific, educational and cultural values.**

**Implementing Policies**

- 1.5.1 Within the Historic District, determine setbacks, street width, space between houses, and other physical parameters contributing to the historical neighborhood character. Use these elements as criteria for reviewing proposed new development adjacent to or within historic districts.
- 1.5.2 Cooperate with Tulare County Historical Society and other civic organizations for appropriate monuments to publicize historic sites.
- 1.5.3 Establish criteria for entryway signage and Historic District gateways.
- 1.5.4 Preserve archaeological sites in the Visalia planning area.
- 1.5.5 Comply with State and Federal requirements for protecting archaeological resources.
- 1.5.6 Develop specific criteria for conversion of historic structures from residential to office and commercial uses
- 1.5.7 Continue to identify, survey and establish new additions to the Historic District and Local Register.



**Table 3-1**  
**Summary of Potential Impacts, Proposed Mitigation Measures, and Mitigation Monitoring Program**

Impact Number	Impact	Responsible Party	Mitigation Measure	Level of Significance After Mitigation	City Approval
<b>Impact #3.1.1 - Aesthetics - Scenic Vista</b>	The project is located within the "scenic corridor" of the City of Visalia as determined by the West Visalia Specific Plan.	City	<ul style="list-style-type: none"> <li>▪ The proposed project shall incorporate intensive freeway planting along the frontage of State Highway 198, provide landscaping of the Persian Ditch in conformance with the Conservation, Open Space, Parks and Recreation Element and provide viewsheds into the project.</li> <li>▪ Implement the design measures in Appendix C.</li> <li>▪ Orient structures so longest dimensions are not in full sight of public views along Highway 198 in order to minimize structural mass and optimize views of landscaping and open space.</li> <li>▪ Improve parking lot landscaping standards to minimize visual impact of large expanses of asphalt and structural form, to enhance and promote natural characteristics compatible with urban form. Landscaping shall provide 50</li> </ul>	Less Than Significant	

Impact Number	Impact	Responsible Party	Mitigation Measure	Level of Significance After Mitigation	City Approval
			<p>percent shade coverage of parking lot surfaces within ten years.</p> <ul style="list-style-type: none"> <li>▪ The Project design features with respect to set backs from Highway 198 are consistent with, and actually in excess of those approved for the developments on the two corners north of Highway 198, which are located in Subarea H of the WVSP.</li> </ul>		
<b>Impact #3.1.2 - Scenic Resources</b>	There is a 36-inch Valley Oak Tree located on the project site.	City	The Valley Oak Tree shall be preserved pursuant to the City Oak Tree Preservation Ordinance, and the heritage status shall be emphasized whereby the tree is utilized as a centerpiece of the proposed commercial center. In addition, the project will involve the planting of "heritage" trees along the Highway 198 scenic corridor frontage in conformance with the West Visalia Specific Plan.	Less Than Significant	
<b>Impact #3.1.3 - On-Site Lighting:</b>	The project will introduce new light and glare to the project site which	City	<ul style="list-style-type: none"> <li>▪ Exterior security lighting in excess of 150 watts shall be shielded from view. This will restrict lighting to reduce</li> </ul>	Less Than Significant	

Impact Number	Impact	Responsible Party	Mitigation Measure	Level of Significance After Mitigation	City Approval
	involves parking lot, security and site lighting that may have adverse impacts to adjoining land uses if not mitigated.		<p>errant light (West Visalia Specific Plan EIR, 1987 p.54).</p> <ul style="list-style-type: none"> <li>▪ Lighting associated with the service station's canopies or other similar structures shall be recessed into the structure or hooded so that no light fixture is visible from view beyond the extent of the canopy.</li> <li>▪ For pedestrian lighting systems, a point of overlap between light patterns shall not be greater than seven feet.</li> <li>▪ Intensity of lighting within the physical limits of an area required to be lighted shall not be greater than seven footcandles.</li> <li>▪ Landscaping as provided in the design standards in Appendix C and trellised covered pedestrian walkways shall be incorporated into the project.</li> </ul>		
<b>Impact #3.2.2.1 - Prime Farmland Impact:</b>	Prime Farmland loss of approximately 21 acres.	City	Not feasible.	Significant Impact	

Impact Number	Impact	Responsible Party	Mitigation Measure	Level of Significance After Mitigation	City Approval
<b>Impact #3.2.2.2 - Agricultural Zoning Impacts:</b>	Conflict with existing agricultural zoning by proposing commercial retail uses.	City	Not feasible.	Significant Impact	
<b>Impact #3.2.2.3 - Conversion of Farmland Impact:</b>	The conversion of farmland to non-agricultural use.	City	Not feasible.	Significant Impact	
<b>Impact #3.3.2.1 - Air Quality Construction Emission Impacts:</b>	Ground excavations, grading operations and similar types of construction activities will temporarily increase emissions and will degrade local air quality.	Developer/ City	<p>Air quality impacts will be mitigated with implementation of the SJV Air Pollution Control District Regulation VIII Control Measures in effect of the time of construction including:</p> <ul style="list-style-type: none"> <li>▪ All disturbed areas, including storage piles, which are not being actively utilized for construction purposes, shall be effectively stabilized of dust emissions using water, chemical stabilizer/suppressant, or vegetative ground cover, so that there are no visible dust emissions (VDE).</li> <li>▪ All on-site unpaved roads and off-site unpaved access roads shall be effectively stabilized</li> </ul>	Less Than Significant	

Impact Number	Impact	Responsible Party	Mitigation Measure	Level of Significance After Mitigation	City Approval
			<p>of dust emissions using water at least twice daily during construction or utilizing a chemical stabilizer/suppressant, so that there are no VDE.</p> <ul style="list-style-type: none"> <li>▪ All land clearing, grubbing, scraping, excavation, land leveling, grading, cut and fill, and demolition activities shall be effectively controlled of fugitive dust emissions utilizing application of water or by presoaking, so that there are no VDE.</li> <li>▪ When materials are transported off-site, all material shall be covered, effectively wetted to prevent visible dust emissions, or at least six inches of freeboard space from the top of the container shall be maintained.</li> <li>▪ All operations shall limit or expeditiously remove the accumulation of mud or dirt from adjacent public streets at least once every twenty-four hours when operations are occurring. (The use of dry rotary brushes is expressly</li> </ul>		

Impact Number	Impact	Responsible Party	Mitigation Measure	Level of Significance After Mitigation	City Approval
			<p>prohibited except where preceded or accompanied by sufficient wetting to limit the visible dust emissions. The use of blower devices is also expressly forbidden.)</p> <ul style="list-style-type: none"> <li>▪ Following the addition of materials to, or the removal of materials from, the surface of outdoor storage piles, said piles shall be effectively stabilized of fugitive dust emissions utilizing sufficient water or chemical stabilizer/suppressant.</li> <li>▪ Limit traffic speeds on unpaved roads to fifteen mph</li> <li>▪ Replant vegetation in disturbed areas as quickly as possible.</li> <li>▪ Within urban areas, trackout shall be immediately removed when it extends 50 feet or more from the site at the end of each workday.</li> <li>▪ Any site with 150 or more vehicle trips per day shall prevent carryout and trackout.</li> </ul> <p><b>Enhanced and Additional Control Measures for Construction Emissions of PM<sub>10</sub>.</b></p>		

Impact Number	Impact	Responsible Party	Mitigation Measure	Level of Significance After Mitigation	City Approval
			<p>Enhanced Control Measures. The following measures should be implemented at construction sites when required to mitigate significant PM<sub>10</sub> impacts (note, these measures are to be implemented in addition to Regulation VIII requirements):</p> <ul style="list-style-type: none"> <li>▪ Limit traffic speeds on unpaved roads to 15 miles per hour; and</li> <li>▪ Install sandbags or other erosion control measures to prevent silt runoff to public roadways from sites with a slope greater than one percent.</li> </ul> <p>Additional Control Measures. The following control measures are strongly encouraged at construction sites that are large in area, located near sensitive receptors, or which for any other reason warrant additional emissions reductions:</p> <ul style="list-style-type: none"> <li>▪ Install wheel washers for all exiting trucks, or wash off all trucks and equipment leaving the site;</li> <li>▪ Install wind breaks at windward side(s) of</li> </ul>		

<b>Impact Number</b>	<b>Impact</b>	<b>Responsible Party</b>	<b>Mitigation Measure</b>	<b>Level of Significance After Mitigation</b>	<b>City Approval</b>
			<p>construction areas;</p> <ul style="list-style-type: none"> <li>■ Suspend excavation and grading activity when winds exceed 20 miles per hour; and*</li> <li>■ Limit area subject to excavation, grading, and other construction activity at any one time.</li> </ul> <p>*Regardless of windspeed, an owner/operator must comply with Regulation VIII's 20 percent opacity limitation.</p> <p>To further reduce construction equipment-related and construction traffic-related impacts, the following mitigation measures will be implemented:</p> <ul style="list-style-type: none"> <li>■ Use of low-emission mobile construction equipment (e.g. tractors, scrapers, bulldozers) and low-emission onsite stationary equipment.</li> <li>■ Frequent tuning and maintenance of construction equipment engines.</li> <li>■ Use of low sulfur fuel for stationary construction equipment.</li> <li>■ Use of existing power poles, where available, rather than temporary power generators.</li> </ul>		

Impact Number	Impact	Responsible Party	Mitigation Measure	Level of Significance After Mitigation	City Approval
			<ul style="list-style-type: none"> <li>▪ Provision of a flagperson as necessary to guide traffic properly at construction sites.</li> <li>▪ Scheduling of operations affecting traffic for off-peak hours, to the extent feasible.</li> <li>▪ Minimizing of obstruction of through-traffic lanes.</li> </ul> <p><b>Additional Construction Equipment Mitigation Measures, GAMAQI, January 10, 2002.</b></p> <p>Emission Sources. Heavy duty equipment (scrapers, graders, trenchers, earth movers, etc.) shall employ the following measures:</p> <ul style="list-style-type: none"> <li>▪ Use of alternative fueled or catalyst equipped diesel construction equipment;</li> <li>▪ Minimize idling time (e.g., ten minute maximum);</li> <li>▪ Limit the hours of operation of heavy duty equipment and/or the amount of equipment in use.</li> <li>▪ Replace fossil-fueled equipment with electrically driven equivalents (provided</li> </ul>		

Impact Number	Impact	Responsible Party	Mitigation Measure	Level of Significance After Mitigation	City Approval
			<p>they are not run via a portable generator set);</p> <ul style="list-style-type: none"> <li>▪ Curtail construction during periods of high ambient pollutant concentrations; this may include ceasing of construction activity during the peak-hour of vehicular traffic on adjacent roadways; and</li> <li>▪ Implement activity management (e.g. rescheduling activities to reduce short-term impacts).</li> </ul>		
<b>Impact #3.3.2.3 - Air Quality Operational Air Emissions</b>	Long-term operational impacts from the proposed project will primarily come from indirect vehicle-related sources. Short-term impacts may occur from architectural coatings (paint, stucco, etc.).	Developer/ City	<ul style="list-style-type: none"> <li>▪ Require large employers to implement a program to reduce employee work trips through carpools and mass transit. (LUE DEIR, 1990, p. 4-96.)</li> <li>▪ Provide a bus stop and turn-out on the project site including benches, lighting, and signage on the site indicating the location of the bus stop. Locate transit facilities near areas of high employment density to facilitate access and reduce vehicle work trips. (Bus stops are already provided within walking</li> </ul>	Significant Impact	

Impact Number	Impact	Responsible Party	Mitigation Measure	Level of Significance After Mitigation	City Approval
			<p>distance of the proposed project.) (LUE DEIR, 1990, p. 4-95.)</p> <ul style="list-style-type: none"> <li>▪ Incorporate mixed land uses that encourage walking between land uses and reduce vehicle trips. (LUE DEIR, 1990, p. 4-95.)</li> <li>▪ Provide adequate bicycle facilities such as bike racks (WVSP DEIR, 1987, p. 18-19.)</li> <li>▪ Provide access to a mass transportation system. (WVSP DEIR, 1987, p. 18.)</li> <li>▪ Encourage car-pooling. (WVSP DEIR, 1987, p. 19.)</li> </ul> <p>The following additional mitigation measures shall be incorporated into the project pursuant to the SJVAPCD comment letter, January 31, 2002.</p> <ul style="list-style-type: none"> <li>▪ Trees should be carefully selected and located to shade the structures during the hot summer months. This measure should be implemented on southern and western exposures. Deciduous trees should be considered since</li> </ul>		

<b>Impact Number</b>	<b>Impact</b>	<b>Responsible Party</b>	<b>Mitigation Measure</b>	<b>Level of Significance After Mitigation</b>	<b>City Approval</b>
			<p>they provide shade in the summer and allow the sun to reach the residences during the cold winter months.</p> <ul style="list-style-type: none"> <li>▪ As many energy-conserving features as possible should be included in the design/construction of the new buildings. Examples include (but are not limited to) increased wall and ceiling insulation (beyond building code requirements), energy efficient lighting, high efficiency appliances and solar-assisted water heating.</li> <li>▪ Electric or low nitrogen oxide (NOx) emitting gas-fired water heaters should be installed.</li> <li>▪ Provide direct pedestrian access to the main entrance of the project from existing or potential public transit stops.</li> <li>▪ Install sidewalks and bikeways throughout as much of the project as possible to encourage walking and bicycling. Walkways or ramps should be physically separated from parking areas and vehicle access routes. Such pedestrian</li> </ul>		

Impact Number	Impact	Responsible Party	Mitigation Measure	Level of Significance After Mitigation	City Approval
			<p>and bike-oriented design reduces motor vehicle usage and their effects on air quality.</p> <ul style="list-style-type: none"> <li>▪ Employee bicycle parking should be enclosed or in a covered secure area.</li> <li>▪ Exits onto adjoining streets should be carefully designed to reduce time required to re-enter traffic from the project site.</li> <li>▪ If the use of a char broiler is proposed, the exhaust system should utilize equipment to reduce particulate and reactive organic gas emissions. Examples include the installation of grease extracting exhaust hoods and electrostatic precipitators and filtering systems.</li> <li>▪ See Attachment 3-1 for PM<sub>10</sub> Mitigation, GAMAQI.</li> </ul>		
<b>Impact #3.4 - Biological Resources Impacts:</b>	Threatened and endangered species: none and no evidence of San Joaquin kit fox.	Developer/ City	Specific mitigation measures are set forth in Appendix F of this EIR and attached hereto as Attachment 3-2.	Less Than Significant	

Impact Number	Impact	Responsible Party	Mitigation Measure	Level of Significance After Mitigation	City Approval
	Valley Oak	Developer/ City	See Mitigation Measure 3.1.2	Less Than Significant	
<b>Impact # 3.5.2.1 - Cultural Resources</b>	The Cultural Resources Records search conducted for the General Plan found no evidence of a historical, archaeological and paleontological, unique geological feature, or any known human remains within the project area. Due to the buried nature of such finds, there is a possibility that undocumented remains may be encountered. Mitigation is therefore desirable.	Developer	In the event of accidental discovery of human remains or items of historical or archaeological significance, the guidelines set forth in Section 15064.5 of CEQA require that the project be halted immediately an archaeologist and the City called to the site to conduct further investigation. No further mitigation is required.	Less Than Significant	
<b>Impact # 3.6.2.1 - Geology/Soils</b>	There is the potential to expose people and structures to adverse effects due to seismicity, soil	Developer/ City	<ul style="list-style-type: none"> <li>▪ The project will be designed in compliance with Title 24 of the Uniform Building Code and will be inspected by City building inspectors during the construction stage.</li> </ul>	Less Than Significant	

Impact Number	Impact	Responsible Party	Mitigation Measure	Level of Significance After Mitigation	City Approval
	instability or incompatible soil structural types.		<ul style="list-style-type: none"> <li>▪ The project will be designed by an engineer to resist any seismic-related impacts, including liquefaction.</li> <li>▪ Infrastructure will either be re-covered and compacted with native soils as existing or trenched in paved right-of-way and re-covered with pavement.</li> <li>▪ The project will be designed for the appropriate soil type by an engineer to resist spreading, subsidence, or collapse.</li> </ul>		
<b>Impact #3.7.2.1 - Hazardous Materials Proximity of Service Station to School.</b>	The Land Use Policies of the General Plan, Page 3-38, Section 5-5.3 prohibits commercial development within a minimum of one-quarter mile of school sites. This policy has been interrupted and amended further by the City Council to mean that commercial development shall	Developer/City	<ul style="list-style-type: none"> <li>▪ Curb cuts located along the Akers Road frontage of the service station shall be no less than 1,320 feet from the existing entrance to any existing school site.</li> <li>▪ No direct pedestrian or vehicular access shall be permitted between the school site and the project site.</li> <li>▪ The project area will be fenced along the western border adjacent to the future expansion site of the school and along the southern border of the project site.</li> </ul>	Less Than Significant	

Impact Number	Impact	Responsible Party	Mitigation Measure	Level of Significance After Mitigation	City Approval
	be restricted near schools "so that pedestrian and vehicular access between the two is one-quarter mile or greater."		<ul style="list-style-type: none"> <li>▪ Cypress shall be aligned so that school ball fields can be developed contiguous to the school site and fenced for restricted access.</li> <li>▪ Emissions from the service station will be mitigated by State and Federal Regulations.</li> </ul>		
<b>Impact #3.7.2.2 - Hazardous Material Transport and Storage</b>	The hazardous materials handled on site primarily include the transport of gasoline to the planned service station. If inadequate site access is provided there may be conflicts or accidents involving vehicles carrying hazardous materials and other vehicles or pedestrians.	Developer/ City	The service station shall have proper ingress/egress to accommodate delivery vehicles from Akers Road no closer than within 150 feet of the intersection of Akers Road and Cypress Avenue. The facility shall also have point(s) of access to Cypress Avenue meeting the same setback standard.	Less Than Significant	
<b>Impact #3.8.2.1 - Hydrology/ Water Drainage Storm Water Discharge:</b>	The development will generate approximately 7.37 acre-feet of runoff from a design (five-	Developer/ City	On-site drainage shall be directed to the pond in accordance with the Storm Drainage Master Plan. The project proponent shall submit to the City for adoption, as a	Less Than Significant	

<b>Impact Number</b>	<b>Impact</b>	<b>Responsible Party</b>	<b>Mitigation Measure</b>	<b>Level of Significance After Mitigation</b>	<b>City Approval</b>
	year, ten-day) storm. With full buildout, approximately 9,650 vehicles per day may visit the site with attendant oil, grease and litter contributions to area runoff.		condition of project approval, a Storm Water Pollution Prevention Plan incorporating long-term mitigation strategies including but not limited to project-area street and parking lot sweeping schedules, effective detention basin maintenance and operation, and commercial-area litter removal. Compliance with the National Pollutant Discharge Elimination System General Permit No. CAS000002 for Discharges of Storm Water Associated with Construction Activity (Waste Discharge Requirements, Order No. 99-08-DWQ) will be required. Before construction begins, a Notice of Intent to comply with the order must be submitted to the State Water Quality Resources Board and a Storm Water Pollution Prevention Plan must be prepared.		
<b>Impact #3.8.2.2 - Water Quality/ Storm Water Discharge/ Drainage:</b>	The proposed project involves the paving and building of structures on approximately 85 percent of the site, leading to reduced	Developer/ City	In accordance with the Land Use Element DEIR, the project's water runoff will be directed to the City's storm drainage basin and nearby pond basin that are designed to promote groundwater recharge.	Less Than Significant	

Impact Number	Impact	Responsible Party	Mitigation Measure	Level of Significance After Mitigation	City Approval
	infiltration rates and a significant impact on the recharge rate of water back to the groundwater.				
<b>Impact # 3.8.2.3 - 100 Year Flood Hazards:</b>	The project site is located within the FEMA Flood Zone "B" indicating potential flooding at the 100-500-year frequency with an average depth of less than one foot.	Developer/ City	Structures will be constructed which meet FEMA and City requirements to significantly reduce the risk of loss, injury, or death involving floods. All structures will be designed to have a minimum flood elevation in accordance with the City's LUE policies and its Flood Damage Prevention Ordinance.	Less Than Significant	
<b>Impact #3.8.2.4 - Exposure of People to Flood Hazards:</b>	There is a potential to expose people or structures to a significant risk of loss, injury, or death involving flooding, including flooding if there was failure of the Lake Kaweah dam and reservoir.	None	The project's distance from the Lake Kaweah dam provides sufficient time to prepare for flooding if it occurs.	Less Than Significant	

Impact Number	Impact	Responsible Party	Mitigation Measure	Level of Significance After Mitigation	City Approval
<b>Impact # 3.9.2.1 - Land Use - Disrupt or Divide the Physical Arrangement of an Established Area Use:</b>	<p>The proposed project extends Cypress Avenue in a westward direction from the existing intersection of Akers Road to the western boundary of the project site just to the south of the Persian Ditch alignment. If Cypress Avenue is continued westward to Roeben or Shirk Roads along the south side of the Persian Ditch, there is the potential for Cypress Avenue, in its ultimate alignment, to disrupt and/or divide properties to the west of the project site.</p>	Developer	<p>The ultimate design of Cypress Avenue if extended westward along the south side of the Persian Ditch would cause the least disruption or division of the school and senior housing expansion of any location along the western boundary of the project site and may provide limited access for the eight acre parcel to the west resulting in circulation efficiencies for the project site and adjoining parcels along with the minimal disruption to the established land uses resulting in a less than significant impact.</p>	Less Than Significant	
<b>Impact #3.9.2.2 - Conflict with Land Use Plans</b>	The current General Plan and WVSP current land use designation for the	None	None	No Impact	

Impact Number	Impact	Responsible Party	Mitigation Measure	Level of Significance After Mitigation	City Approval
	project site is agricultural. The project site is located in the City's Urban Development Boundary (UDB) where growth shall be permitted to occur in the immediate future.				
<b>Impact #3.9.2.3 - Proximity of School to Commercial Retail Use</b>	See Impact #3.7.2.1.	Developer/ City	See Mitigation Measure #3.7.2.1	Less Than Significant	
<b>Impact #3.10 - Mineral Resources</b>	None	None	None	No Impact	
<b>Impact #3.11.1 - Construction Noise:</b>	The type and number of equipment to be used are unknown. However, it is expected that the primary sources of noise during construction will include tractors, backhoes,	Developer	Noise producing equipment used during construction shall be restricted to the hours from 7:00 a.m. to 7:00 p.m., Monday through Friday, and 9:00 a.m. to 6:00 p.m. on Saturday and Sunday. Also, mufflers shall be fitted to gas- and diesel-powered equipment.	Less Than Significant	

Impact Number	Impact	Responsible Party	Mitigation Measure	Level of Significance After Mitigation	City Approval
	compressors, cranes, bulldozers and similar equipment. Noise levels at fifty feet would range between eighty-five to eighty-eight dB(A) for the typical equipment to be used on this type of project.				
<b>Impact 3.11.2 - Traffic Noise</b>	Land uses such as transient lodging, motels and hotels are similar in nature to residential noise sensitivity, and the normally acceptable maximum noise exposure is sixty-five decibels without special noise insulation requirements.  The noise level on Akers Road at 2020 ADT traffic levels is estimated to be seventy-one decibels at a distance of fifty	Developer	Land Uses sensitive to noise such as residential, hospital, transient lodging, hotel, motel and nursing homes shall not be located within 200 feet of State Highway 198, or within 125 feet of Akers Road without special noise insulation, including landscaping buffers. Where they are located within such area, noise level reduction measures shall be employed to effectively reduce noise levels to no more than 45 dB(A) in the interior of the structure.	Less Than Significant	

Impact Number	Impact	Responsible Party	Mitigation Measure	Level of Significance After Mitigation	City Approval
	feet, and decreases to sixty-five decibels at 125 feet. State Highway 198 Noise Contour Estimates as shown in Table 3.11-1 show seventy-four decibels at fifty feet, and sixty-five decibels at 200 feet.				
<b>Impact #3.11.3 - Onsite Operational Noise:</b>	There are five primary components of on-site operational noise: 1) onsite parking and truck traffic; 2) noise from mechanical systems such as air conditioners, trash compactors and loading dock operations; 3) noise from special generators such as the fast-food order speakers, exterior public address systems, etc. 4) noise generated by	Developer	<p>The following mitigation measures are recommended to reduce the noise impacts to a less-than-significant level.</p> <p>a. All mechanical equipment shall be located inside of a building or a completely enclosed area. Where local codes and regulations may require these facilities to be located outside of the structure (e.g., emergency generator and HVAC units), such equipment should be located immediately adjacent to a block wall or behind another wall of masonry construction or other construction with a minimum Sound Transmission Class</p>	Less Than Significant	

Impact Number	Impact	Responsible Party	Mitigation Measure	Level of Significance After Mitigation	City Approval
	the entertainment facility (go carts, etc.); 5) noise from the proposed car wash.		<p>(noise level reduction achieved by a construction assembly) of fifty feet or greater.</p> <p>b. Noise for loudspeakers and intercoms shall not exceed 65 decibels at the property line on which the speaker is located, and shall not be audible on another property.</p> <p>c. Go carts, bumper boats, etc. should have mufflers if powered by internal combustion engines. The track facility should incorporate sound buffering devices such as a depressed track, sound wall, intensive planting of vegetation on all sides, and shall not be allowed to operate between the hours of 10:00 p.m. and 7:00 a.m. during weekdays.</p> <p>d. Outdoor party events at the entertainment park shall be regulated so that amplification equipment is limited so that the resulting noise level at the entertainment park's property line does not exceed 65dB(A) during nighttime and evening hours.</p>		

Impact Number	Impact	Responsible Party	Mitigation Measure	Level of Significance After Mitigation	City Approval
			<p>e. There should be a solid sound barrier with an effective height of at least six feet along the length of the go cart track. This can be accomplished by depressing the go-cart track by three feet and using the Persia Ditch bank as an earthen barrier.</p> <p>Alternatively to d and e above, the project architect may submit a noise study which demonstrates that the project will not exceed 65 dB(A) at the westerly property line.</p>		
<b>Impact #3.12.3.1 - Population Growth</b>	Indirect inducement to population (growth) may result from the westerly extension of West Cypress Avenue.	Developer	Alternatives to the Project that may mitigate this indirect impact would be the No Project Alternative, southerly Cypress Avenue Extension Alternative, and the Alternative Design - No Cypress Avenue Extension as discussed in Chapter Four.	Significant	
<b>Impact #3.13.2.1 - Fire Services</b>	Existing fire protection services are adequate to serve the project. As part of the building permit	None	None	No Impact	

Impact Number	Impact	Responsible Party	Mitigation Measure	Level of Significance After Mitigation	City Approval
	process, the project proponent will pay a fire suppression facility fee to the City that will be used to fund the project's proportionate share of needed new facilities.				
<b>Impact 3.13.2.2 - Police Protection</b>	Existing police protection is adequate to serve the project. Payment of the public safety facility impact fee at the time of obtaining building permits will ensure that adequate police protection will continue to serve the project.	None	None	No Impact	
<b>Impact #3.14 - Recreation</b>	The project proposed is commercial retail services. There is no impact to recreation.	None	None	No Impact	

Impact Number	Impact	Responsible Party	Mitigation Measure	Level of Significance After Mitigation	City Approval
<b>Impact #3.15.1 - Traffic Level of Service (LOS)</b>	Existing and projected conditions at intersections surrounding the project area operate at an LOS of "D" or better.	None	None	No Impact	
<b>Impact #3.15.2 - Traffic Increase by Vehicles Per Day</b>	The project will result in an increase of over 500 vehicles per day.	Developer/ City	Additional right-of-way expanding Akers Road and restriping of Akers Road and Highway 198 westbound ramps will help lessen the impact from increase of vehicle trips. Implementation of the No Cypress Extension alternative would also lessen the impact of an increase of vehicle trips. However, no amount of mitigation can reduce traffic generation other than the No Project Alternative.	Significant Impact	
<b>Impact #3.15.3 - Creation of Unsafe Situation or Require New Signal</b>	If cumulative traffic increases occur as projected in the Traffic Study, Cypress/Akers and Cypress/Linwood intersections will have to be modified	Developer	Payment of the Transportation Impact Fee will fund the project's proportionate share of funds for future improvements	Less Than Significant	

Impact Number	Impact	Responsible Party	Mitigation Measure	Level of Significance After Mitigation	City Approval
<b>Impact #3.15.4 - Create a Hazard for Pedestrians or Other Non-Motorized Transportation Modes</b>	None	None	None	No Impact	
<b>Impact #3.16 - Utilities/Service Systems</b>	None	None	None	No Impact	

**Exhibit "G"**

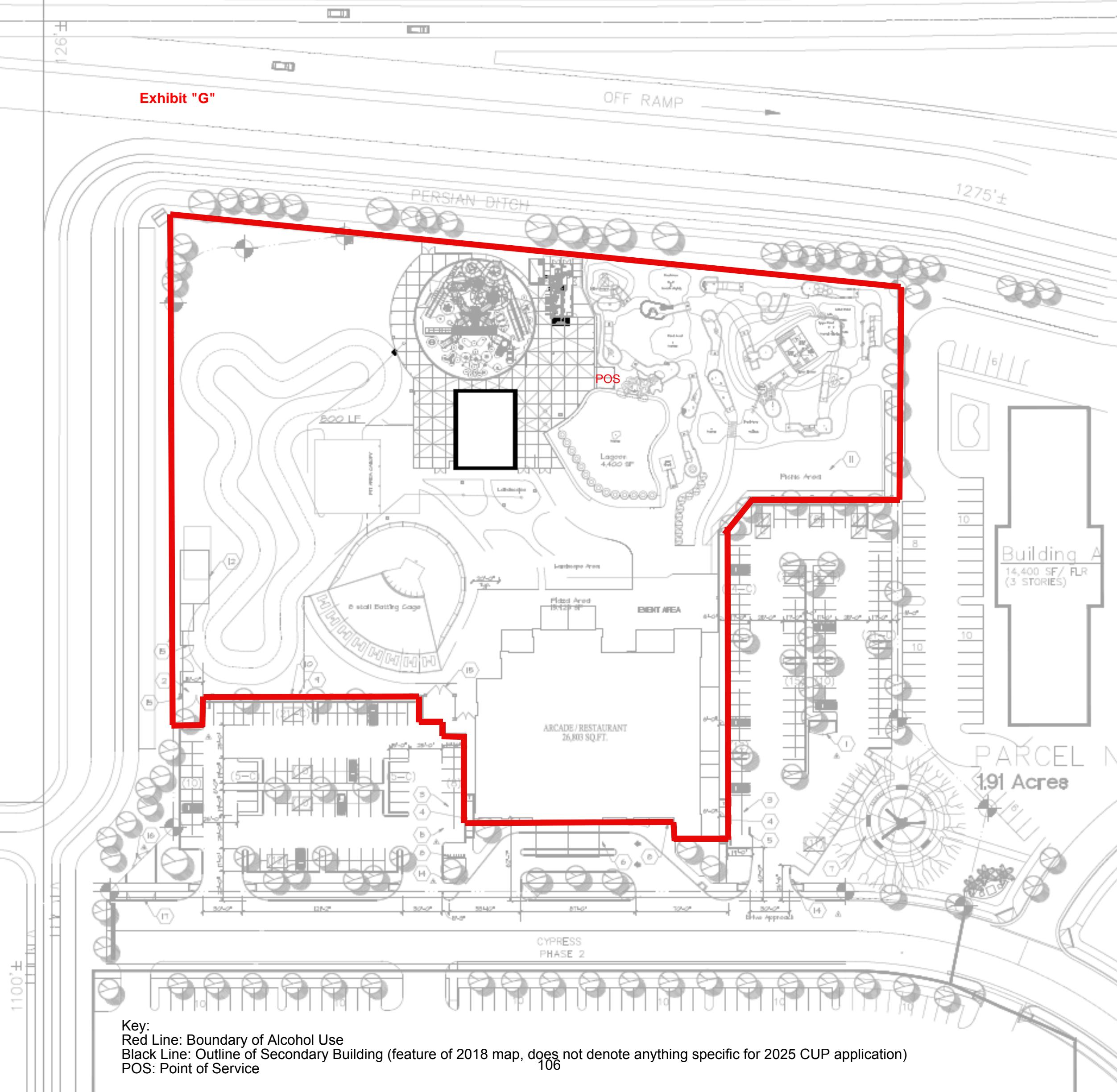
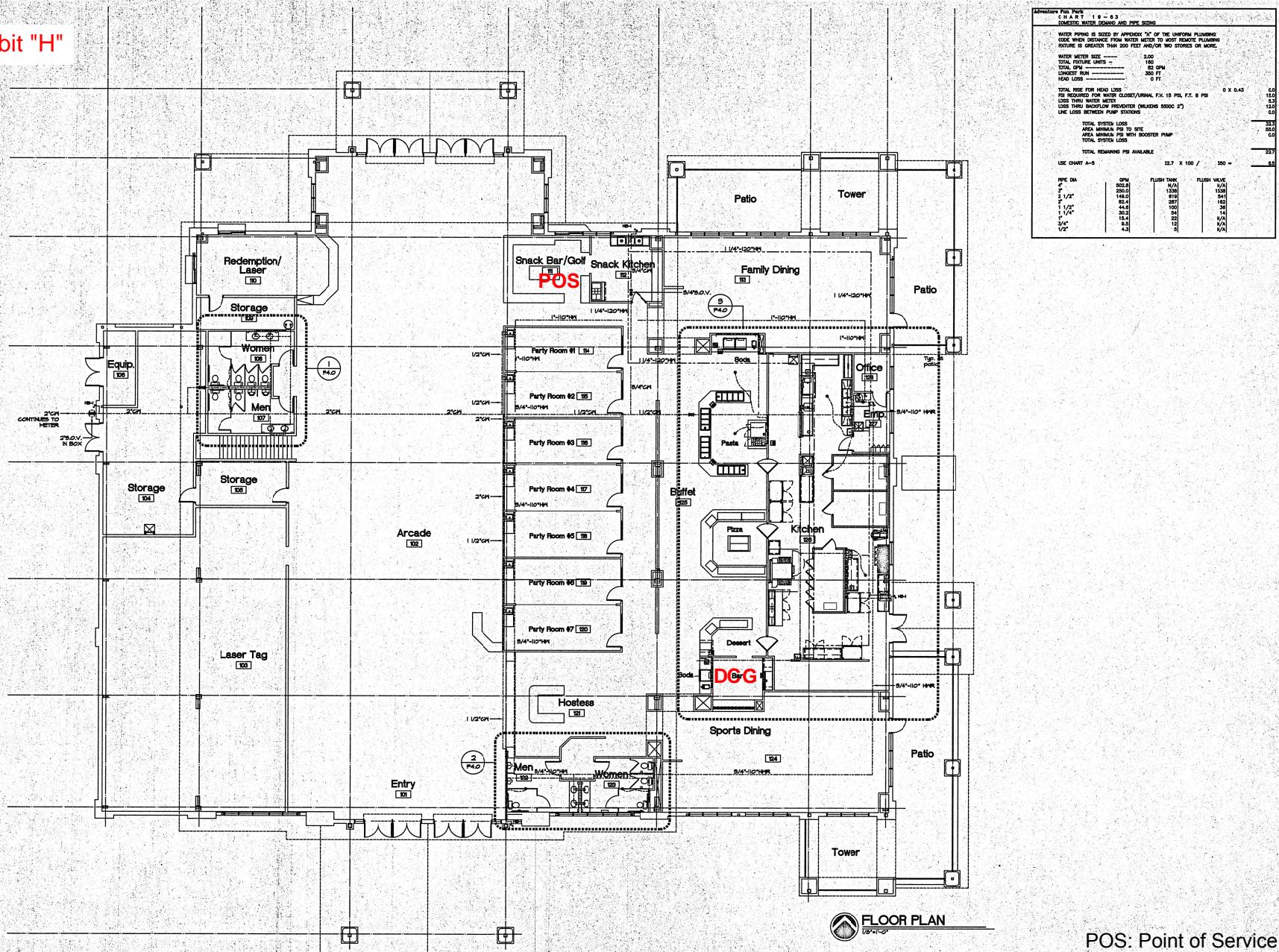
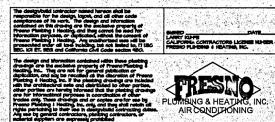


Exhibit "H"

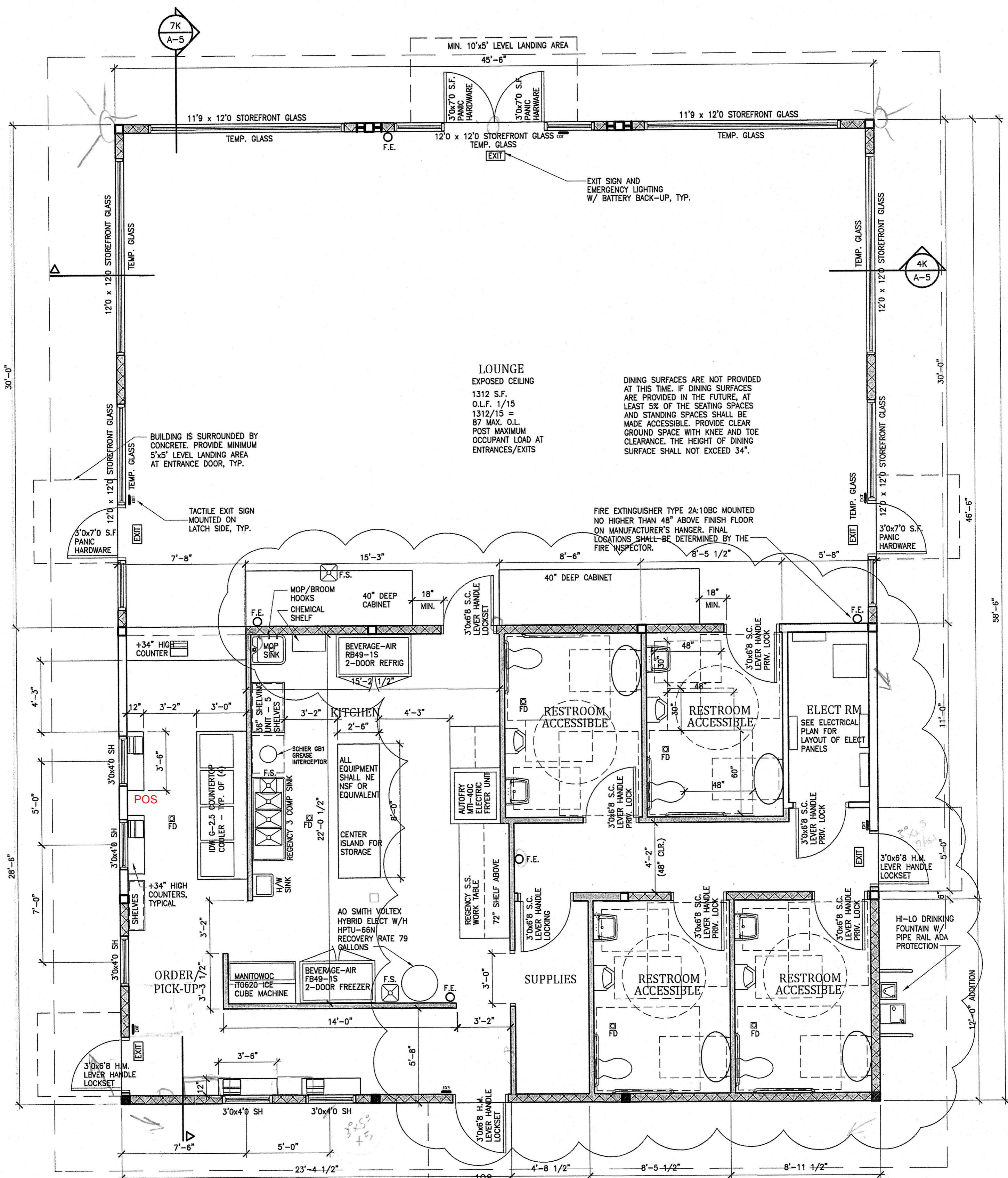


POS: Point of Service



PROPOSED ADVENTURE PARK  
VISALIA, CALIFORNIA

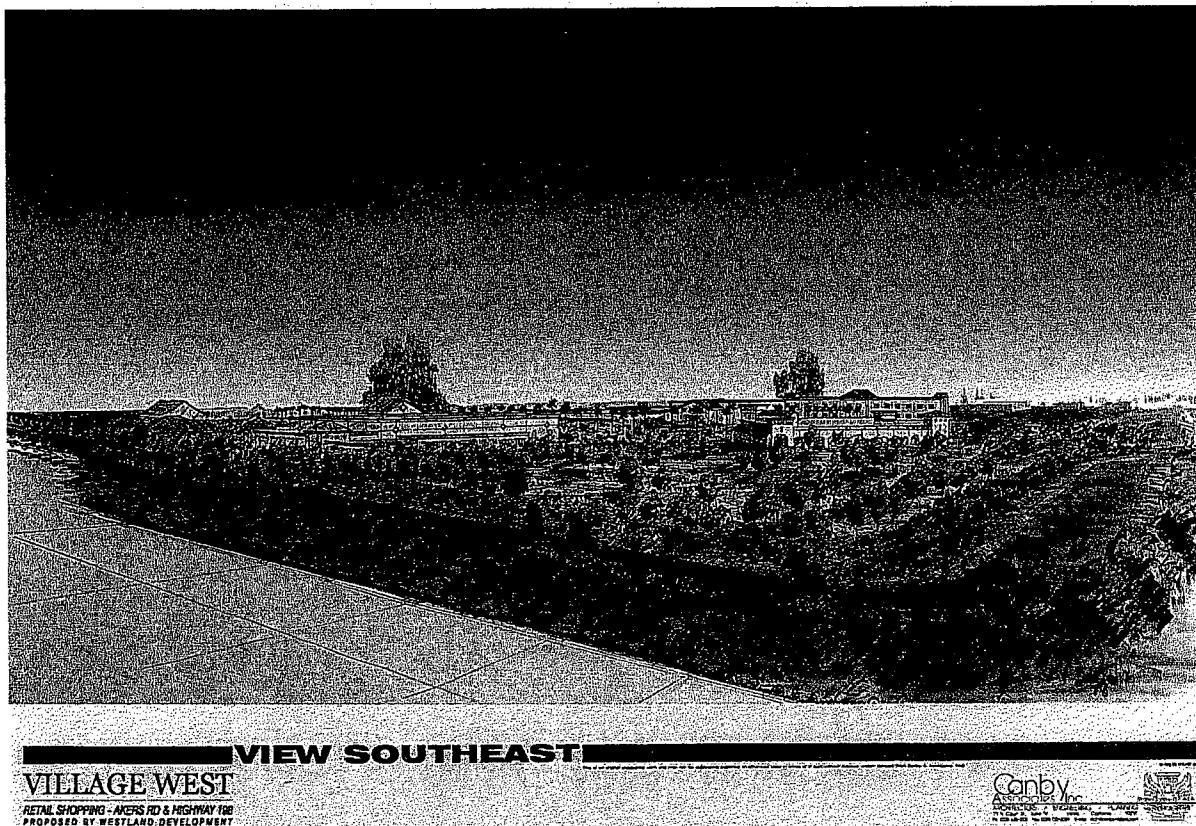




Design Guidelines for:

# VILLAGE WEST

## Commercial Shopping Center



**VIEW SOUTHEAST**

**VILLAGE WEST**

RETAIL SHOPPING - KERS RD & HIGHWAY 100

PROPOSED BY WESTLAND DEVELOPMENT

Canby  
Architects Inc.



18 February 2002

A project of Westland Development

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## INTRODUCTION

Village West is a mixed-use retail shopping center located on 30 acres at the southwest corner of Akers and State Highway 198, in Visalia, CA. The original site master plan anticipates an entertainment theme park, multi-story hotel, restaurants, and retail shops totaling approximately 167,289 SF of building area. The site has an active, privately owned irrigation ditch that flows along the site at the north and west property lines. The parcel will be developed with three phases connected with a new dedicated public street, Cypress Avenue, which aligns at an existing signaled intersection at Akers Road and will be extended to the west in the future.

The buildings are to be linked with a pedestrian path. The masterplan has been created to encourage walking between buildings within the Village, and there will be visual cues that help identify the walk and make motorist aware of the pedestrian.

The following architectural design standards have been created as a guideline for the development of the commercial shopping and to create continuity between each facet of the project as it is designed and constructed.

### **SITE MASTER PLAN (see page 2a)**

The overall Site Master Plan for Village West is shown with all of the proposed phases, is reduced and shown on the next page.

### **PHASE 1 - SITE IMPROVEMENTS PLAN (see page 2b)**

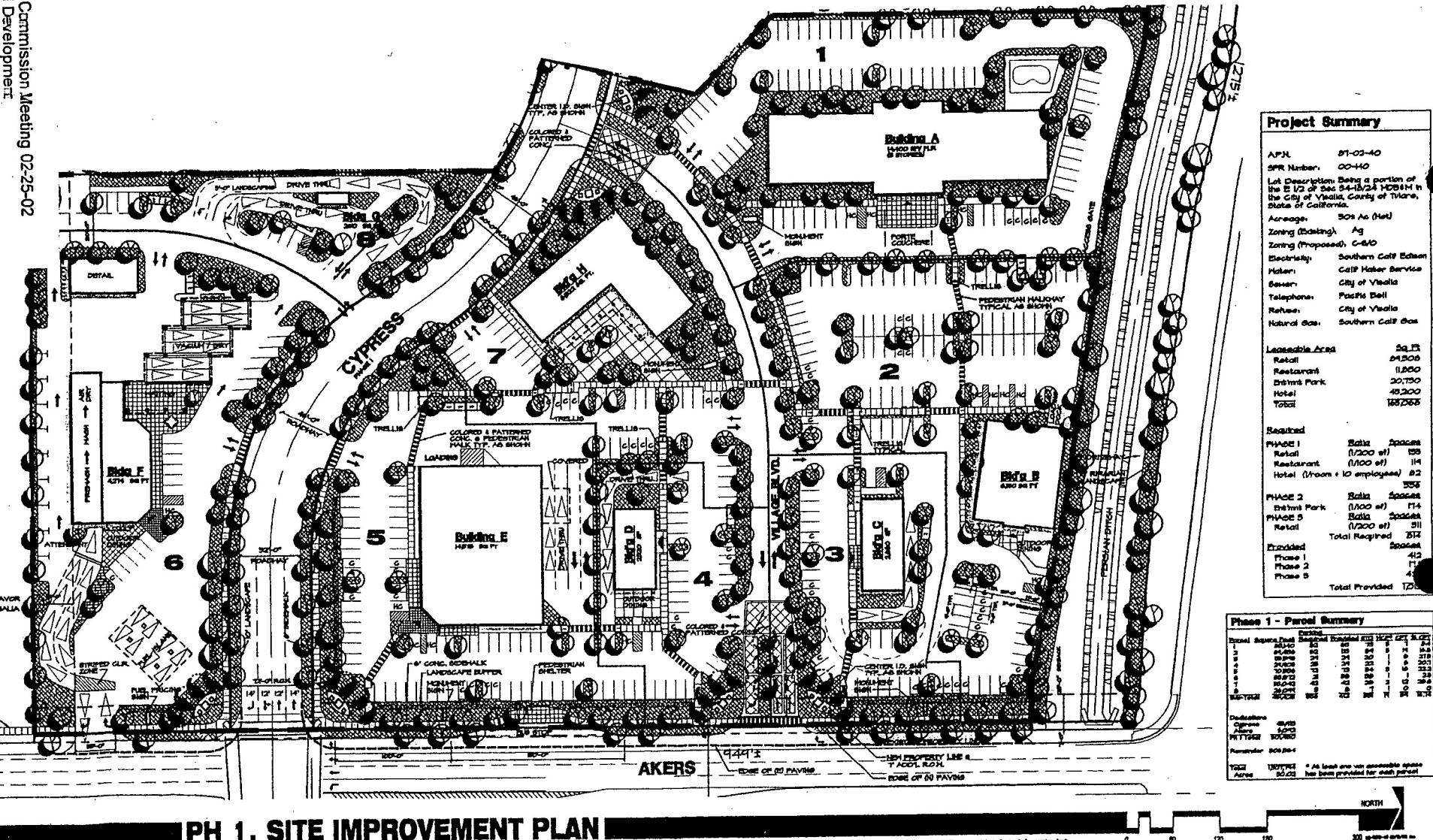
The site improvements that will be constructed in phase one (1) are reduced and are shown on the page following the overall site master plan.

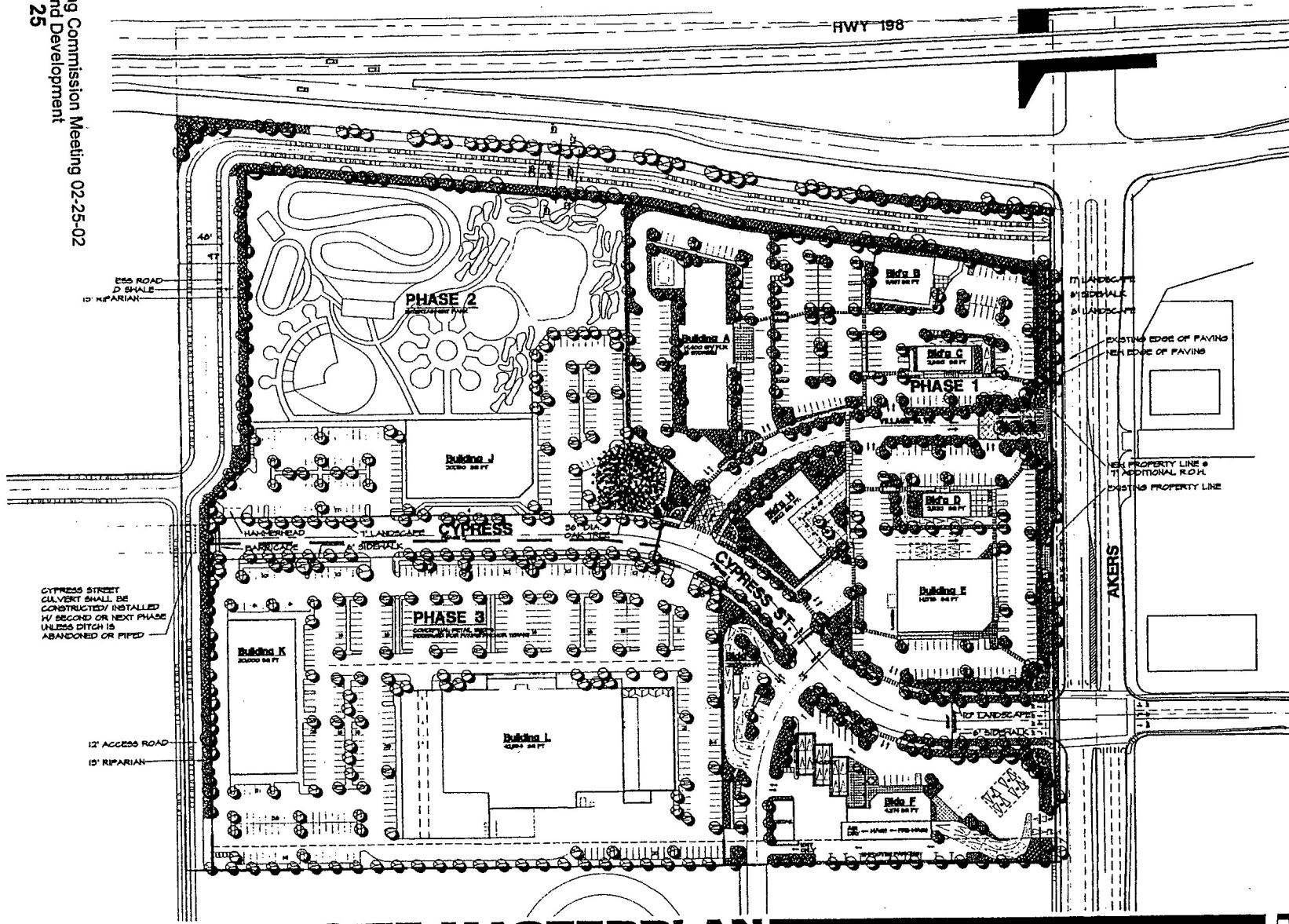
### **PHASE 1 – PARCELIZATION MAP (see page 2c)**

The parcel map for the first phase, in concept, is shown on the page following the phase 1 – site improvements.

## ■ PH 1, SITE IMPROVEMENT PLAN

# VILLAGE WEST





ISITE MASTERPLAN

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## VILLAGE WEST

**RETAIL SHOPPING - AKERS RD & HIGHWAY 198  
PROPOSED BY WESTLAND DEVELOPMENT**

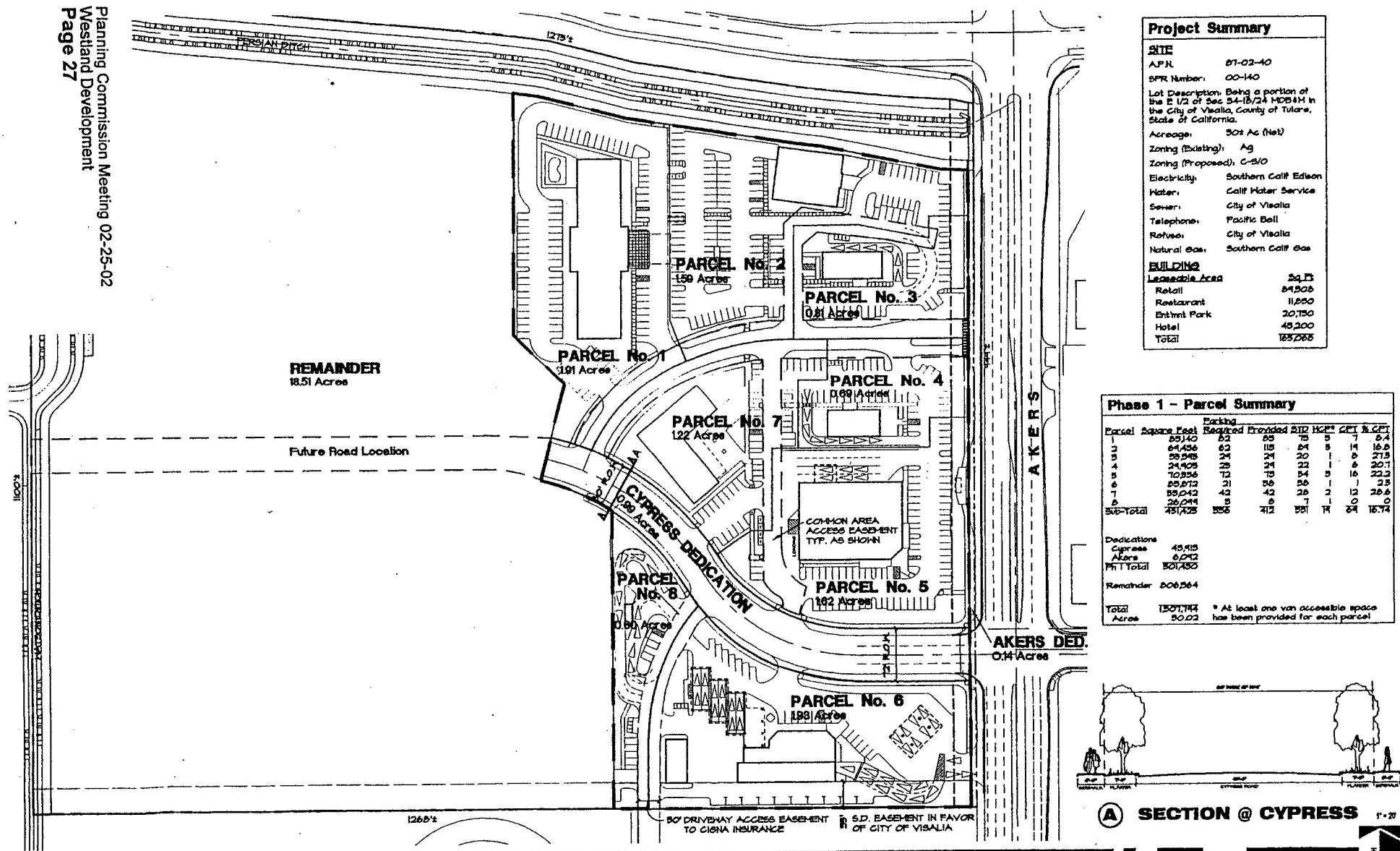
### Project Summary

A.P.N. 07-02-40  
 SFR Number: 00-140  
 Lot Description: Being a portion of the E 1/2 of Sec 34-12-24 M&B M in the City of Visalia, County of Tulare, State of California.  
 Acreage: 303 Ac (Net)  
 Zoning (Existing): Ag  
 Zoning (Proposed): C-3/O  
 Electricity: Southern Calif Edison  
 Water: Calif Water Service  
 Sewer: City of Visalia  
 Telephone: Pacific Bell  
 Refuse: City of Visalia  
 Natural Gas: Southern Calif  
  
Lazearville Area 20.5  
 Retail 64,200  
 Restaurant 11,550  
 Entmnt Park 20,750  
 Hotel 45,200  
 Total 105,750  
  
Requited  
 PHASE 1 Ratio \$2628  
 Retail (1/200 sf) 155  
 Restaurant (1/100 sf) 114  
 Hotel (1/room + 10 employees) 82  
 Total 336  
 PHASE 2 Ratio \$2628  
 Entmnt Park (1/200 sf) 174  
 PHASE 3 Ratio \$2628  
 Retail (1/200 sf) 114  
 Total Required 514  
 Provided Spaces  
 Phase 1 112  
 Phase 2 114  
 Phase 3 427  
 Total Provided 743

Canby  
Associates Inc.

ARCHITECTURE / ENGINEERING / PLANNING  
711 Court St. Suite W Vista, California 92081  
P. (760) 535-2200 FAX (760) 535-2201





## CONCEPT PARCELIZATION

# VILLAGE WEST

7. The 1990-1991, 1992-1993, 1993-1994, and 1994-1995 school years and the 1995-1996 school year based on information found in article 10 of the 1995-1996 Minnesota Statutes (Statute), House Committee on Appropriations, 1995.

## SITE PLANNING CONCEPTS

- a. **Building locations and open spaces;** Village West retail shopping center is planned on a parcel of land that is within the gateway to the city of Visalia along State Highway 198. Careful consideration was given to the appearance and site lines from the highway. The building orientation and land uses that abut the highway were purposely laid out to enhance this scenic corridor. Therefore the intent was not to back the project up to the highway, but to open it up and allow site lines with views into the center. Akers road is a heavily traveled arterial circulation element. Building placement and orientation should allow for visibility into the village and not block the view of a future anchor tenant building within the interior of the project.

Another feature that was incorporated into the Village design was the existing majestic oak tree in the middle of the site. Providing a community gathering area, or a "Village Green", in conjunction with the entertainment complex, will offer a place for meeting, waiting, and relaxation.

- b. **Proposed uses;** The site plan has been designed to accommodate mixed uses. To enhance the village concept, buildings will have unifying architectural styles. Most of the buildings will be built on stand-alone pads. When there are multi-tenant buildings, the number of tenants that are combined within one building should be limited to eight or less. Proposed uses include but are not limited to restaurants, gas station with mini mart, retail, hotel and office space.
- c. **Entertainment Park;** Provisions have been made to accommodate an entertainment-style theme park into Village West. The proposed theme park consists of a main arcade building, 36-hole miniature golf course, go-cart racetracks, a man-made lake for bumper boats, kiddies tot-lot, batting cages and outdoor picnic areas. The Entertainment Park will be secured with a six-foot high chain link fence.
- d. **Access and driveways;** Access to Village West will be from Akers Road and Cypress Avenue. The main point for access and egress will from Cypress. Akers has a divided median, therefore access and egress will be limited to right turns in and out of the center, except at Cypress Avenue.

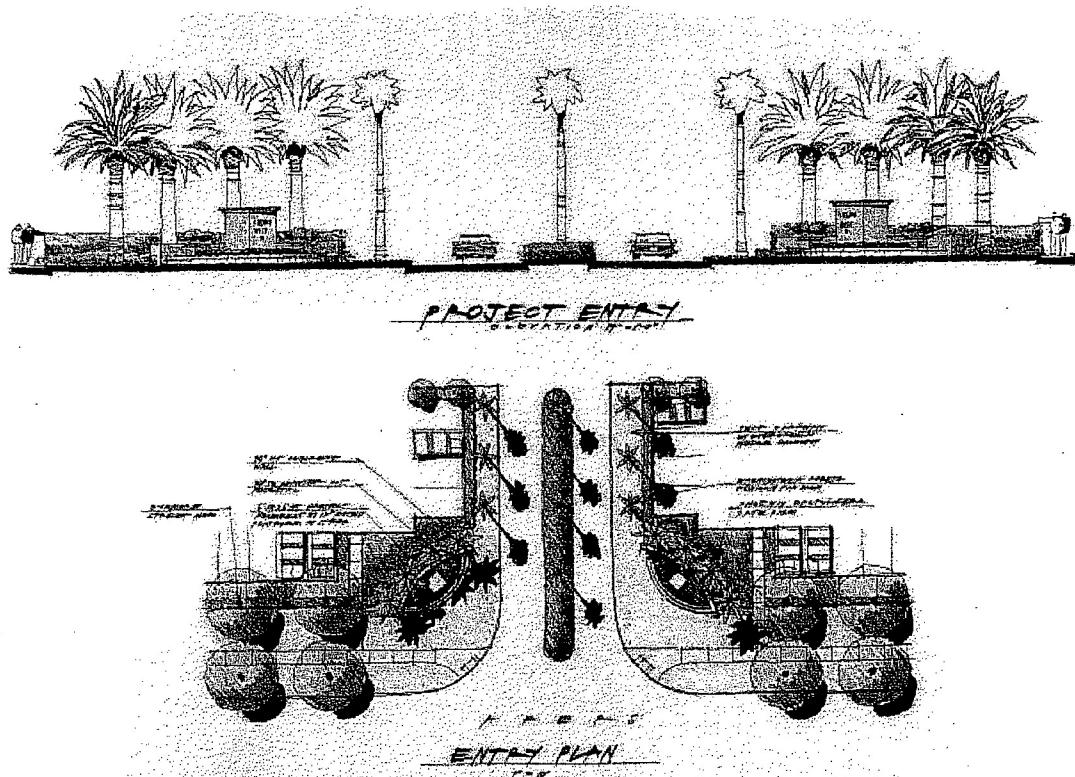
The entrances indicated on the site Master Plan provide all access to individual buildings and pads. No additional access drives will be permitted.

- e. **Phasing of construction;** The project will be constructed in up to three phases. The developer will construct all improvements to the public streets and Village Drive, underground utilities, common area landscaping, and signage at each phase. Construction of improvements for each parcel would be up to the individual parcel owner. Each individual parcel will provide the required parking for their building. Site drainage will be designed so that each phase will be work independent of the other phases.

## SPECIAL INTERSECTION CONSIDERATIONS

The vehicular entrances into Village West retail shopping center are a very important aspect of the project. They are the first impression and announce the entrance to the Village. The gateways are bordered with poured-in-place garden walls with raised planters at the main entry points, which include the entry at Akers Road, the north and south sides of Cypress Avenue at the Akers intersection and the main entries on Cypress. The raised planters will feature planter pot pedestals, colorful year round landscaping, and a back drop of palm trees or Olive trees, blending with the Mediterranean theme. The roadway shall have patterned and colored concrete paving surface between Village Boulevard entry walls.

The project will feature a tree-lined promenade along Village Boulevard from the Akers entry to Cypress. The entry feature will have a median planter in the center of the entrance with special colored patterned concrete paving at Akers and Cypress project entries.



## REQUIRED SETBACKS

Building and landscape setbacks are established through the approval of a Conditional Use Permit (C.U.P.) for a planned commercial development. The setbacks are measured from the property lines as follows:

### Building Setbacks

Akers Road	30' Minimum
Cypress Street	15' Minimum
Persian Ditch	5' Minimum from the edge of the riparian landscaping
Southern property line	35' Public Utility Easement (P.U.E.)
Side yard	5' minimum
Rear yard	5' minimum
Interior parcels	Varied building and landscaping setbacks

### Landscaping

Akers Road	23' Minimum (6' sidewalk and 17' landscaping) from the Public Right-of-Way
Cypress Street	15' Minimum (6' sidewalk and 9' landscaping) from the Public Right-of-Way
Persian Ditch	13' of riparian landscaping plus 5' minimum from the fence at the edge of the riparian landscaping
Side yard	5' minimum
Rear yard	5' minimum

## PARKING REQUIREMENTS

Parking shall be provided per the City of Visalia Zoning Ordinance. The size and quantity of the standard, compact and handicap stalls are established in the City of Visalia parking standards.

- a. **General Retail;** One parking space per 200 square feet of building
- b. **Restaurant;** One parking space per 100 square feet of building
- c. **Entertainment Park;** One parking space per 200 square feet of building and 1 space per 2000 square feet of theme park space. The actual amount of parking may have a 10 percent reduction for sharing with the retail parking.
- d. **Hotel;** One parking space per guestroom, plus one additional space per employee. Additional spaces are required if banquet rooms or restaurants are provided at a rate of one space per 100 square feet.
- e. **Phasing of construction;** parking shall be provided during each phase of construction as required, in direct proportion to the buildings built and proposed. The accumulative amount of parking required may not exceed the amount of parking provided.

# VILLAGE WEST

Commercial Shopping Center

Parking will be provided in substantial compliance with the master-parking plan, as shown on page 2(a). Up to 10% of each uses parking can be shared parking, if the uses are located on contiguous parcels

## LANDSCAPING

The primary objective of the landscape guidelines is to soften the mass of buildings and promote a visual separation between the buildings, parking lots, adjacent properties, and public streets. Landscaping shall be in substantial conformance with site plan on page 2(b). The goal is to promote an environment within the village that is pleasing, inviting, harmonious and unified.

The following standards shall be used in designing the landscaping:

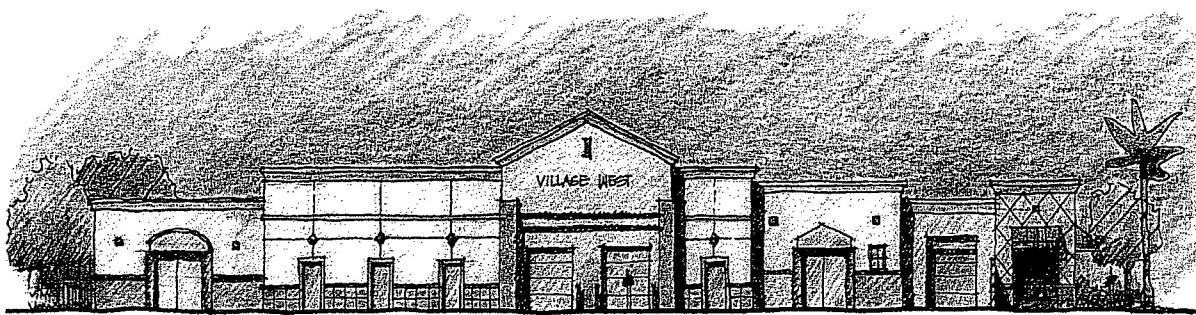
- a. **State Highway 198 frontage;** Landscaping consistent with the "Natural Forested" concept, described in the West Visalia Specific Plan. Specifically Valley Oaks, London Planes, Live Oak, California Sycamore, White Alder and Willow should be used together with a ground plane of riparian grasses, granite cobbles and shrubs shall be provided within the Ditch Right of Way. This planting scheme shall be compatible with the Freeway 198 landscaping, to be installed in the SR 198 right-of-way.
- b. **Street frontages;** Street tree placement along Akers and Cypress will be a formal "Alle" (a double row of trees) that reinforces a grand boulevard planting. Turf parkways gently sloping up towards the project interior with a wax leaf privet hedge as a visual screen into the parking lot. London Plane trees along the street and palm trees and Olive trees at the project entry as accents complete the landscape sequence into the project.
- c. **Persian Ditch;** Riparian landscaping consistent along the State Highway 198 frontage and the west side of the property to be per the West Visalia Specific Plan and the City of Visalia's waterway guidelines. A fence shall be placed on the interior side of the landscaping to create separation from the village, and have a minimum height of three foot six inches. Also, there shall be a 12-foot access road adjacent to the ditch on both sides.
- d. **Existing Oak Tree and Open Space;** The existing Valley Oak is to be protected in place and serve as an interior focal point. A masonry seat wall consistent with the project architecture will be used to provide an edge to the surface area at the base of the tree that should be protected. All construction shall be in conformance with the city's Oak Tree Guidelines, and no construction shall take place within 6 feet of the tree trunk. Pedestrian walkways connecting retail uses will link to the seating area. All work surrounding the tree will be approved by the City of Visalia Public Services Director to ensure the continued health of the tree.
- e. **Interior Street and Circulation;** Palm trees (washingtonia robusta and phoenix dactylifera) will be used to reinforce the vehicular focal points around the project including the interior drive, indicated as Village Drive, that links Akers Road to Cypress Street. The center identification sign with accent paving and planting will serve as main vehicular focal point from the public streets. Judicious use of

evergreen hedges, turf and flowering accent shrubs will complement the arrangement of palm trees. Accent paving will be used where Akers Road & Cypress meet the private interior drive, indicated as Village Drive, as shown on the Site Improvements Plan on page 2(b).

- f. **Parking lots;** Shade trees (one planting well every 10 parking spaces minimum), shrubs and ground cover shall be used to clearly identify and separate the vehicular and pedestrian traffic within the parking lot. The trees shall be planted to achieve at least 50 percent shade of asphalt area within ten years from installation, when measured at noon on June 21.
- g. **Building perimeters;** The landscaping at the perimeter of the individual buildings and pads shall be consistent throughout the project both in plant palette and arrangement. Also, this landscaping shall be consistent with the City standards and in substantial conformance with the Site Plan on page 2(b). Plants should be organized in more of a formal manner. Large massing and layering of single plant types at the ground plane are desirable. Plant material in all cases will reinforce the architectural theme.
- h. **Maintenance and replacement;** Landscape maintenance shall be provided and include mowing, trimming, weed control, fertilization, pruning, edging and pest control. Replacement of plants that decline shall be immediate. Trimming will be encouraged over removal. Plants shall be replaced with material of similar quality and size if required.

## ARCHITECTURAL THEME

The concept of the retail commercial center is that of a "Village", with each building having a unique blend of facades. The individual tenant space entries would be similar to an indoor mall or that of Main Street, where each business has an individual identity. By the use of trim, moulding, stone veneers, and pedestrian urban streetscape there would be a consistency that would bind the complex together. Sample elevations are shown in the appendix at the end of these guidelines.



# VILLAGE WEST

Commercial Shopping Center

## CONCEPTUAL BUILDING DESIGN

- a. **Exterior Walls;** Exterior walls are to be cement plastered with smooth steel trowel finish. The use of different colors should be used to differentiate the tenant spaces, creating the village theme. The plaster color shall be earth tones or natural colors, unless approved by the Village West Design Committee. The top of the walls must be capped with a cornice moulding, made of foam and plastered, about 14" to 18" tall, similar to the moulding number 100, as manufactured by Bay Foam. The base of the wall shall have ceramic tile, carved stone or furred out plaster wainscot. The purpose is to delineate the base of the building and reduce the scale of the large wall masses at the pedestrian areas. One example of this is the precast concrete Molding 59, as manufactured by Concrete Designs, INC,
- b. **Pedestrian Scale;** The building massing shall be broken down to the human scale. Walls shall not be just one plane or a flush surface, and should not have the appearance of a big box. Different materials, veneers, mouldings, expansion joints, and color shall be used to divide the walls vertically. Entrances and walkways with coverings such as wood trellises and canvas awnings should be used in lieu of the traditional continuous covered arcade. The use of large wall masses and oversized elements are inconsistent with the village concept and will not be allowed unless the first floor treatment at eye level has greater detail than those above.
- c. **Wall Base;** The building base should be a distinctive architectural element that helps to articulate the pedestrian scale. The variation of different materials, textures, heights, openings and recesses in the wall, and colors at the individual tenant spaces will help to define the "Village" theme.
- d. **Colors and Accent Colors;** The uses of different colors are encouraged by articulating the individual building elements with harmonious colors. Main building masses should be off-white or light earth tones with pastel and darker colors used as accents on the different architectural elements.
- e. **Windows;** Windows shall be made of dark bronze anodized aluminum with clear or lightly tinted glass, broken into divided lites (with no individual pane greater than 20 SF) and shall have the appearance of individual panes.
- f. **Tenant entries;** At retail buildings with multiple tenants, the use of columns and different shaped entryways to differentiate the individual tenants is encouraged. The variation of forms, materials and textures in the articulation of the entryway will help create the "Village" concept and give them a sense of individuality. Similar to attached sketch, see appendix at the end of guidelines.
- g. **Roofs;** Flat or low sloping roofs with parapets. Pitched roofs with hipped or gabled ends are encouraged to create visual interest, if used they should be standing seam metal roofing, Terra Cota color as manufactured by ASC Pacific – Skyline Roofing system.

h. **Mechanical screening;** Roof mounted equipment shall be screened from view of the public within the public right-of-way. Parapet walls or roof mounted screen walls shall be similar in material, color, and design of the exterior walls of the building.

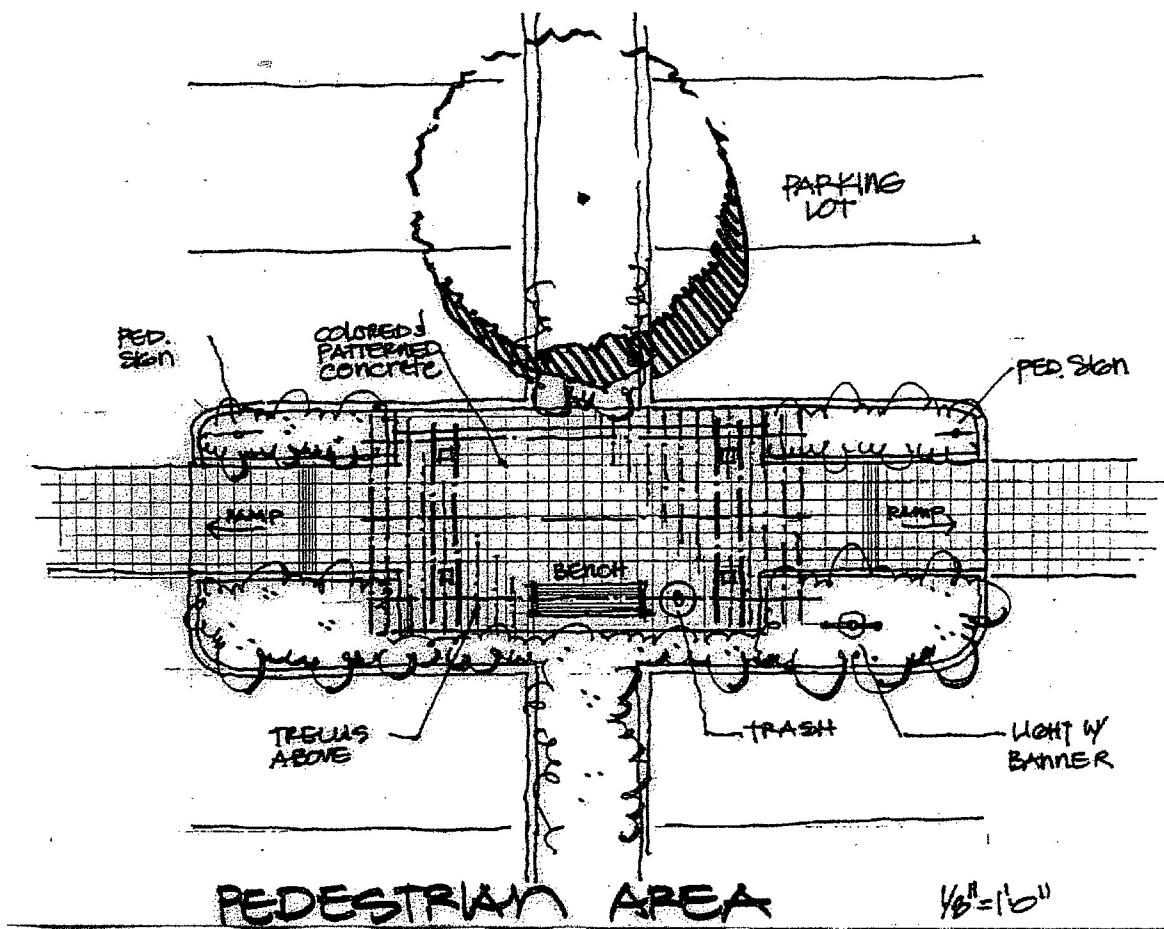
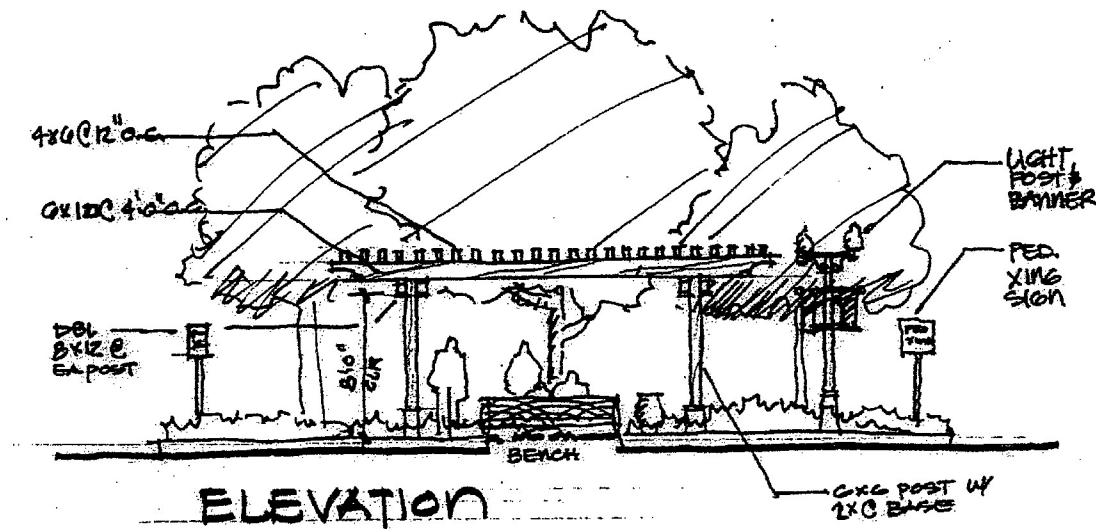
## PEDESTRIAN URBAN STREETSCAPE

The concept for the retail commercial center is that of a "Village" and therefore needs people places and spaces. The intention is to foster an environment that is inviting, festive and encourages the visitor to get out of their car and walk within the different buildings within the Village. This will be achieved through usage of a pedestrian walkway through the parking lot with trellised resting areas. The use of repeating elements that creates a pedestrian urban streetscape as defined below and illustrated in the appendix at the end of the guidelines:

a. **Pedestrian Walkway;** Special paving, lampposts, seating areas, trellises, and planters will be used to define the walkways. A seating area with a trellis above will be incorporated within the parking lot planters. This will offer shade and a bench to rest for the pedestrian. Colored and stamped concrete will be below the trellis and similar to the walk. Incorporating an ornamental low scale lamppost with a banner and pedestrian crossing signs within the sheltered area, thus notifying the driver that they are approaching a crosswalk. Each parcel will incorporate a rest area and are shown on the site master plan on page 4.

The paving pattern for the pedestrian walkway through the parking lot shall be different from the asphalt paving by color and pattern. The pedestrian crosswalk shall be inset with color and patterned concrete sections. The main sidewalks and borders can be standard gray concrete. The colored section shall be Bomanite pattern - Ashlar Slate, color - Mexican Tile with Desert Tan color releasing agent, as manufactured by Bomanite.

A partial plan and conceptual elevation are shown on the following page 9.



# VILLAGE WEST

Commercial Shopping Center

- b. **Building Entry Paving;** The entryway in front of the main entry shall be special and unique to the walkway. Announcing the entrance with special paving can be done in a variety of materials that are acceptable. They may be colored patterned concrete similar to the walkways, or Quarry Tile. The pattern should be unique and individual to the separate tenants within a building and different than the stand-alone buildings, but complement the adjacent materials. The pattern and color must be compatible with the texture of the walkway. Also, special consideration should be given to the adjacent courtyards and eating areas.
- c. **Lampposts and banners;** Ornamental low scale cast iron pedestrian walkway light fixtures and post will be used at each of the buildings. The idea is to use a recurring theme throughout the project and identify the entries of the buildings, different than the parking lot pole lights. Also to create a location to mount banners, thus adding color and interest to the walkway. The light fixture shall be acorn shaped, dual lanterns model number L40580 with a metal halide lamp, and an 8'-0", 3" to 4" diameter tapered pole with slip over base and two ladder rest for banners, model number 327-8 and model number 502S double lantern post cap, green painted finish, as manufactured by Hanover Lantern, commercial lighting.
- d. **Wall Mounted lanterns and Sconces;** The use of wall mounted lanterns or sconces shall be encouraged to enhance the feeling of pedestrian scale. Placing them on the building adjacent to the outdoor seating areas will increase the feeling of intimacy versus being in a large-scale shopping center. The style of light fixture should be compatible with the pole-mounted lanterns. In an effort to create a Village atmosphere, but allowing individuality, it is acceptable to deviate from the standard and specify a unique fixture to enhance the theme of the tenant.
- e. **Bollards;** Cast iron ornamental bollards with or without lights are encouraged to be used to control the flow of traffic within courtyard and pedestrian walkways adjacent to vehicular traffic. The bollards should match the Lamppost in color and style, such as the Richmond, model number 3901-LB as manufactured by Sternberg or approved equal.
- f. **Tree Grates;** Cast Iron Tree Grates from the Neenah Foundry, Round / square shape 5'-0" wide , painted dark green to match the benches shall be used around the trees on the pedestrian path.
- g. **Benches;** One-piece, all steel constructed Bench 94, 6' long with S-2 surface plate supports with expansion anchors and polyester powder coat finish – forest green color as manufactured by Du Mor, Inc. There shall be a minimum of two per building. There should be an effort to group together the seating area with the planters, litter receptacles and other pedestrian urban streetscape elements.
- h. **Tables and Chairs;** Individual tenants are encouraged to create small clusters of seating along the pedestrian path and in courtyards and plazas that have been designed into the masterplan. The color of the metal tables and chairs can vary and therefore relate to the individual tenant thus reinforcing the Village theme. The style of chairs will be metal grid seats without arms, model number TR3001-

20, Grotto and steelhead table top with center pedestal support, freestanding model number SH4002-36,XA-FM, Grotto as manufactured by Landscape Forms, INC or approved equal. They may also have fabric Market Place umbrellas,UM7008-MK as manufactured by Landscape Forms, INC or approved equal.

- i. **Planters;** Cast stone / Precast concrete reinforced with steel planters for the potted plant look. The two basic shapes will be round and rectangular. They may be grouped together to make a cluster look at varying heights. The round shall be Design F and the rectangular shall be Design C as manufactured by Dura Art Stone. The finish is to be Acid Etched and the color shall be Mojave Sand.
- j. **Litter Receptacles and Ash Urns;** Cast stone / Precast concrete reinforced steel to match the planters with finish, color and manufacturer. Litter receptacle shall be round model number TR-F with 20 gallon galvanized metal liner and anodized aluminum lid with anchor chain and spring fastener. Ash urn shall be model number AU-F, if used.

## ENTERTAINMENT PARK DESIGN

The Entertainment Park is planned to be one of the phases of development. While it is separate, it needs to blend with the Village. Therefore, the theme of it can be unique, but must also follow the design guidelines herein. The components are defined below and an illustration is in the appendix at the end of the guidelines:

- a. **Security and perimeter fencing;** Because of security reasons, the perimeter of the theme park will need to be fenced. The enclosure shall be designed in such a way to minimize its existence. Maximum height should be no more than seven feet tall, preferably wrought iron, decorative steel, or chain link, dark in color (black paint or vinyl coated). The only deviation will be along the Persian Ditch. Landscaping should be used as much as possible to aid in the screening of the fencing.
- b. **Building and parking;** The architectural theme of the building must meet with the overall guidelines. To complement the retail center, the building should blend within the overall Village theme, but the need exists for the style of the arcade building to be unique (i.e. a castle). The desirable building facade would create an individual character. The site configuration should try to share the parking of the village. The entry of the building needs to be visible from the rest of the center. The parking, if isolated, must have a sense of security because of the family atmosphere that will exist. The facade will be designed in substantial conformance with the illustration in the appendix.
- c. **Picnic structures;** The theme park, since it is pedestrian oriented, should provide a place for gathering. The shade structures should be small in scale, it will be undesirable to provide a large covered area. Smaller structures, clustered together are more desirable. The architectural detailing should be consistent to the building theme.

- d. **Race Tracks;** Screening the race tracks from the highway, with landscaping, is desirable. Recessing some of the track, if possible, and the use of landscaping berms is preferable. Mitigating the noise generated, through the use of landscaping and or walls must be done to reduce the impact upon the village and adjacent users.
- e. **Batting Cages;** Placement of the batting cages is important, and must be done to not obstruct visibility of the rest of the site from the freeway. The roof or covering over the batting cage must be architecturally pleasing and unobtrusive from the highway. Special consideration of unique shapes is encouraged.

## **SERVICE AREAS**

Service areas, which include but are not, limited to trash enclosures, loading docks, and delivery staging areas shall be screened from the view of the general public with doors, walls and landscaping. These walls should be constructed of concrete block, plastered, trimmed at the top with mouldings and colored to match the adjacent building.

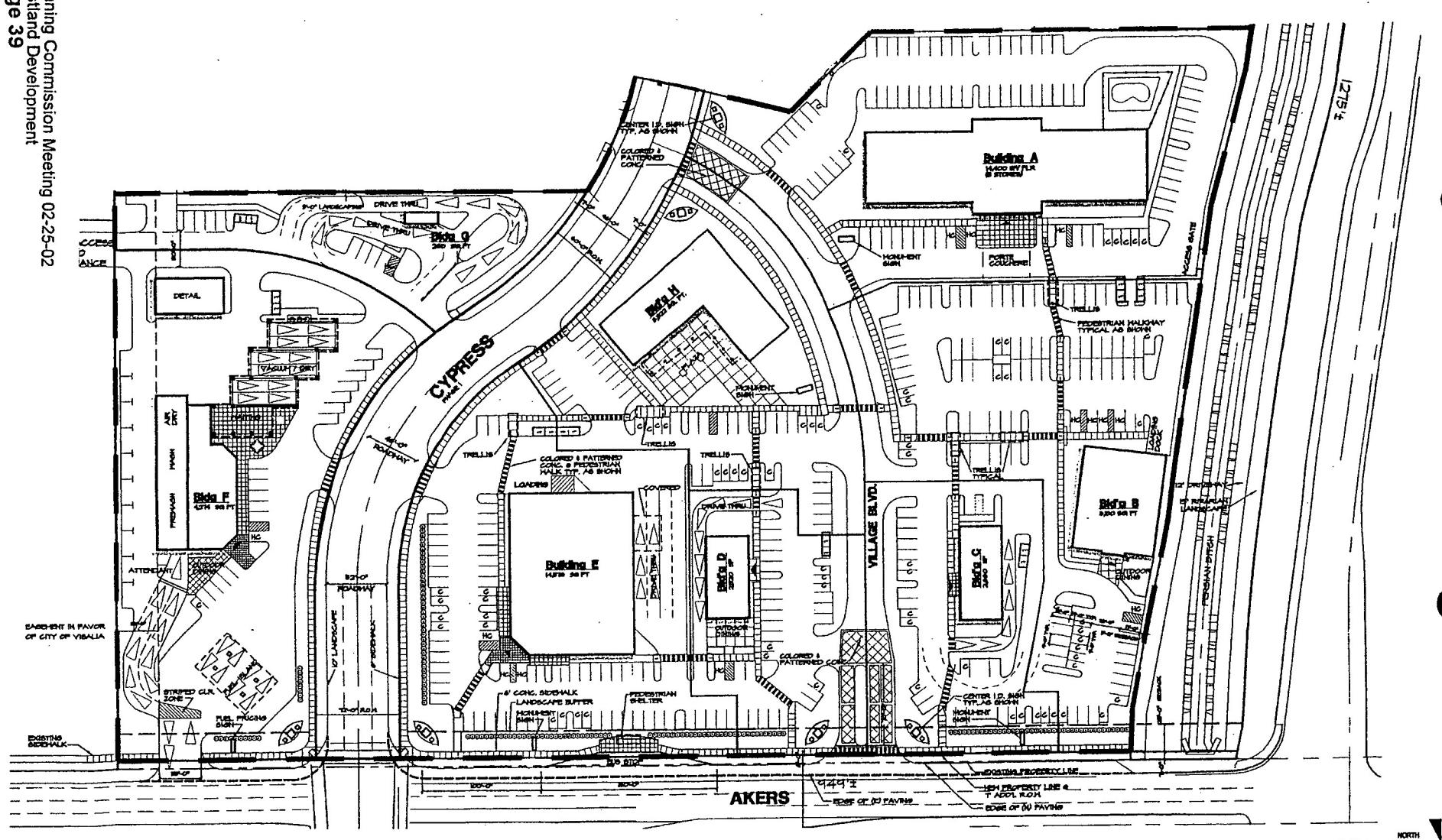
The ground mounted mechanical equipment (i.e. condensers), and electrical equipment (i.e. transformers) shall be screened with solid walls and landscaping that is compatible with the building materials and design.

## **SIGNAGE**

All signs shall be designed and constructed in conformance with these guidelines to assure uniformity, quality and consistency of the signs within the Village. Specifications and drawings shall be provided to the Village West Design Committee for approval. All signs shall conform to the city of Visalia's sign ordinance, and a sign permit from the City is required for each tenant. Deviation from these design guidelines and/or the City of Visalia sign ordinance will require an amendment of these guidelines and approval of a variance by the City, if applicable.

No person, firm or corporation shall erect, construct, enlarge, alter, rebuild, move improve, convert, demolish or remove any sign; nor shall they cause or permit the same to be done, except by approval of the Village West Design Committee. Any non-conforming or unapproved signs must be removed or brought to compliance at the sole expense of the persons responsible for their installation, with 30 days of notice of nonconformity.

- a. **Site Identification signs visible from Akers Road and Cypress Street;** Ground mounted center identification signs will be incorporated into garden walls at the main entrances to the center at Akers Road and Cypress Street, as shown on the Signage Plan, found on the following page 13(a). The signage will be limited to identifying the center "VILLAGE WEST" and not individual tenants. Words shall be created with individual metal letters and a projected mount, with a maximum height of 12". Any, ground-mounted lighting will be concealed in the planting, see illustration of *Special Intersection Considerations* on page 4.



## VILLAGE WEST

RETAIL SHOPPING - AKERS RD & HIGHWAY 198  
PROPOSED BY WESTLAND DEVELOPMENT

## SIGNAGE PLAN

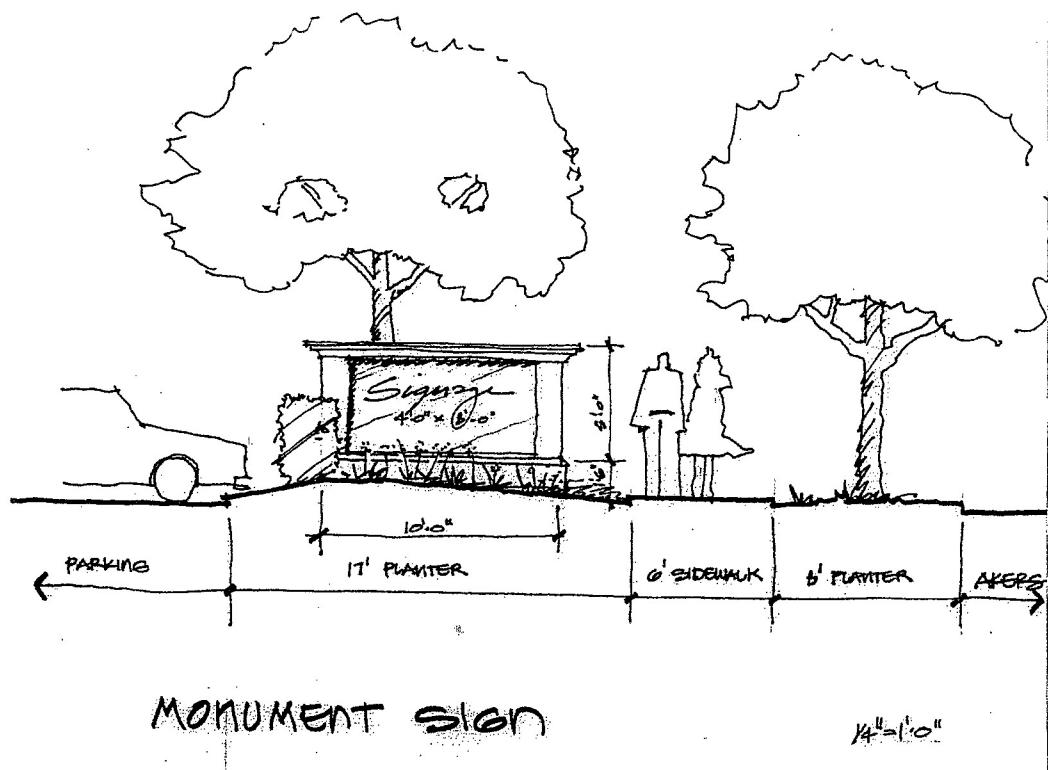
This is an original Unpatented Work and may not be copied, modified or otherwise used in whole or in part without express written consent from Carter & Associates, Inc.

**Canby**  
Associates, Inc.  
STRUCTURAL DESIGN  
ARCHITECTURE / ENGINEERING / PLANNING  
7415 Dahl Rd., Suite 100  
Vista, California 92081  
(760) 720-9202 Fax (760) 720-9207 E-mail: [canby@compuserve.com](mailto:canby@compuserve.com)



b. Tenant Monument (Freestanding) Signs; Individual stand alone building tenants will be allowed to combine signs into two (2) internally illuminated monument signs along Akers Road. Additional freestanding tenant signs are permitted as long as they are not visible from the public way (SH198, Cypress and/or Akers), and are limited to one monument sign per parcel. If any parcel occupies a building that sells gasoline, it may have a monument sign for pricing along the public street, in conformance with section 17.48.040(R) of the Visalia Municipal Code. No additional monument signs will be permitted.

The monument sign shall be compatible with the center identification sign in color and material. The base of the sign will be poured in place concrete, the structure will be concrete masonry, capped with a crown moulding, and coated with plaster. A conceptual image of the sign is below:



# VILLAGE WEST

Commercial Shopping Center

c. **Tenant identification and buildings signs;** Building identification signs are limited to identifying tenants, building addresses and operating hours. Building signs shall be limited to backlit individual letters and internally illuminated can-signs of tenant logos. Signs shall be mounted directly to the building without the use of poles, raceways or visible mounts.

Signs can be constructed from wood, metal, or tile and limited to one sign per tenant per street frontage. Acrylic painted or vinyl lettering is not allowed on the building for identification of the occupant. Maximum height of the lettering shall be 24" for multi-story buildings (or exceeding a 14' plate height) and 12" for single story with logos proportional to the letter height. Signs that are adhered to the glass, such as addresses or operating hours may be applied with paint or vinyl lettering.

d. **Vehicular and pedestrian on-site directional signs;** Signs that are used to provide information, directions and regulations for the site shall be kept to a minimal. Vehicular and pedestrian signs shall be placed in planters with a maximum height of 48" and a sign area not exceeding 4 SF. The signs shall be designed and constructed with materials similar to the building materials. Lettering shall be silk-screened, vinyl, die cut or laser etched. Directional signs may not contain sign copy for individual tenants.

e. **Flags and banners;** The display of flags is limited to the American, State, County, and City flags. Flagpoles must be freestanding and not attached to the building wall or roof parapet. Maximum size for the flagpole shall be 20 feet high from the adjacent grade.

Temporary banners used for special events will be allowed for a reasonable amount of time (four weeks maximum) prior to the event, and must be removed upon completion of the event. The banners must be in accordance with the City zoning ordinance.

Pedestrian lamp pole banners made of colorful material are encouraged. The banners shall have a consistent theme and approval by the Design Committee prior to display. The common area maintenance association will in-charge of coordination and replacement of the banners on a regular basis.

f. **Temporary Signs;** Freestanding temporary signs such as construction information, marketing, leasing information, and vacancy are subject to the restrictions of these guidelines.

Construction sign information shall be limited to the occupant of the building, size of lease space, major tenant, name of developer, financial lending institution, general contractor, architect, leasing agent and proposed occupancy date. It may include a rendering of the building as a part of the sign and shall not exceed 10 feet in height and 35 square feet of signage. Construction fence graphics shall be limited to the contractor and required safety and warning signs.

Temporary marketing signs serve as a way to inform prospective tenants the type of space that is available and how to get in touch with the leasing agent. The information shall be limited to the name of the project, available leaseable space, identification of the leasing agent and expected occupancy date. It may

include a rendering of the building as a part of the sign and shall not exceed 10 feet in height and 35 square feet of signage. Each building is limited to one sign. Vacancy leasing information will be required for leasing after completion of construction. Temporary signs with leasing information shall be limited to displaying the available space, (date and size) and the name and phone number of leasing agent or agency. These signs shall not exceed 36" in height and 30" in width. The total area for the graphics shall be less than six square feet per sign. Each lease space is limited to one sign.

**g. General design, construction and maintenance of signs:**

- All permanent signs shall be designed, specified and fabricated to have life expectancy of at least ten years.
- All materials to be used should be of top quality that will not fade, delaminate, distort and/or deteriorate within ten years.
- The area of the sign with individually applied letters and/or symbol will be measured by a rectangle around the outside of the letters and/or symbol.
- No junction boxes or exposed conduit will be permitted on the exterior of the building or sign.
- Access hatches should be concealed from view and integrated with the sign.

**h. Signs not permitted:**

- Signs which incorporate in any manner any mechanical movement, audible elements, flashing or intermittent lighting, moving or otherwise animated forms.
- Signs, which interfere with or conflict with any traffic control devised, create a safety hazard by obstructing the clear view of pedestrian or vehicular traffic, project into the public right-of-way or interfere with efficient operation of emergency vehicles.
- Signs preventing free access to or from any fire escape, door, window or exit or access to any standpipe.
- Signs, which project above a parapet or roofline or which are located upon or affixed to the roof of the building.

## **LIGHTING**

Illumination of the Village is important for the safety and security of the pedestrian, cyclist and the motorist. The quality of the lighting needs to be maintained throughout the center and reinforced through the consistent use height, spacing, color and type of fixture used within the common area. To reinforce the architectural theme, the use of unique lighting an individual building is acceptable.

**a. Parking lot lighting;** Pole mounted high-pressure sodium light fixtures, shall have shielded light source. Maximum height of fixtures to be 30 feet above grade, with dark bronze anodized aluminum finish.

- b. **Pedestrian Walkways lighting;** Decorative pole mounted lights in the areas of pedestrian travel. See the pedestrian urban streetscape section of these guidelines for more detailed information.
- c. **Accent lighting;** Small ground and wall mounted spotlights, illuminating the landscaping and building features is encouraged. The light source shall be concealed when the light fixture exceeds 150 watts.
- d. **Building and signage lighting;** Wall mounted decorative light fixtures with small wall mounted light fixtures to illuminate the signage.
- e. **Service Station Canopy;** Lighting shall be concealed by recessing it into the canopy or by shielding it with extended eaves to prevent visibility from a public street.

## **DESIGN REVIEW AND SUBMITTAL PROCESS**

A design review process has been established to ensure that all elements of the development within Village West retail center meet the requirements set forth in these design guidelines. The three separate steps of review are as follows:

- City of Visalia – Site Plan Review (SPR)
- Village West Design Committee – Building design and site review
- Village West Design Committee – Construction documents conformance review

- a. **Village West Design Committee;** Will consist of the following members:
  - Two (2) Developer representatives – Westland Development
  - One (1) Architectural representative - Canby Associates Inc.
  - One (1) Landscape Architectural representative – Broussard Associates
- b. **Conceptual Site Plan Review;** Submit three (3) copies of the conceptual site plan with the location of the building and all site improvements to the Village West Design review committee for approval.
- c. **City Site Planning Review;** City of Visalia standard site plan review process, which will review for conformance with these design guidelines as a condition of approval.
- d. **Building Design Review;** Submit preliminary design documents to the Village West design review committee for approval.

Submit three (3) sets of Schematic design including:

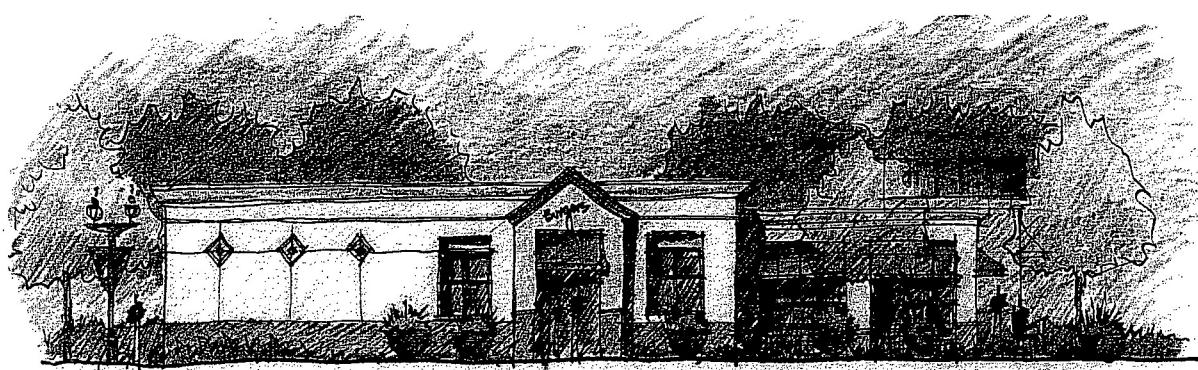
- Site plan and related site coverage data, including building locations, setbacks, vehicular access and circulation, parking layout, location of service yards and equipment, loading areas and hardscape elements
- Architectural Floor plan, Exterior Elevations with materials, colors and finishes

- Exterior lighting, location and type of lighting on the building and site lighting within the parking or walks.
- Signage, locations of proposed signs with plans, elevation with color and materials called out for all building or site signage.
- Landscape Planting Plan, showing all landscape elements including trees, shrubs, ground cover and berthing

e. **Construction Document Review;** This review covers checking the final construction documents as submitted to the City Building Department. Provide two sets of construction documents (drawings and specifications) to review for conformance and consistency with the previously approved building design documents.

## Appendix A

Examples of building designs that comply with these guidelines



BUILDING G - NORTH ELEVATION



BUILDING G - EAST ELEVATION



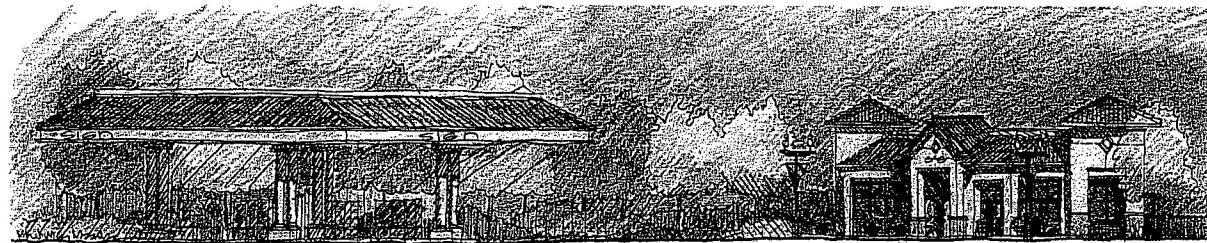
BUILDING F - EAST ELEVATION



**BUILDING H - EAST ELEVATION**



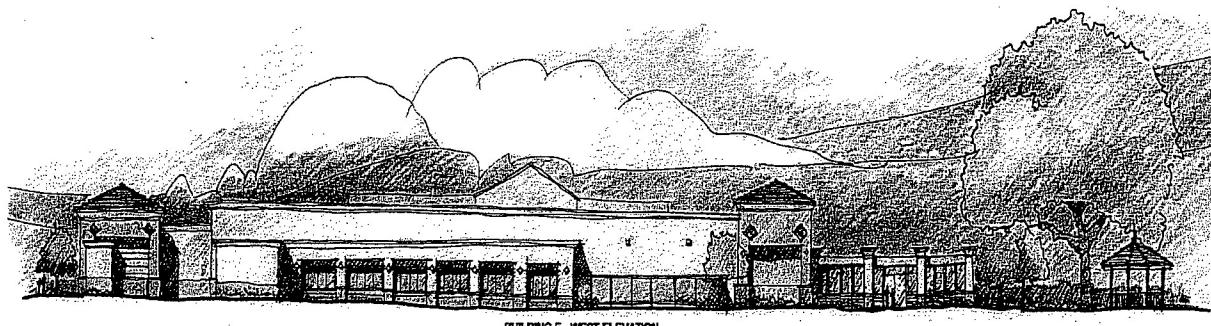
**BUILDING H - SOUTH ELEVATION**



**BUILDING M - NORTH ELEVATION**

Architectural Design Standards  
**VILLAGE WEST**  
Retail Shopping Center

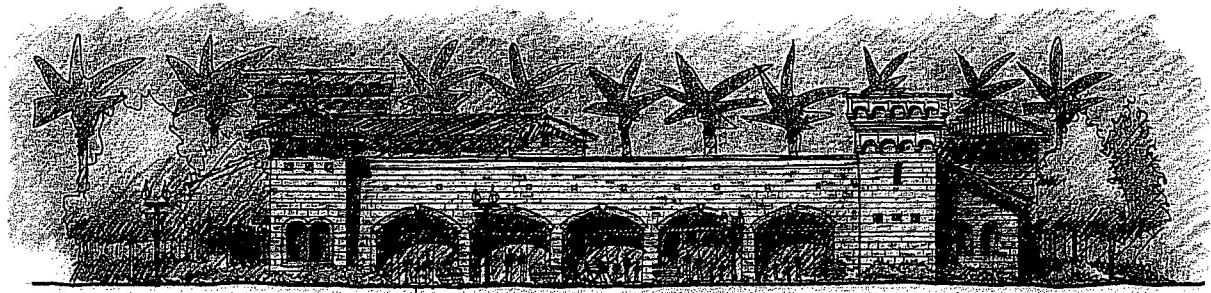
18 February 2002



BUILDING E - WEST ELEVATION



BUILDING E - NORTH ELEVATION



BUILDING D - NORTH ELEVATION

Planning Commission Meeting 02-25-02  
Westland Development  
Page 47

# VILLAGE WEST

Retail Shopping Center

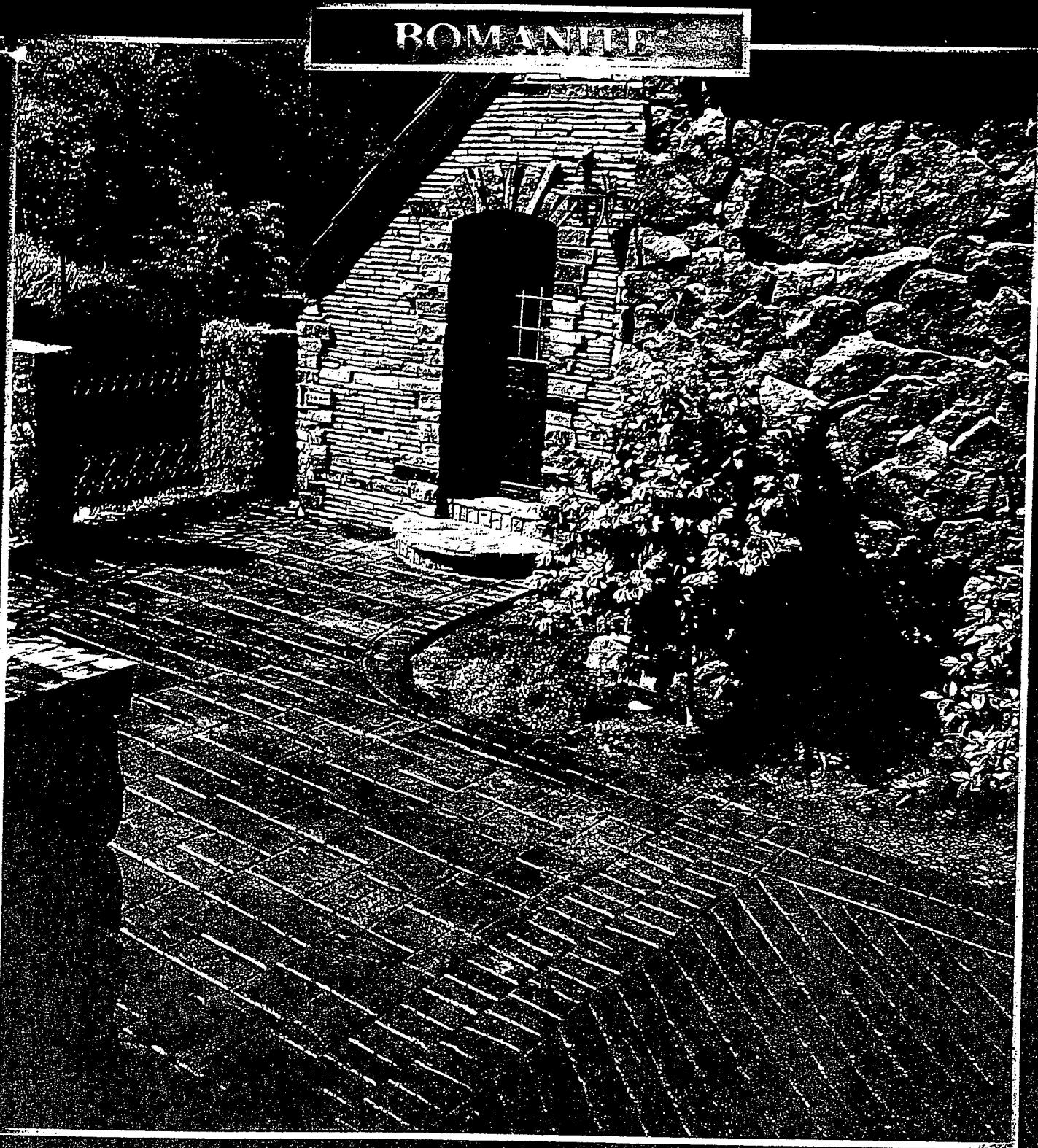
18 February 2002



BUILDING L – SOUTH ELEVATION



BUILDING L – NORTH ELEVATION



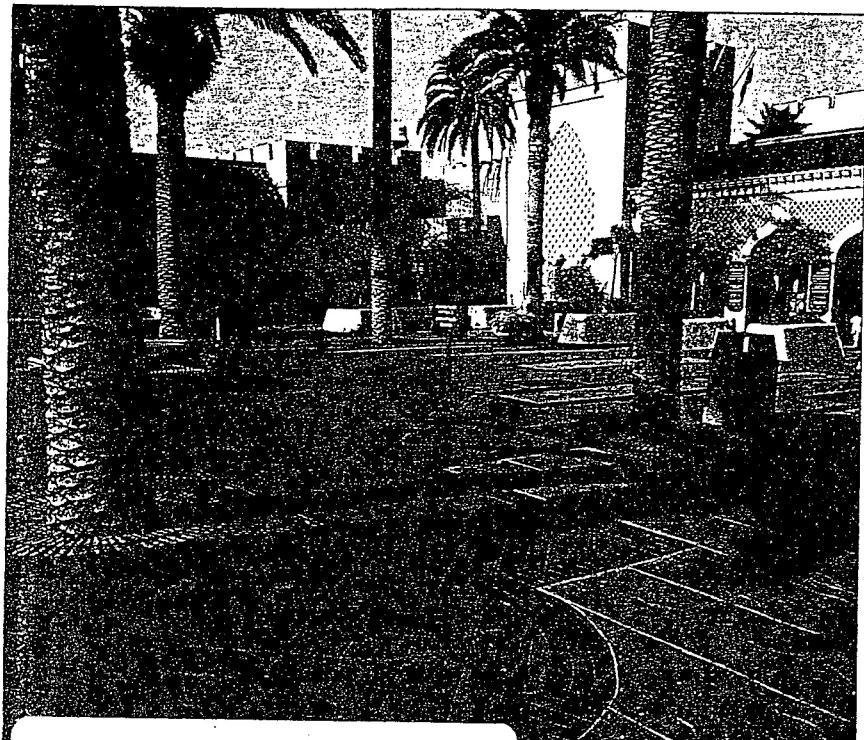
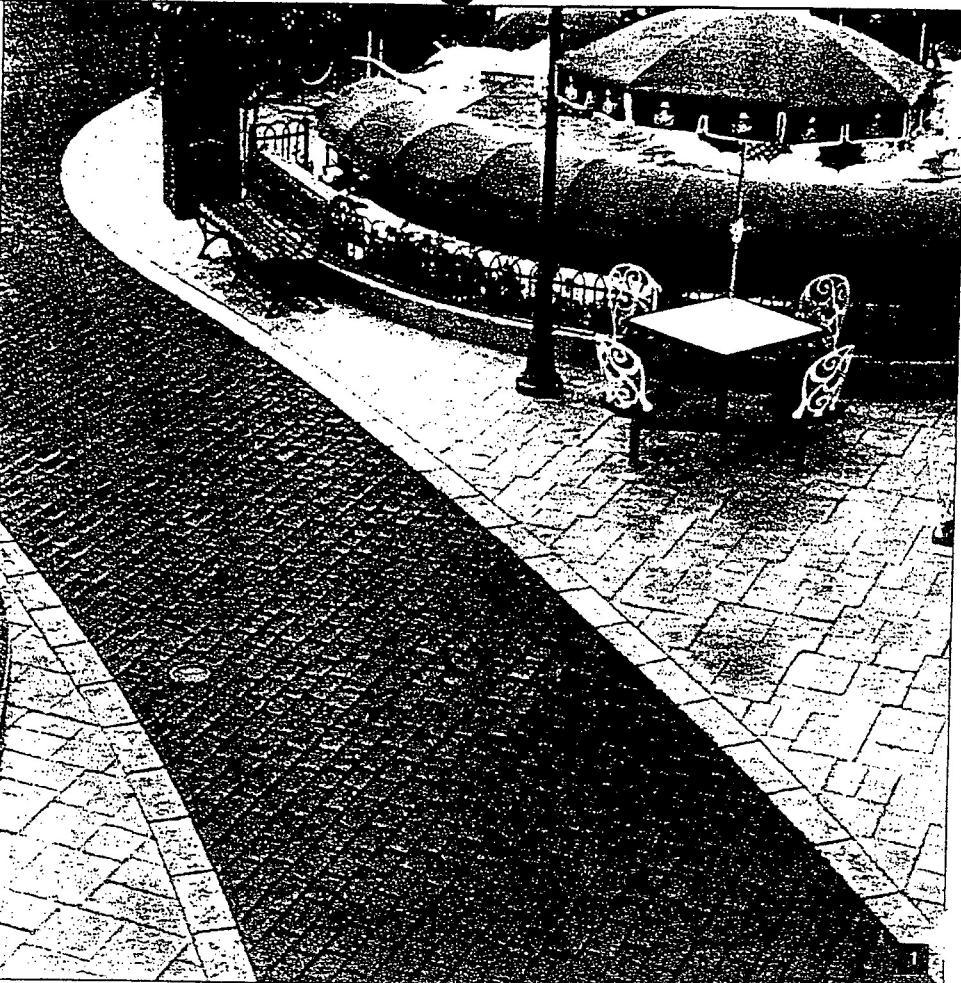
## THE NETWORK FOR CONCRETE INNOVATION

## COLOR PATTERN TEXTURE

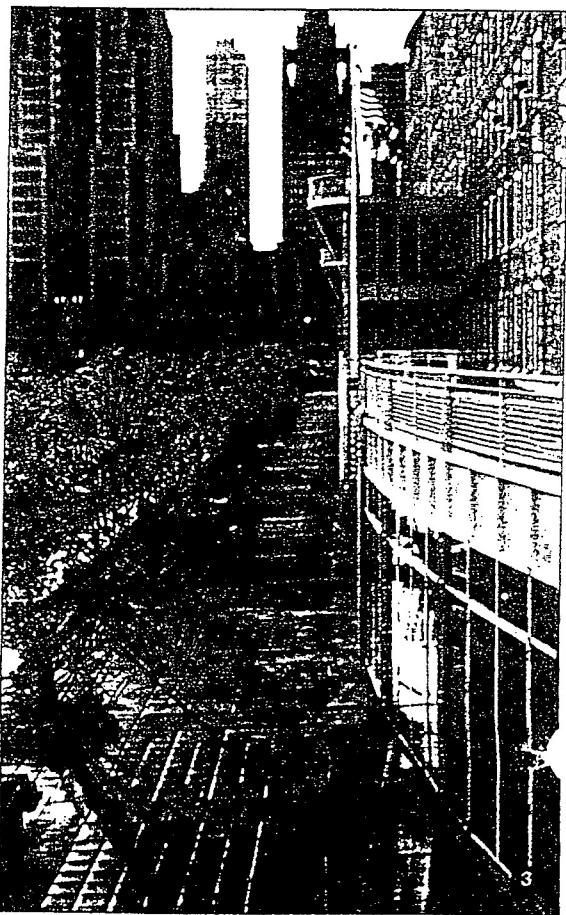
BOMANITE® colored, imprinted concrete paving adds the finishing touch to any project... and does so beautifully and economically. BOMANITE is the original cast-in-place, colored and imprinted concrete slab. Texturing may be added for a different visual effect. For 34 years, BOMANITE has provided the design professional with an almost infinite variety of colors, patterns and textures at a fraction of the cost of most alternate materials. Economy, versatility, quality—yours exclusively with BOMANITE.

### PHOTOS

COVER: Residence, Beverly Hills, CA; Land. Arch.: Daniel Weedon; 1. 49th St. Galleria Retail Center, Philadelphia, PA; 2. Busch Gardens, Tampa, FL; Arch.: Curry-Smith-Jaudon Architects, Inc.; 3. North Pier Terminal, Chicago, IL; Arch.: The Austin Co., 4. Residence, Beverly Hills, CA; Land. Arch.: Ambrose & Assoc.; 5. Westin Hotel, Seattle, WA; Des: Emil's Concrete.

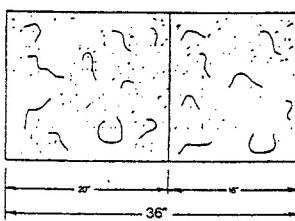


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Westland Development  
Page 50

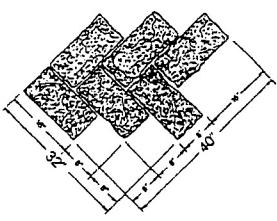


# BOMACRON® PATTERNS

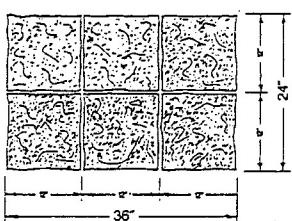
English Sidewalk Slate



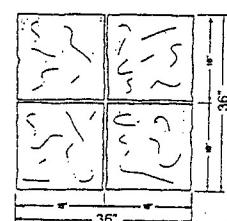
Herringbone Slate



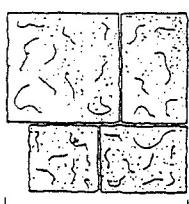
12" x 12" Slate



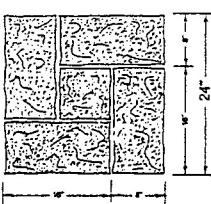
18" x 18" Slate



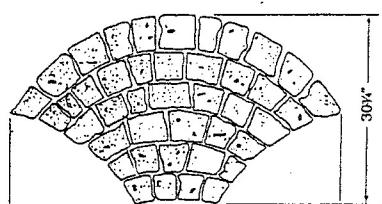
Ashlar Slate



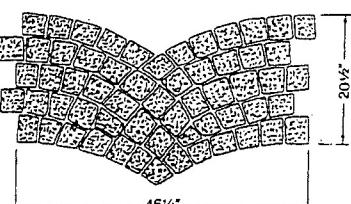
Riverside Slate



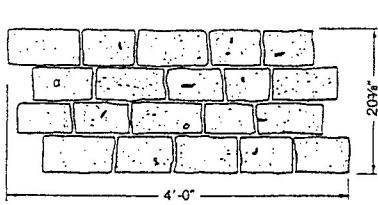
Fishscale-Belgian Block



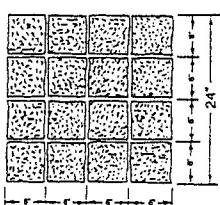
Fishscale 4" Granite Setts



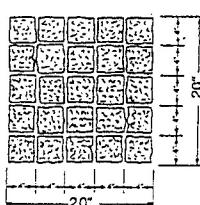
Belgian Block



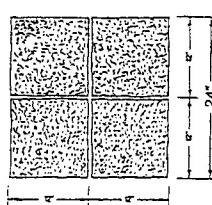
6" x 6" Granite Setts



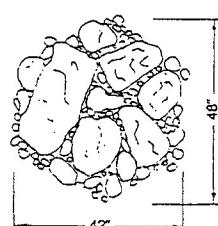
4" x 4" Granite Setts



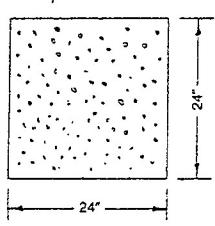
Granite



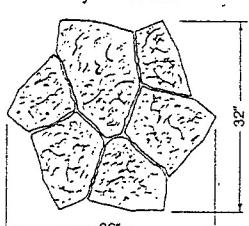
Garden Stone



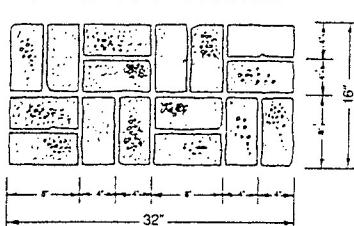
Coquina Stone



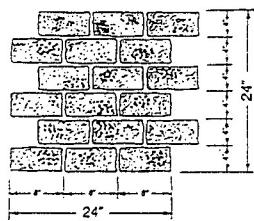
Canyon Stone



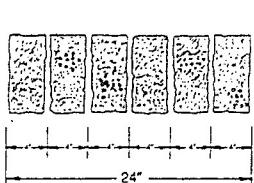
Basketweave Used Brick



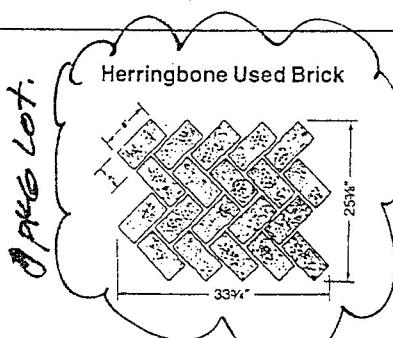
Running Bond Used Brick



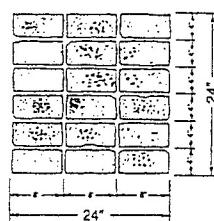
Soldier Course Used Brick



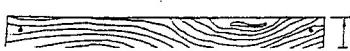
Herringbone Used Brick



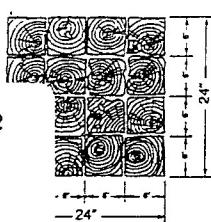
Stacked Bond Used Brick



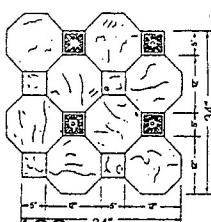
Boardwalk



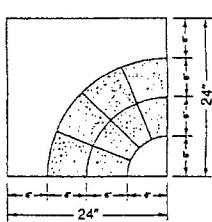
Wood End Grain



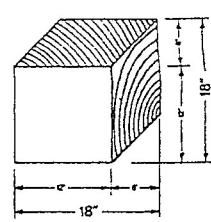
Mediterranean Tile



Quarter Circle Graphics

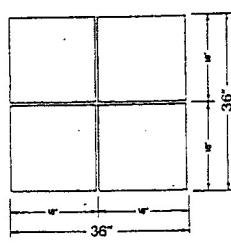


3-D Graphics

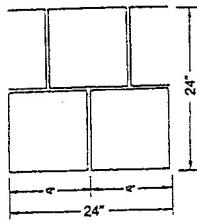


# BOMANITE PATTERNS

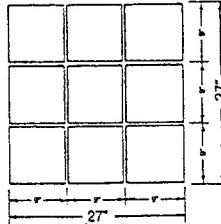
18" x 18" Tile



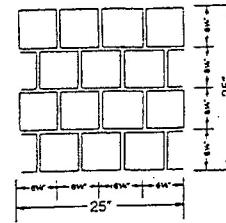
12" x 12" Running Bond Tile



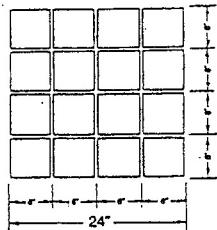
9" x 9" Tile



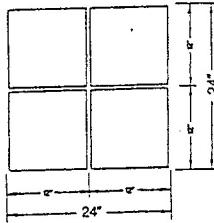
6 1/4" x 6 1/4" Running Bond Tile



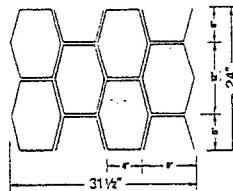
6" x 6" Tile



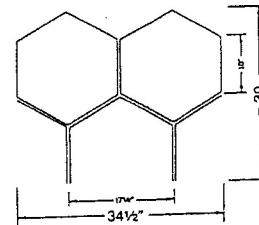
12" x 12" Tile



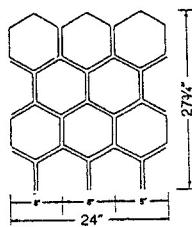
9" x 12" Hex Tile



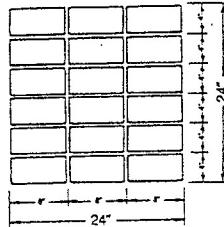
17 1/4" Hex Tile



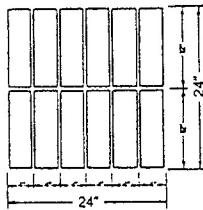
8" Hex Tile



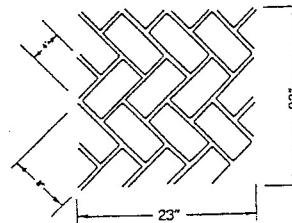
Stacked Bond Brick



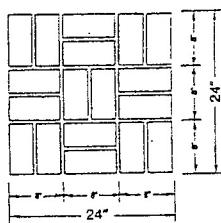
4" x 12" Soldier Course Brick Double row



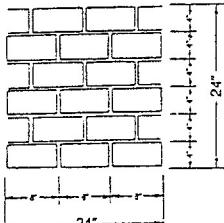
Herringbone Brick



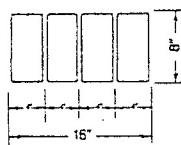
Basketweave Brick



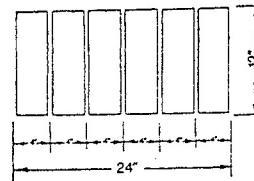
Running Bond Brick



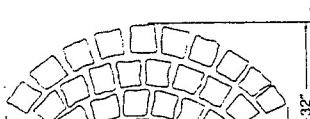
4" x 8" Soldier Course Brick



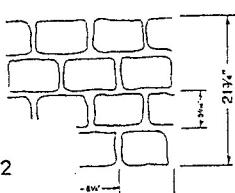
4" x 12" Soldier Course Brick



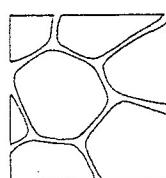
Fishscale Cobblestone



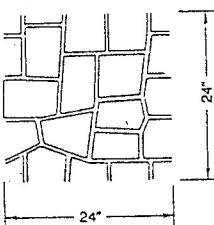
Running Bond Cobblestone



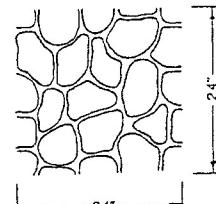
Random Stone



Flagstone



River Rock



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## Design Considerations

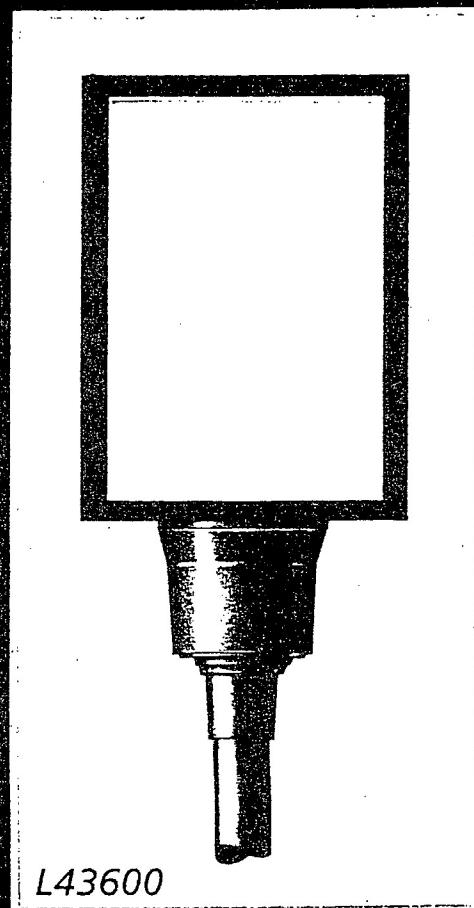
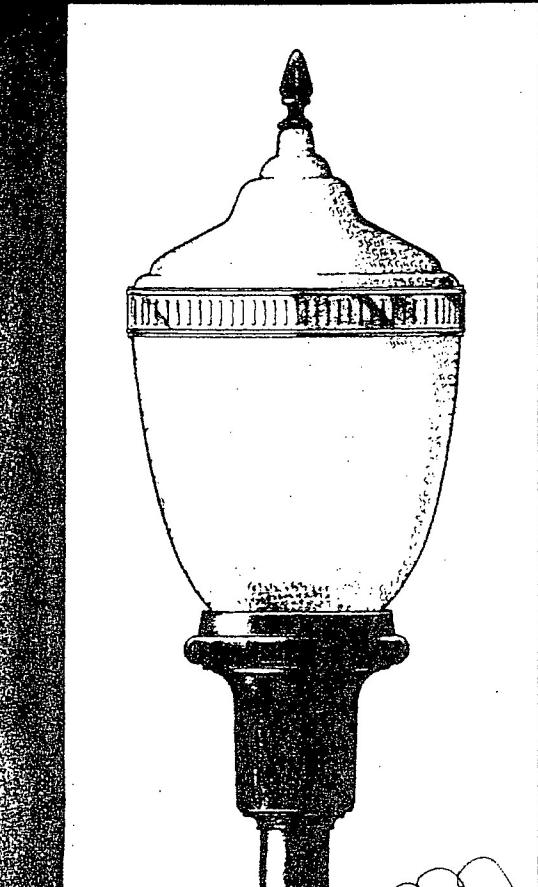
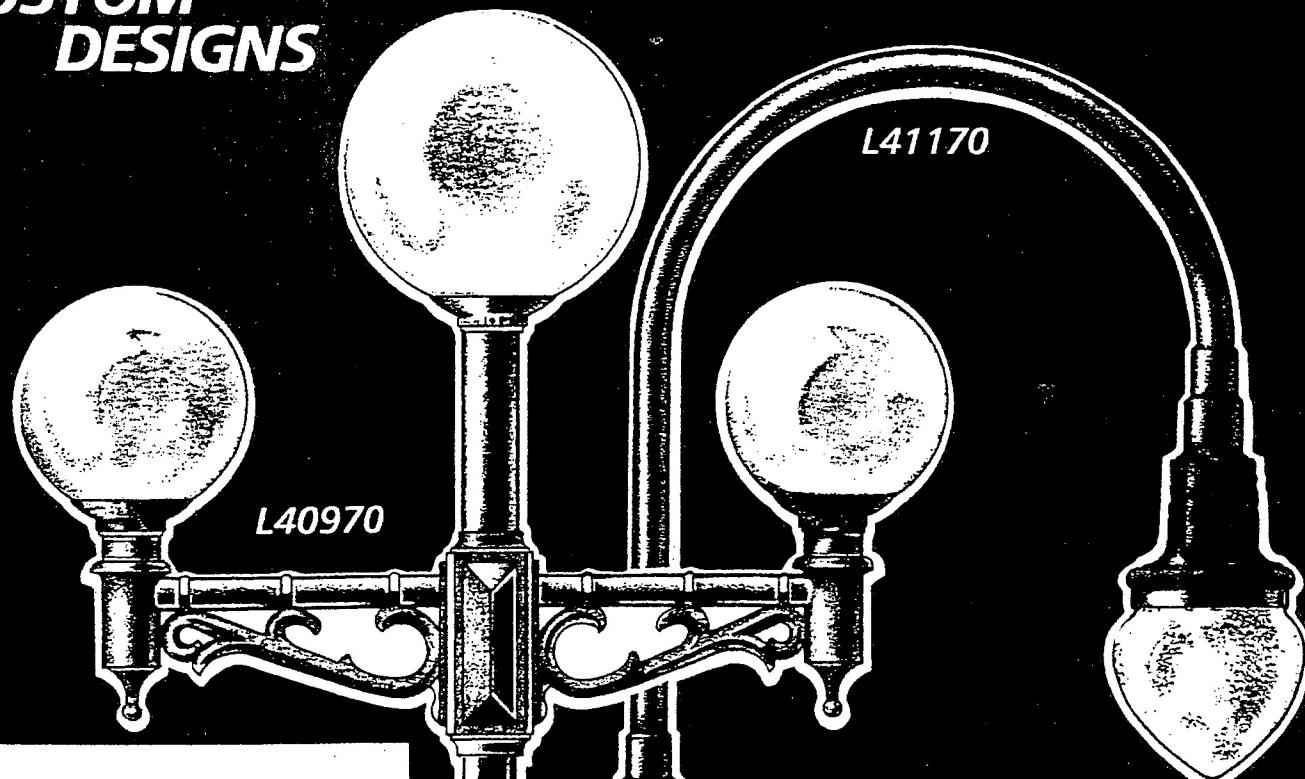
BOMANITE and BOMACRON are not usually intended to be an exact simulation of brick, tile or stone, but they are sometimes used to achieve a generally similar feeling.

BOMANITE and BOMACRON are rustic products and usually

have a small degree of variation in color, texture and geometric precision. They are handcrafted from a large mass of concrete under varying jobsite conditions, and therefore do not have perfect uniformity. People not familiar with BOMANITE should view actual installations or concrete samples in order to fully understand the usual appearance of the product.

# Hanover® Commercial Lighting

## CUSTOM DESIGNS

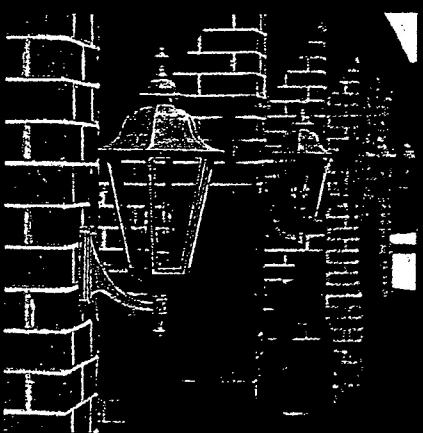
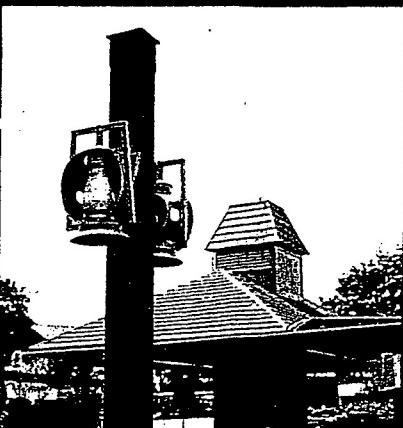




V.A. Hospital, Hampton, VA



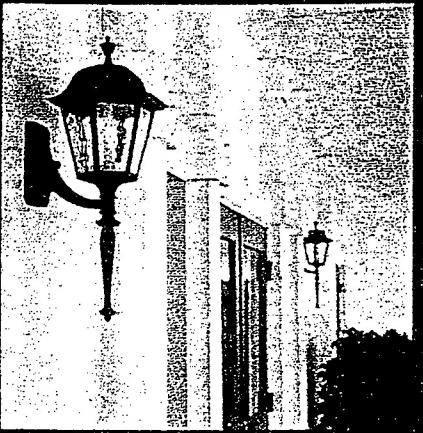
Heritage Inn, Orlando, FL



Hilton Hotel, Charlottesville, VA



Stonegate Square, Hanover, PA



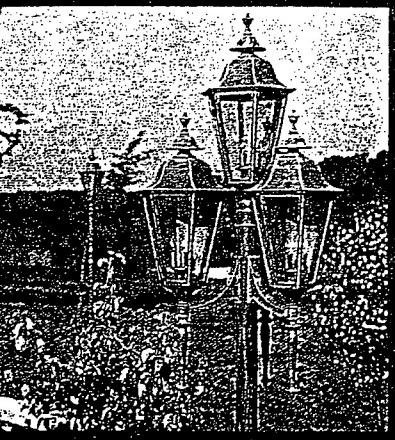
Heritage Inn, Orlando, FL



Heritage Inn, Orlando, FL



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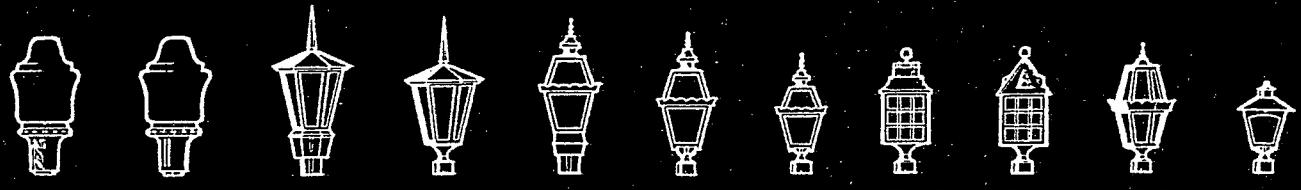
Hilton Hotel, Charlottesville, VA



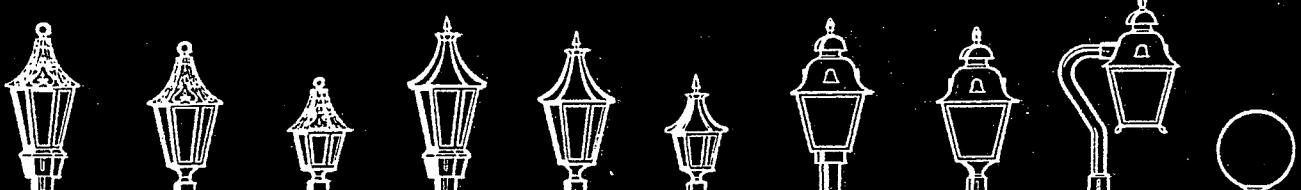
 **HERSHEYPARK**

# Hanover® Commercial Lighting

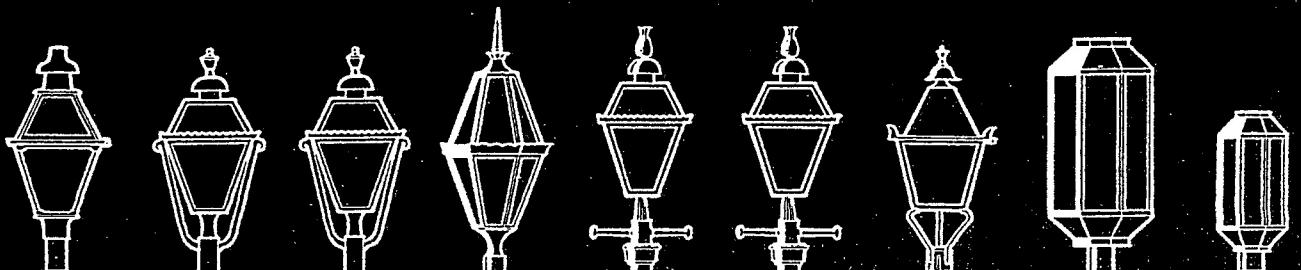
## VISUAL INDEX



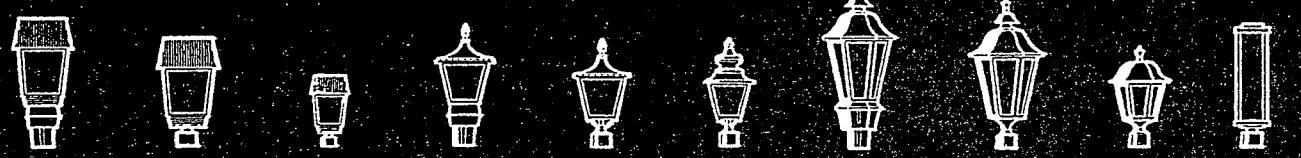
Model	18308P	18708P	67348P	6730PL	47328P	4730PL	7130PL	8330PL	8130PL	4330PL	7730PL
Page	F7	F7	F3	F23	F25	F25	F25	F26	F26	F23	F26



Model	64348P	6430PL	4030PL	60348P	6030PL	3030PL	84328P	8430PL	84371B	6530PL
Page	F23	F23	F23	F23	F23	F23	F17	F25	F18	F22



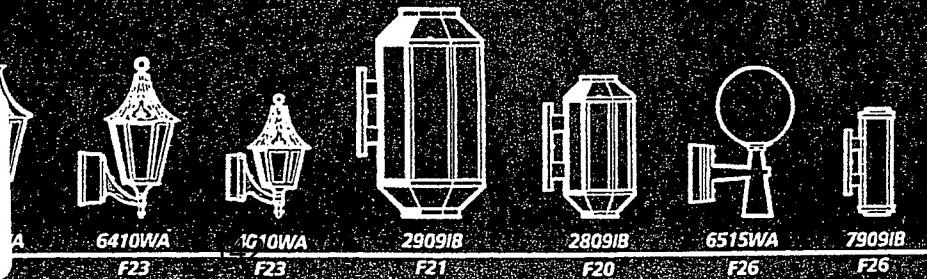
Model	12308P	7330PL	73398P	6830PL	72398P	7230PL	2730PL	29308P	28308P
Page	F2	F25	F11	F13	F12	F25	F8	F21	F20



Model	51328P	5130PL	5430PL	59328P	5930PL	7530PL	55348P	5530PL	4130PL	7930PL
Page	F19	F24	F24	F24	F24	F26	F16	F24	F24	F26



Model	4510WA	51151B	54151B	3010WA	7710WA	4110WA	4310WA	8310WA	8110WA	5510WA
Page	F24	F24	F24	F23	F26	F24	F23	F26	F26	F24



# Hanover® Commercial Lighting

## POSTS/CAST SQUARE BASE

327-12'  
327-10'  
327-9'  
327-8'

3"-4" dia.  
tapered post

8'

347-9'  
347-8'  
347-7'

Colonial  
Aluminum  
Post

337-12'  
337-10'  
337-9'  
337-8'  
4" dia.  
post

387-10'  
387-9'  
387-8'  
387-7'  
387-6'  
3" dia.  
post

8'

380-6' 7"

3"-5" dia.  
fluted  
tapered  
post

6' 7"

11 1/2"

29"

12 1/2" sq.

DISCONTINUED

7" dia.

383-6' 6"

3"-5 1/8" sq.  
tapered  
post

6' 6"

11 1/2"

397-10'  
397-9'  
397-8'  
397-7'  
397-6'

3" dia.  
post

8'

367-12'  
367-10'  
367-9'  
367-8'  
4" dia.  
post

377-11'  
377-10'  
377-9'  
377-8'  
3"-4"  
tapered  
post

# Hanover® Commercial Lighting

## POSTS/CAST HEX BASE

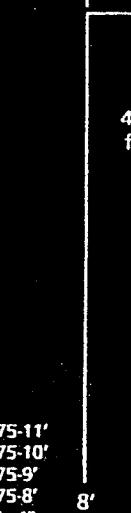
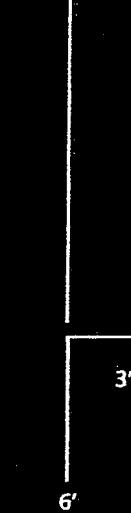
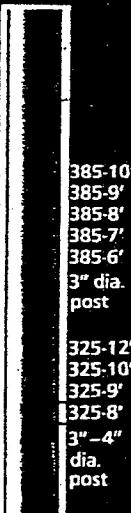
335-12'  
335-10'  
335-9'  
335-8'

345-9'  
345-8'  
345-7'

395-10'  
395-9'  
395-8'  
395-7'  
395-6'

765-12'  
765-10'  
765-9'  
765-8'

3" dia.  
tenon



8'

8'

6'

8'

30 $\frac{3}{4}$ "

13 $\frac{1}{4}$ "

16"

15 $\frac{1}{4}$ "

13 $\frac{1}{4}$ "

12 $\frac{1}{8}$ "

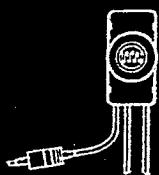
DISCONTINUED

7" dia.

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# Hanover® Commercial Lighting

## ACCESSORIES



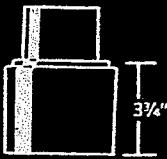
**NO. 10**  
Installed.  
Photo-electric cell.  
Dusk to dawn lighting.  
120 volt, 1000 watt.



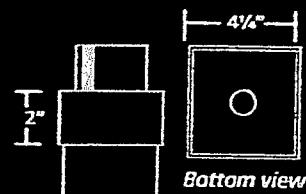
**NO. 11**  
Installed.  
Photo-electric cell.  
Dusk to dawn lighting.  
277 volt, 1000 watt.  
208, 240, 277 volt,  
1000 watt.



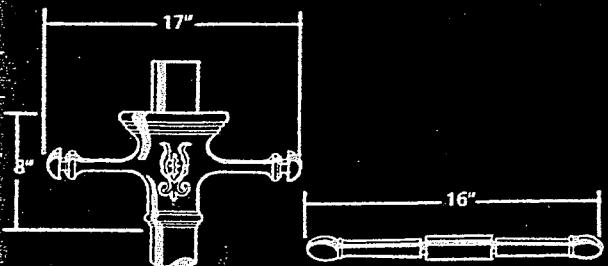
**NO. 12**  
Installed.  
Convenience outlet  
post mount.  
Consult factory.



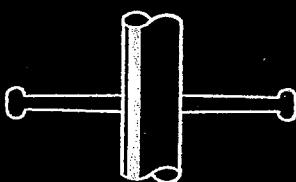
**NO. 21**  
4" X 3" Post top tenon.  
Converts 4" O.D. to 3" O.D.



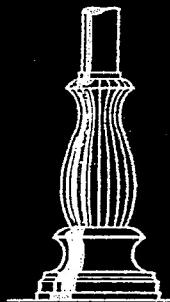
**NO. 24**  
Post top tenon  
for 4" sq. post.  
Cast aluminum.  
Converts 4" sq. to 3" O.D.



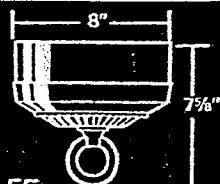
**NO. 27**  
Large post top tenon &  
ladder rest.  
For 3" O.D. post.



**NO. 29-3** 3" post  
**29-4** 4" post  
as shown  
Consists of two cast 7/4" aluminum arms, including 20 solid steel threaded rods for installation. 3/4" thru hole required.



**NO. 30**  
Cast aluminum base.  
Slips over 3" dia. post.  
10" sq. base. For use  
with No. 350, 351, 352,  
355 & 357 only. H. 18"

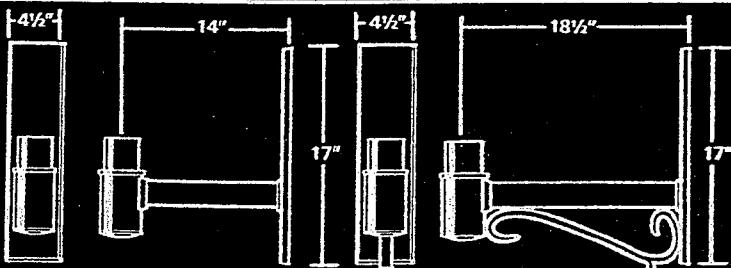


**NO. 55**  
H.I.D. ceiling canopy  
converts chain suspended  
incandescent fixture to  
mercury vapor or high  
pressure sodium.  
See order sample  
No. 55 on reverse.

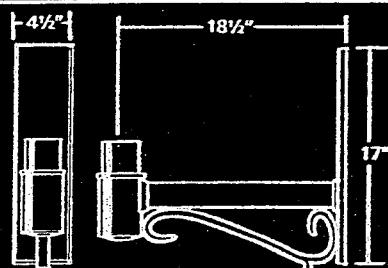


**NO. 140-3**  
Cast aluminum  
wrap around base  
10 1/2" dia. base. H. 26"  
For use with any 3" O.D.  
Direct burial post.

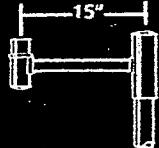
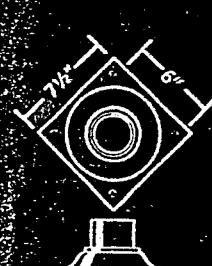
**NO. 140-4**  
Same as above  
Use with 4" O.D.  
Post.



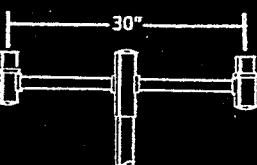
**NO. 235**  
Single lantern wall  
bracket. For use with  
post lantern. All  
aluminum construction.



**NO. 235S**  
Single lantern wall  
bracket. For use with  
post lantern. All  
aluminum construction.



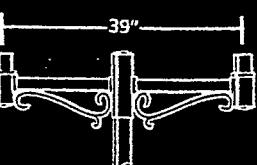
**NO. 501**  
Single lantern post  
bracket. For 3" heavy  
wall post.



**NO. 502**  
Double lantern post  
bracket. For 3" heavy  
post. All aluminum  
construction.



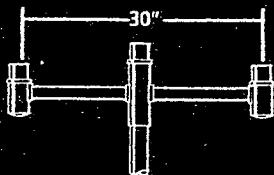
**NO. 501S**  
with scroll



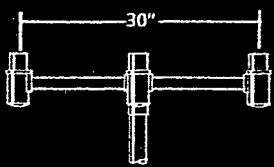
**NO. 502S**  
502 with scrolls.

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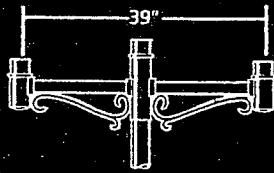
## ACCESSORIES



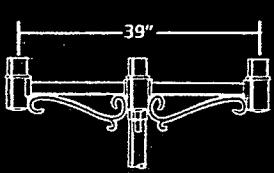
**NO. 503**  
Triple lantern post  
bracket. For 3" heavy  
wall post. All  
aluminum construction.



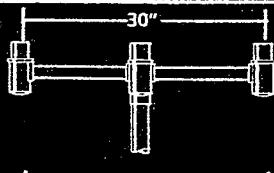
**NO. 504**  
Four lantern post  
bracket. For 3" heavy  
wall post. All  
aluminum construction.



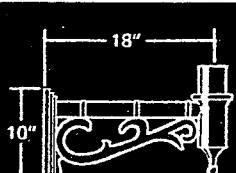
**NO. 503S**  
503 with scrolls.



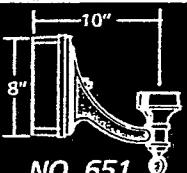
**NO. 504S**  
504 with scrolls.



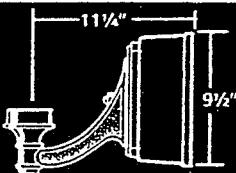
**NO. 505**  
Five lantern post  
bracket. For 3" heavy  
wall post. All  
aluminum construction.



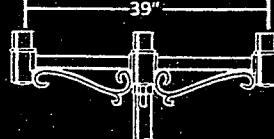
**NO. 535S**  
Wall bracket with  
3" O.D. fitter.  
4 1/2" W. Wallplate



**NO. 651**  
Small H.I.D. wall  
adapter for post  
fixture with 3" fitter.  
4 7/16" W. Wallplate  
See order sample  
NO. 651 below



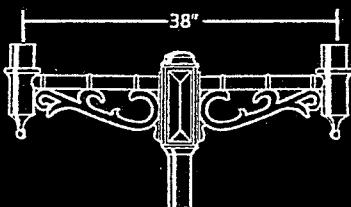
**NO. 652**  
Large H.I.D. wall adapter for  
post fixture with 3" fitter.  
6" W. Wallplate  
See order sample  
NO. 652 below



**NO. 505S**  
505 with scrolls



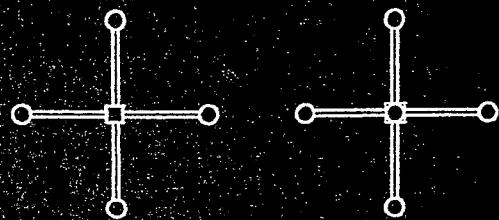
**NO. 551S**  
One lantern post top  
arm assembly, with  
3" fitter.



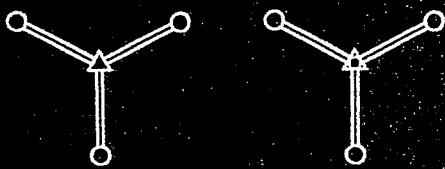
**NO. 552S**  
Two lantern post top  
arm assembly, with  
3" fitter.



**NO. 553S**  
Three lantern post top  
arm assembly, with  
3" fitter.



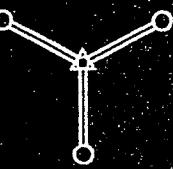
**NO. 554S**  
Four lantern post top  
arm assembly, with  
3" fitter.



**NO. 563S**  
Three lantern post top  
arm assembly, with  
3" fitter.



**NO. 555S**  
Five lantern post top  
arm assembly, with  
3" fitter.



**NO. 564S**  
Four lantern post top  
arm assembly, with  
3" fitter.

Additional ordering information for:

**NO. 55**

Mercury Vapor, Sodium  
High Pressure Sodium  
Wattage (W) — 35, 50, 70, 100, 150  
Voltage (V) — 120 only  
Finish (see page F23-1)

**NO. 651**

Mercury Vapor, Sodium  
High Pressure Sodium  
Wall Adaptor  
Finish (see page F23-1)  
Wattage (W) — 35, 50, 70, 100  
Voltage (V) — 120 only  
H.P.

**NO. 652**

H.I.D. (MV) — Mercury Vapor, Sodium  
Wall Adaptor  
Finish (see page F23-1)  
Wattage (W) — 35, 50, 70, 100  
Voltage (V) — 120 only  
H.P.

# Hanover® Commercial Lighting

## CONVERSION CHARTS

### Footcandle/Wattage

USE MULTIPLIER TO CONVERT LUMENS WATTAGE TO			MERCURY VAPOR					HIGH PRESSURE SODIUM						METAL HALIDE		
			50	75	100	175	250	35	50	70	100	150	250	100	175	250
MERCURY VAPOR	1575	50	1.00	1.78	2.67	5.46	7.68	1.43	2.54	3.68	6.03	10.16	17.46	5.40	8.89	13.02
MERCURY VAPOR	2800	75	.56	1.00	1.50	3.07	4.32	.80	1.43	2.07	3.39	5.71	9.82	3.04	5.00	7.32
MERCURY VAPOR	4200	100	.38	.57	1.00	2.05	2.88	.54	.95	1.38	2.26	3.81	6.55	2.02	3.33	4.88
MERCURY VAPOR	8600	175	.18	.33	.49	1.00	1.41	.26	.47	.57	1.10	1.86	3.20	.99	1.63	2.38
MERCURY VAPOR	12,100	250	.13	.23	.35	.71	1.00	.19	.33	.48	.79	1.32	2.27	.70	1.16	1.69
HIGH PRESSURE SODIUM	2250	35	.70	1.24	1.87	3.82	5.38	1.00	1.78	2.58	4.22	7.11	12.22	3.78	6.22	9.11
HIGH PRESSURE SODIUM	4000	50	.39	.70	1.05	2.15	3.03	.56	1.00	1.45	2.38	4.00	6.88	2.13	3.50	5.13
HIGH PRESSURE SODIUM	5800	70	.27	.48	.72	1.48	2.09	.39	.69	1.00	1.64	2.76	4.74	1.47	2.41	3.53
HIGH PRESSURE SODIUM	9500	100	.17	.29	.44	.91	1.27	.24	.42	.51	1.00	1.68	2.89	.89	1.47	2.16
HIGH PRESSURE SODIUM	16,000	150	.10	.18	.26	.54	.76	.14	.25	.36	.59	1.00	1.72	.53	.88	1.28
HIGH PRESSURE SODIUM	27,500	250	.06	.10	.15	.31	.44	.08	.15	.21	.35	.58	1.00	.31	.51	.75
METAL HALIDE	8500	100	.19	.33	.49	1.01	1.42	.26	.47	.58	1.12	1.88	3.24	.100	1.65	2.41
METAL HALIDE	14,000	175	.11	.20	.30	.61	.86	.16	.29	.41	.68	1.14	1.96	.61	1.00	1.46
METAL HALIDE	20,500	250	.08	.14	.20	.42	.59	.11	.20	.23	.46	.78	1.34	.41	.68	1.00

Expected footcandle levels may vary through conversion.

### Mounting Height Conversion Multiplier

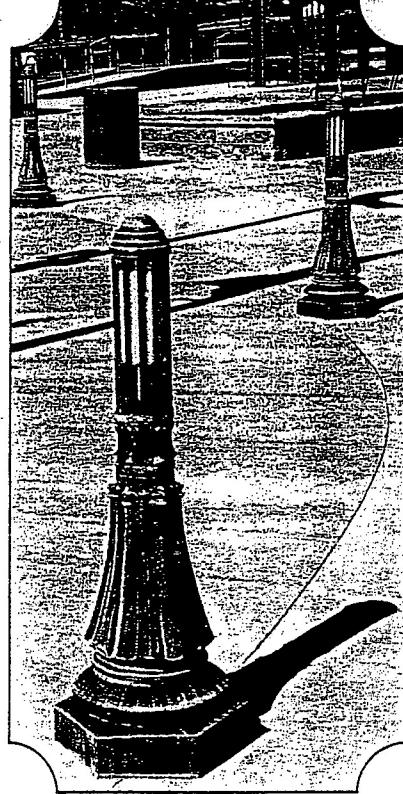
USE MULTIPLIER TO CONVERT 10'  
MOUNTING HEIGHT TO

6'	7'	8'	9'	10'	11'	12'	13'	14'	15'
2.78	2.04	1.56	1.23	1.00	.83	.69	.59	.51	.44



**RICHMOND LIGHTED BOLLARD**

3901-LB Shown here in Verde Green, this elegant bollard matches the design of our 3900 and 4900 poles and has the same rugged construction. The 3901-LB has an 11½" dia. base with an overall height of 43". This and all Sternberg bollards may also be ordered unlighted.



**GEOGETOWN BOLLARD**

4401-DLB Has historic hex post base design and decorations, rugged deep fluted 5" dia. shaft, .250 to .500 wall castings with .875 floor, inside anchor bolts, one piece construction, Alzak reflector and more. Shown here in vintage Verde Green at a commuter rail station, this unit scales 18" dia. base by 47" high and can be spec'd up to 60" high.

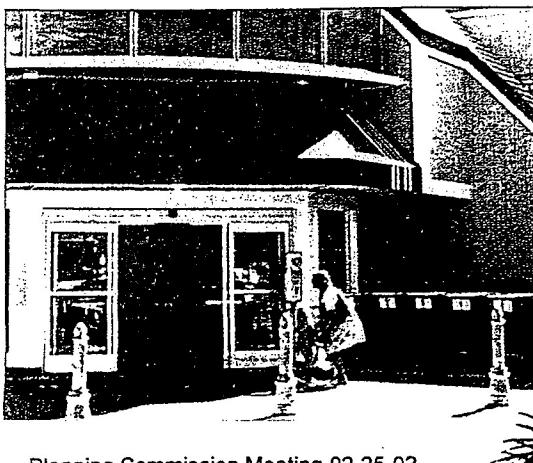


**DENVER BOLLARD**

4401-LB Shown here in Architectural Medium Bronze, it features an authentic hex post base design, tough deep fluted 5" dia. shaft, heavy wall castings with .875 floor, inside anchor bolts, one piece construction and Alzak reflector. This elegant unit scales 18" dia. base by 42" high and can be spec'd from 32" to 60" H.

All Sternberg lighted bollards have our white acrylic or polycarbonate lens recessed in the flutes to provide excellent light transmission yet are muted during daylight.

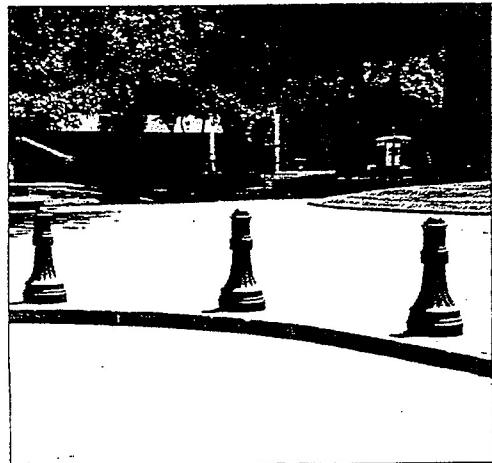
Light sources range up to 75w mercury vapor or 35, 50, 70w high pressure sodium or metal halide. Various wattages of PL lamps are available for warm climates. May also be spec'd for incandescent lamping. See page 77 for Bollard Photometrics.



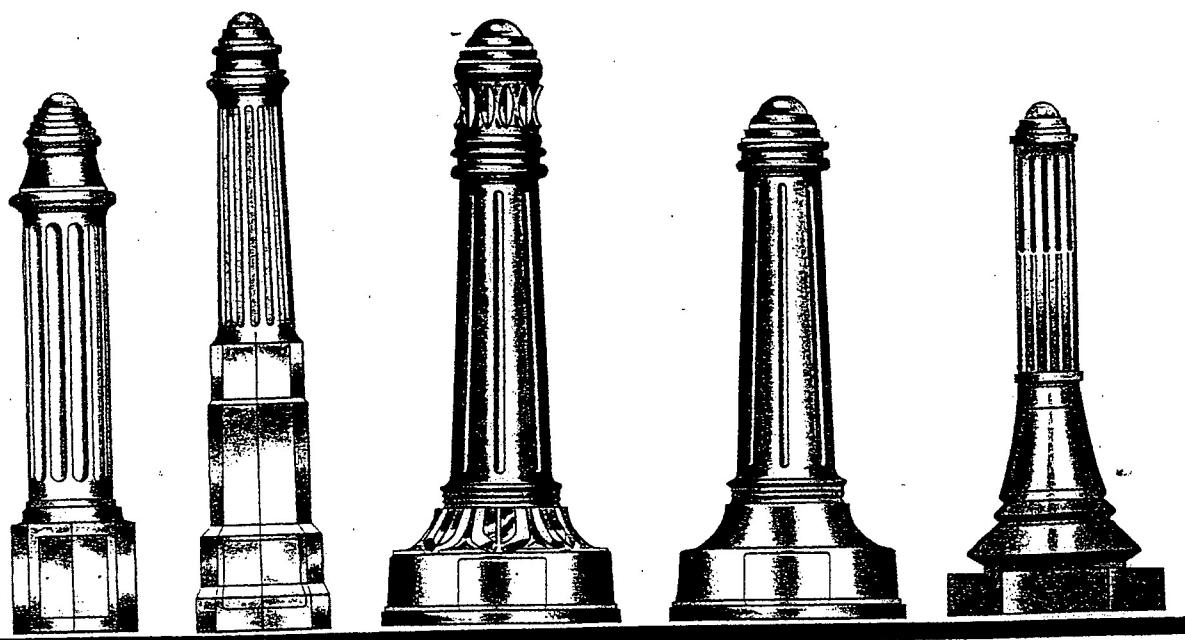
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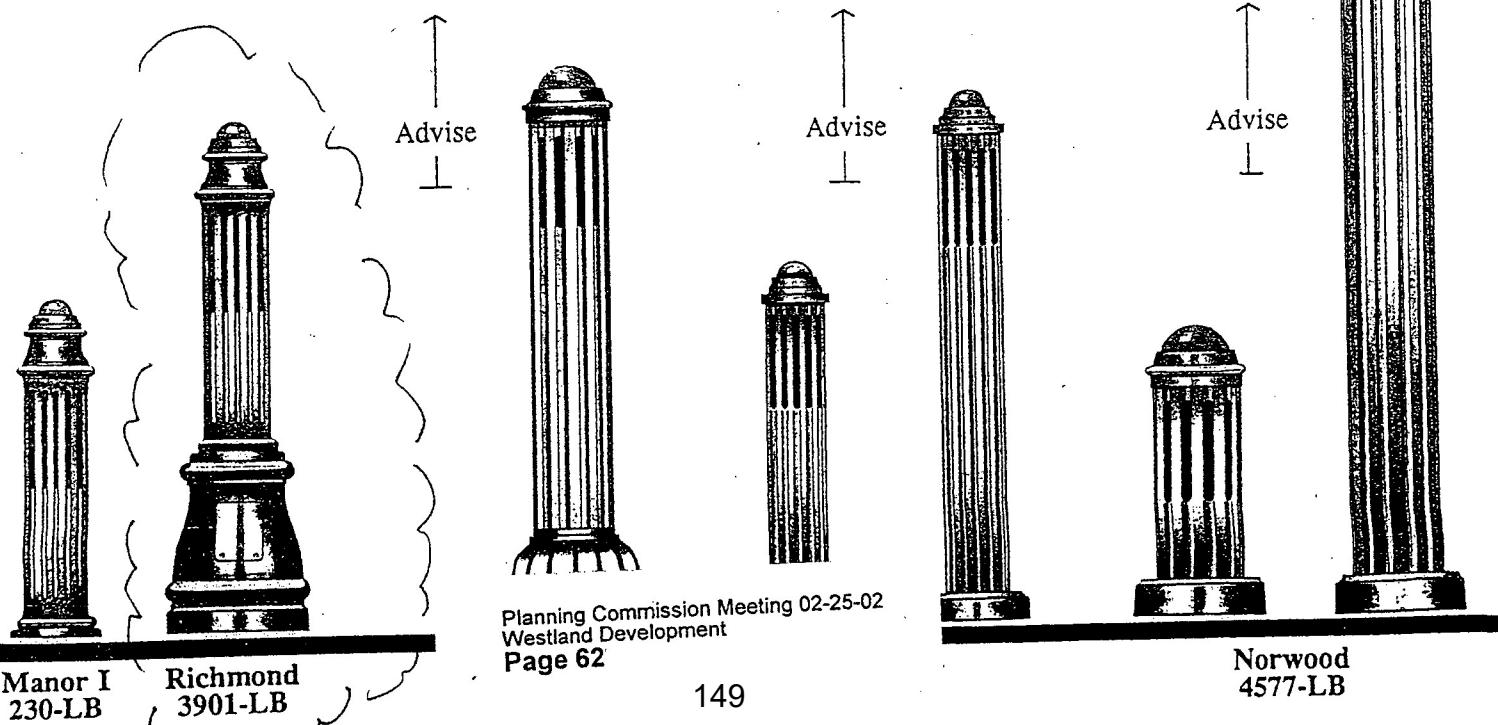
Lighted Lincoln bollards are used at a commuter rail station to control the flow of traffic and supply supplementary lighting. (#2501-LB)



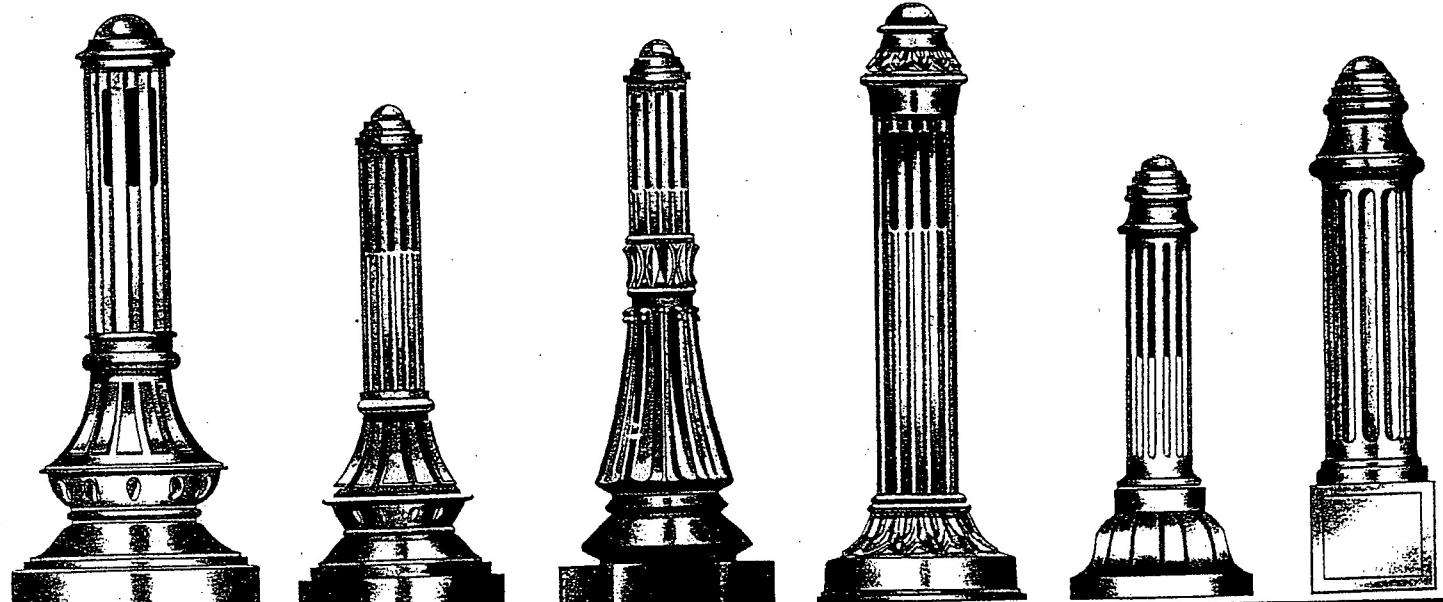
A line of Oxford (#6201) bollards with our quick release feature, separate the pedestrian and vehicle traffic both visually and physically, without impeding movement.

Geneva  
8701Springfield  
4801Scottsdale  
5801-DBoston  
5801Denver  
4401-LB

The MILFORD, PARKSIDE and NORWOOD bollards may be specified in any height needed. See specification chart at left for minimum and maximum heights.



# 44 ORNAMENTAL BOLLARDS



Barrington  
5201-LB

Augusta  
4201-LB

Georgetown  
4401-DLB

Kenilworth  
5701-DLB

Leesburg  
3801-LB

Austin  
4701

## BOLLARD SPECIFICATIONS

MODEL NUMBER	LIGHTED UNLIGHTED	SHAFT O.D.	WALL THICKNESS	BASE DIA.	WALL FLOOR THICKNESS	OVERALL HEIGHT ABOVE GRADE
5201-LB	L/U	5"-7"	.188	20"	1.00	50"
4201-LB	L/U	5"	.188	17"	.250/.750	42**
4401-DLB	L/U	5"	.188	18"	.250/.875	47**
5701-DLB	L/U	7"	.188	17 $\frac{1}{4}$ "	.250/.750	50**
3801-LB	L/U	5 $\frac{1}{4}$ "	.188/.250	15"	.250/.875	37"
4701	L/U	7"	.250	10"sq.	1.00	45"
8701	L/U	7"	.250	11"oct.	.250/1.00	45"
4801	L/U	5"-7"	.250	10 $\frac{1}{4}$ "oct.	.250/.750	51"
5801-D	L/U	5"-7"	.188	17 $\frac{1}{4}$ "	.250/.750	44"
5801	L/U	5"-7"	.188	17 $\frac{1}{4}$ "	.250/.750	38"
4401-LB	L/U	5"	.188	18"	.250/.875	42**
700-LB	L	7"sq.	.188-.250	7"sq.	1.00	48**
702-LB	L	7"sq.	.188-.250	7"sq.	1.00	48**
230-LB	L/U	5 $\frac{1}{4}$ "	.188/.250	7 $\frac{1}{4}$ "	.250/.750	28"
3901-LB	L/U	5 $\frac{1}{4}$ "	.188/.250	11 $\frac{1}{4}$ "	.250/.750	42"
650-LB	L/U	7"	.188	15"	.250/.875	32"-8"
4555-LB	L/U	5"	.188	8"	.250/.625	25"-6"
4577-LB	L/U	7"	.188	10 $\frac{1}{4}$ "	.250/.750	21"-8"

\*Can vary - specify height required.

In addition to the bollards shown, almost every Stemberg pole base has a matching bollard.

All bollards are available unlighted. Simply drop the LB designation after the model number. For example - 4201-LB is lighted and 4201 is not.

Lighted and unlighted bollards are available with straight tubing instead of fluted. To order lighted and unlighted bollards with straight tubing instead of fluted, add an "S". For example - 4201-S is unlighted with straight tubing and 4201-LBS is lighted with straight tubing.

Rings and chains can be specified.

For special release feature, consult factory.

See page 77 for Bollard Photometrics.

02945 PLANTING ACCESSORIES

**Neenah Foundry**

Neenah, WI

**Cast Iron Tree Grates****Product Description, Applications**

Durable and attractive, cast iron tree grates from Neenah Foundry are the strongest, most cost-effective solution for protecting and complementing trees in urban environments. Available in a variety of shapes, sizes, designs and patterns, cast iron tree grates allow for safe pedestrian passage, with openings of 3/8" (10 mm) or less on many models.

The grates are manufactured in 2- or 4-piece sections. Cast iron angle frames are available for most models. Retrofit type grate designs allow for planting of new trees in existing paved areas without replacing concrete. Most tree grates can be made with removable, light-opening sections for installation and maintenance of subgrade lighting fixtures.

The size and weight of tree grates deter tampering. For additional security, grate halves are bolted together and can be bolted to the frames and shipped assembled. Tamper-proof bolts are also available.

In addition to tree grates, 5 styles of tree guards are available in 4', 5' and 6' (1219, 1524 and 1829 mm) heights. Tree guards are secured to tree grates with 4 concealed bolting lugs.

**Features, Advantages**

- Resistant to corrosion
- Long-term performance
- Durable; handles abuse and light traffic
- Secure: deters unauthorized removal
- Cast iron frames available for easy, accurate installation
- Expandable; accommodates tree growth
- Removable light-opening sections for subgrade lighting

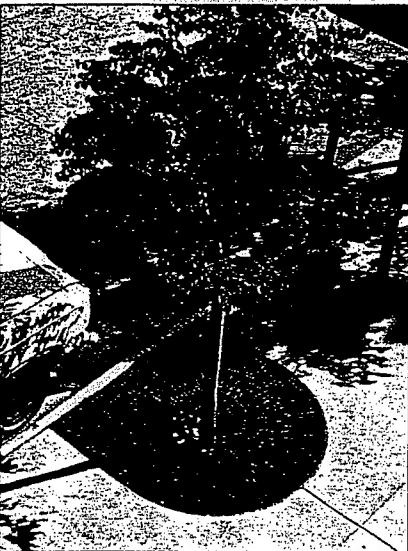
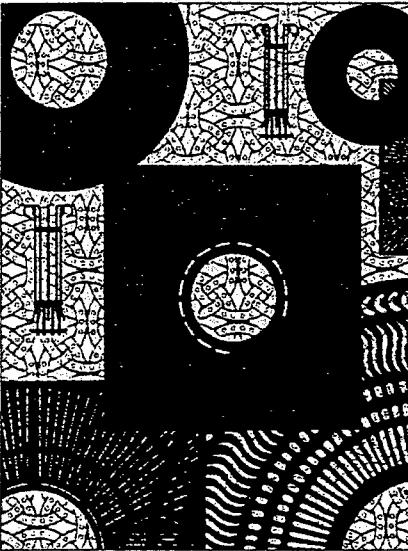
**Shapes, Sizes**

- Square - 30" - 72" (762 - 1829 mm)
- Rectangular - 36" x 48" - 54" x 59" (914 x 1219 mm - 1372 x 1499 mm)
- Round - 30" - 93" (762 - 2362 mm)
- Round/square combinations - 56" - 72" (1422 - 1829 mm)
- Multi-sided - 44 1/2" - 64" (1130 - 1626 mm)

**Construction, Materials, Finishes**

Neenah Foundry tree grates are cast from ASTM A48 Class 35 or better gray iron. Castings and component parts are of uniform quality, free of defects. They are smooth and cleaned by shotblasting.

Grates and frames come standard without paint or primer, and do not require painting for corrosion protection. The natural patina color complements trees and surrounding paved areas. A black satin, corrosion-resistant primer is available in single or multiple coats. Other customized coatings are also available when requested. Tree guards are furnished standard with 2 coats of black satin, corrosion-resistant primer.



02980 RIGID PAVEMENT REHABILITATION

**The QUIKRETE® Companies**

Atlanta, GA

**QUIKRETE® Rapid Road Repair® #1242 & Rapid-Hardening Sand Mix #1243****Product Description, Applications**

QUIKRETE® Rapid Road Repair® and Rapid-Hardening Sand Mix are fast-setting, rapid-hardening mortars designed to repair concrete highways, bridge decks, parking lots and other concrete floors. In most cases, traffic can be resumed in an hour after completing the repair.

**Materials, Finishes**

Rapid Road Repair is a Portland cement based compound with specially graded aggregates to provide a permanent patch. It also contains fibers for improved flexural performance and is cement gray in color.

Rapid-Hardening Sand Mix is of similar composition, except that it contains no fibers. It is used for repairs where cost is of paramount importance.

**Properties, Performance**

Rapid Road Repair meets the requirements of ASTM C928 Grade R3 for Rapid-Hardening Material. Rapid-Hardening Sand Mix meets the requirements of ASTM C928 Grade R1. Both products can be modified to meet specific requirements of state departments of transportation.

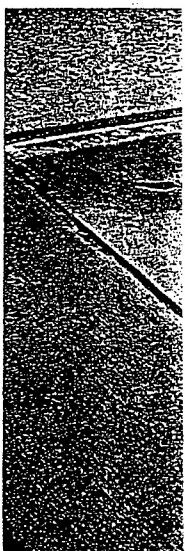
Property	Rapid Road Repair	Rapid-Hardening Sand Mix
Setting time, ASTM C191		
Initial	17 - 25 min	—
Final	25 - 45 min	30 - 45 min
Compressive strength, ASTM C109 Modified		
1 hour	3000 psi (20.7 MPa)	920 psi (6.3 MPa)
3 hours	3400 psi (23.4 MPa)	960 psi (6.6 MPa)
24 hours	5200 psi (35.9 MPa)	3030 psi (21 MPa)
7 days	8100 psi (55.9 MPa)	4315 psi (29.8 MPa)
28 days	8370 psi (57.7 MPa)	7050 psi (48.6 MPa)
Absorption, ASTM C642		
	5.1%	6.7%
Shrinkage, ASTM C157		
Wet	+0.04%	+0.05%
Dry	-0.04%	-0.05%
Freeze/thaw, ASTM C666		
	96%	106%
Scaling resistance		
ASTM C672	Excellent	Excellent

**Installation**

Manufacturer's instructions on hole preparation and cleaning, and on product mixing and placing, must be strictly followed for best results. Working time is approximately 10 - 15 minutes. No curing membranes or compounds are required.

**Contact**

(404) 634-9100  
Fax: (404) 634-9568  
[www.quikrete.com](http://www.quikrete.com)





## Bench 94

- One-piece, all-steel construction

### Materials

Seating Surface: 1" square x 13 gauge steel tubing.

Frame: 2" square x 11 gauge wall and 2" x 1" x 13 gauge wall steel tubing.

Back Panel: 1/2" thick steel.

Finish: See inside front cover for choice of polyester powder finish. (Bronze shown.)

94-60 6' long, 2 supports, 260 lbs.

\$989

94-80 8' long, 2 supports, 325 lbs.

\$1,192

### Support Options

S-1 Embedment

S-2 Surface Plate

S-5 Free-Standing

## Receptacle 17

- Companion to Model 94 bench

### Materials

Frame: 2" square x 11 gauge wall and 2" x 1" x 13 gauge wall steel tubing.

Panel: 1/2" thick steel.

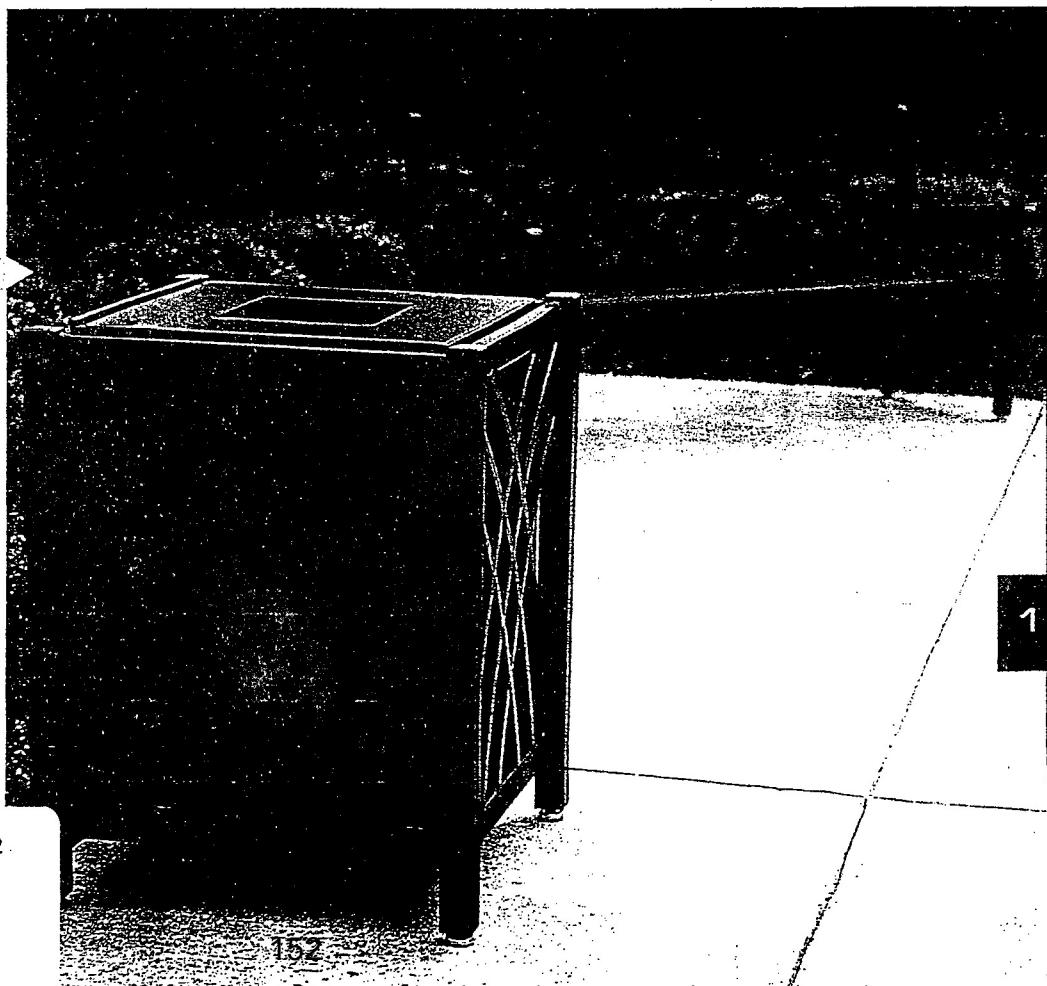
Liner: 18 gauge steel.

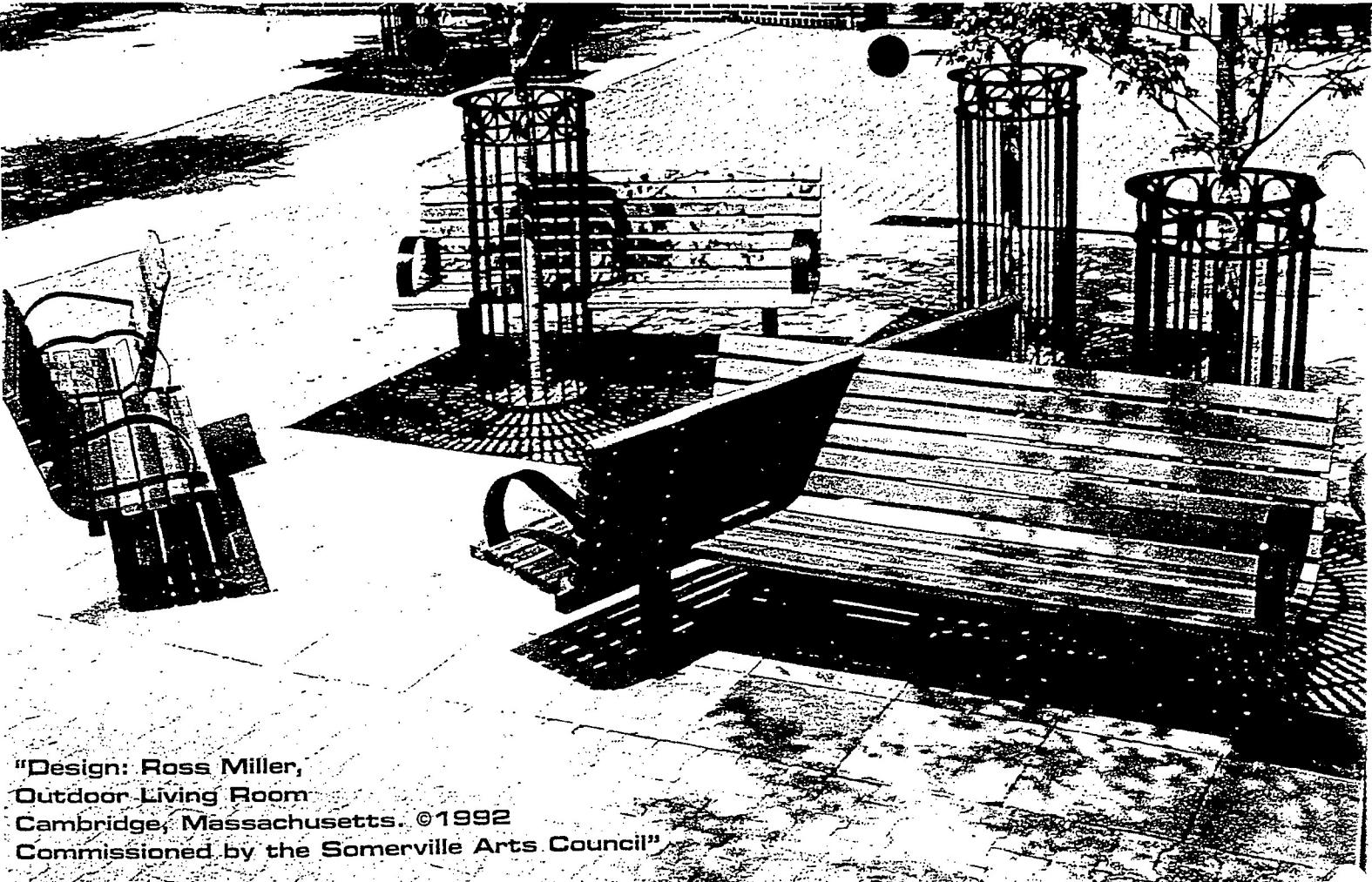
Cover: 14 gauge steel.

Liner: 22-gallon plastic.

Finish: See inside front cover for choice of polyester powder finish. (Bronze shown.)

17-00 All-steel with flat cover,  
190 lbs. \$866





**"Design: Ross Miller,  
Outdoor Living Room  
Cambridge, Massachusetts. ©1992  
Commissioned by the Somerville Arts Council"**



## **DuMor, Inc. SITE FURNISHINGS**

**PO Box 142 • Mifflintown, PA 17059-0142  
Toll Free 800-598-4018 • 717-436-2106 • 24-Hour Fax 717-436-9839  
Home Page : [www.dumor.com](http://www.dumor.com)**

## **ROSS RECREATION EQUIPMENT CO., INC.**

### **MAIN OFFICE**

555 Fifth Street  
Suite 210  
Santa Rosa, CA 95401  
707-526-4800  
Fax 707-526-0812

### **CENTRAL VALLEY OFFICE**

P.O. Box 861  
Folsom, CA 95763  
916-983-3756  
Fax 916-983-3769

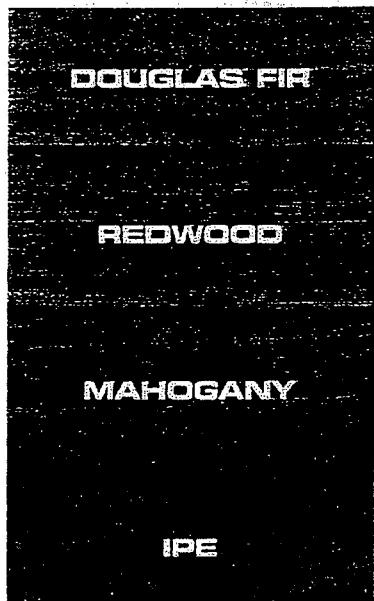
### **CENTRAL COAST OFFICE**

229 Sea Ridge Road  
Aptos, CA 95003  
408-689-9110  
Fax 408-689-9112



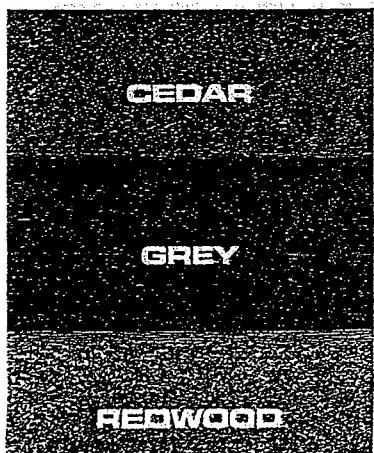
## Color Options

Most DuMor products are available in your choice of several color options of a durable baked-on polyester powder finish. Additional colors are available at an extra cost—consult your local authorized DuMor representative.



## Wood Species

DuMor has selected the highest grade woods available for use on our products. "C" & Better Douglas Fir and Clear All Heart, Free of Heart Center Redwood are offered as standard wood options. In addition, Mahogany and Ipe wood are available on selected items. Requirements for other wood species not offered are available upon special request and quoted on a per-job basis.

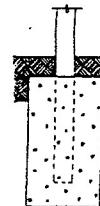


## Recycled Plastic

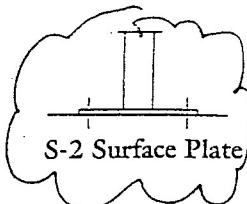
The high-density polyethylene raw material utilized in our recycled plastic furnishings is derived from post-consumer bottle waste resulting in a product that is more than 90% recycled.

## Support Options

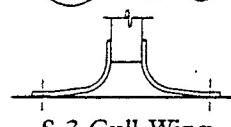
Certain site conditions may dictate the use of different supports. Throughout this catalog we have listed the support options available for each item. The configuration desired must be identified when ordering.



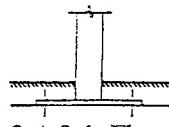
S-1 Embedment



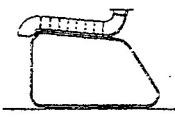
S-2 Surface Plate



S-3 Gull-Wing



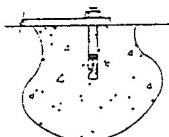
S-4 Sub-Floor



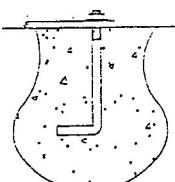
S-5 Free-Standing

## Anchor Options

Products specified with S-2, S-3, S-4, and S-5 supports are shipped with "L"-shaped anchor bolts standard. If the installation is to be made on existing concrete, expansion anchors can be substituted upon request.



Optional Expansion Anchor



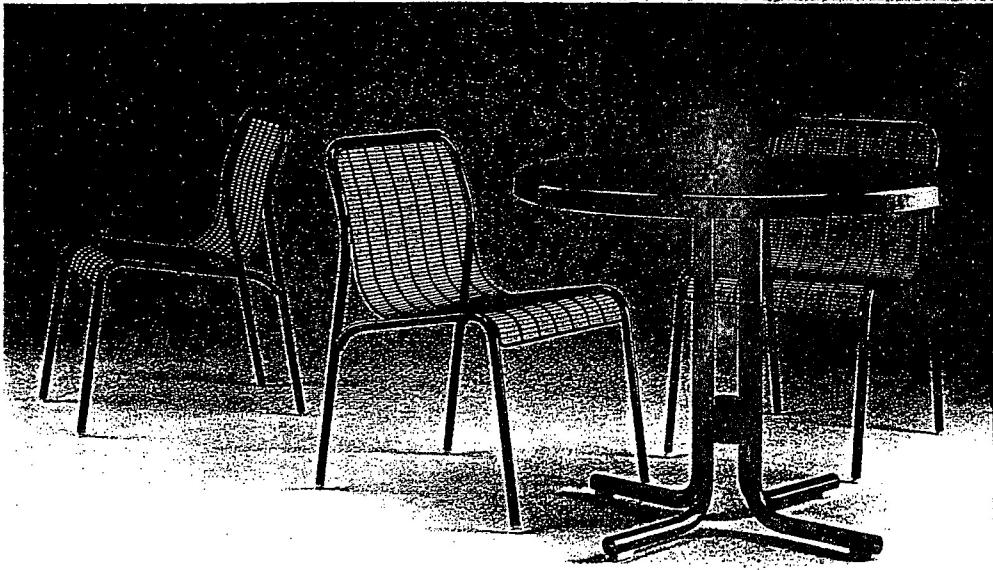
Standard  
'L'-shaped  
Anchor Bolt



▲ TR3001-BA-20. Metal grid seat with arms.  
Grotto powdercoat.



▲ TR3001-BS-20. Perforated metal seat  
without arms. Grotto powdercoat.



## DISTINCTIVE.

Traverse chairs combine beauty with structural integrity. From the slightly-splayed stance of the legs comes stability. From the intersection of graceful curves comes radiance.

## DURABLE.

Traverse chairs are solidly constructed of metal and finished with landscape forms exclusive Hangarotite powdercoat—a hard, very flexible finishing process that resists rusting, chipping, peeling and fading.

## SPECIFICATIONS.

Available with or without arms, Traverse chairs may be specified with metal grid or perforated metal seat. Standard powdercoat colors are offered along with a selection of optional colors.

Traverse chairs are constructed with a 7/8" tubular steel frame. Seat width: 20". Depth: 24". Back height: 30". Seat height: 17 1/2".

To specify: Select model number and powdercoat color. Select metal grid or perforated metal seat.

Specifications subject to change without notice.  
Traverse chairs are manufactured in the U.S.A.

© Landscape Forms, Inc. LFI-TC-24

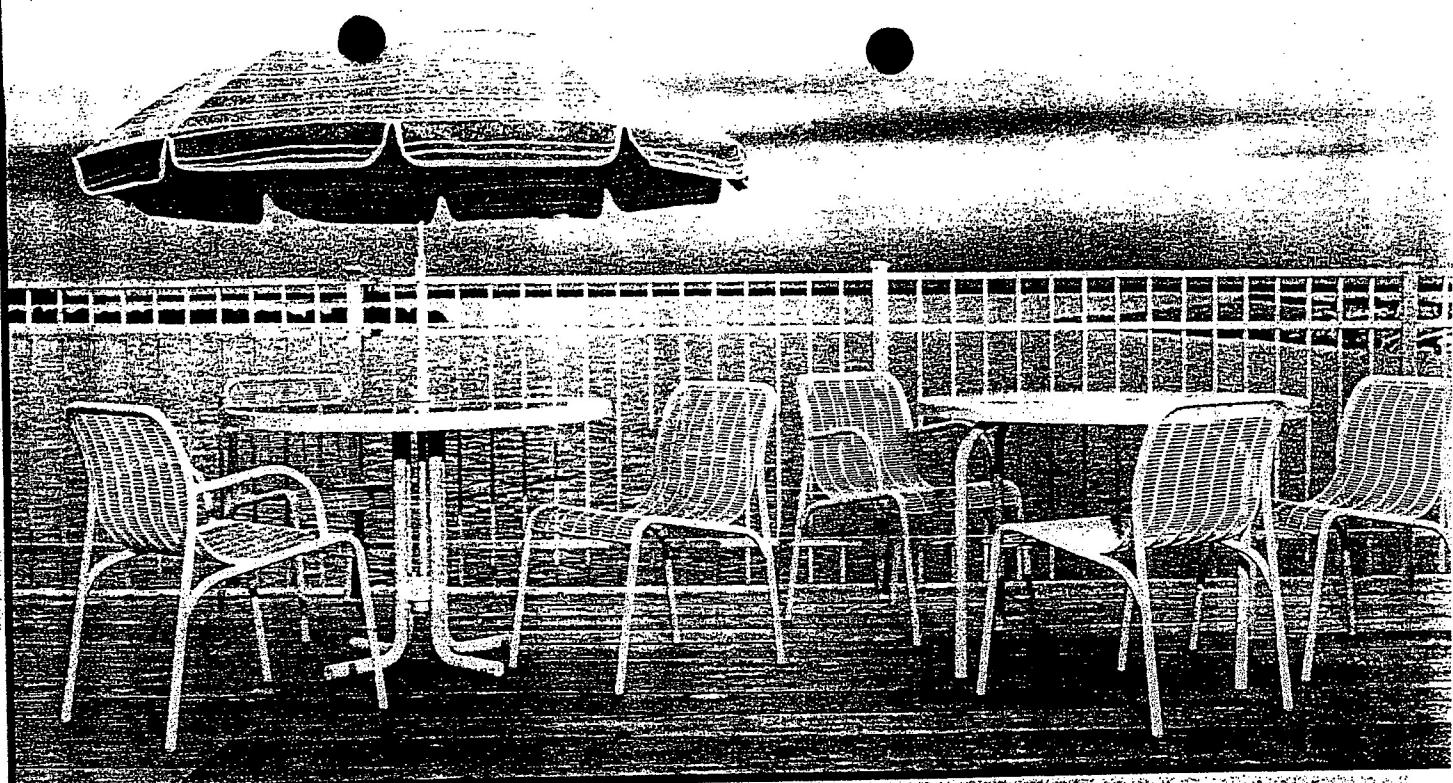
Printed in U.S.A.



LANDSCAPE FORMS, INC.

151 Lawndale Avenue | Glen Arbor, MI 49001

PH: 800/521-2567/F: 616/835-4555



Tables: AA4002-36 table top with umbrella hole and XQ-FM support in Ivory. AA4002-36 table top and XQ-FE support in Ivory. Chairs: Traverse.

## TRUE TO FORM AND FUNCTION: TABLES FROM LANDSCAPE FORMS, INC.

### DISTINCTIVE

Landscape Forms' Tables provide years of beauty in public spaces. Choose table top, support style and finish color to coordinate with other design elements. Combine Tables with any of our tastefully designed chairs to create a cafe look.

### DURABLE

Fiberglass table tops are rich in color that resists fading and will not chip away. Steelhead table tops are constructed of heavy gauge metal, reinforced with steel channels beneath and surrounded by a 1-1/2" metal tubing. Table supports are constructed of metal. All metal parts are finished with Landscape Forms' Pangard II® powdercoat—a hard yet flexible coating that resists rusting, chipping, peeling, abrasion and fading.

### DIVERSIFIED

Round and square fiberglass table tops are offered in a selection of sizes. Steelhead table tops are offered in two sizes. Supports are offered in several styles providing a mounting choice: embedded, free-standing or surface mounted. Several standard fiberglass colors are offered along with a large palette of optional colors. Polished granite or orange peel finish may be specified for fiberglass. Pangard II® powdercoat is offered in a selection of standard colors and a variety of optional colors.

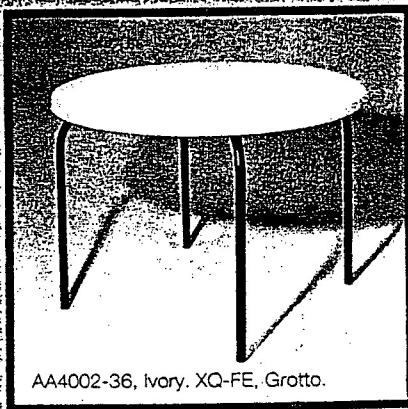
Tables: SH4000-42

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Westland Development

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## SPECIFICATIONS



AA4002-36, Ivory, XQ-FE, Grotto.



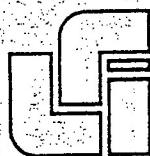
SH4002-36, XA-EM, Grotto.



SH4002-36, XQ-FM, Grotto.

Specifications subject to change without notice.  
Tables are manufactured in the U.S.A.

© Landscape Forms, Inc. L409-92  
Printed in U.S.A. on recycled paper.



**Sizes.** All tables are 29" high. Steelhead table tops are offered in 36" and 42" diameters. Round fiberglass table tops are offered in 30", 36" and 42" diameters. Square fiberglass table tops may be specified in 30" and 36" squares.

**Supports.** There are three basic support types: center pedestal, four legs center mounted and four legs edge mounted. The center pedestal may be free-standing, embedded or surface mounted. The four legs center mounted may be free-standing or surface mounted. The four legs edge mounted is free-standing only.

**Materials and Finishes.** Steelhead table tops are heavy gauge steel with a 1 1/2" diameter tube frame, reinforced with steel channels beneath. All metal parts are finished with Landscape Forms' Pancard II® powdercoat finish which is applied then baked. Fiberglass table tops are smooth-rolled reinforced fiberglass laminate. Solid orthophthalic polyester gel coat of uniform color and texture is molded onto every exposed surface to assure that the color resists fading and won't chip away.

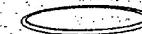
**Colors.** Powdercoat and fiberglass are available in a selection of standard colors and a wide range of optional colors. Polished granite, fiberglass colors and orange peeling finish are available for table tops.

**Umbrellas.** Tables are available with an umbrella hole and holder. This option must be specified at time of order. Umbrellas are available through Landscape Forms. Umbrella hole and holder not available with XQ-FE support.

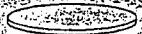
**To Specify.** Select table top type, size and color. Select support type and color.

**Select Options.** Umbrella hole, umbrella.

### Table Tops:



Steelhead  
Choose diameter:  
SH4002-36" dia.  
SH4002-42" dia.

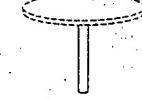


Fiberglass  
Choose diameter:  
AA4002-30" dia.  
AA4002-36" dia.  
AA4002-42" dia.

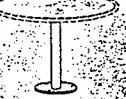


Fiberglass  
Choose size:  
AA4001-30" sq.  
AA4001-36" sq.

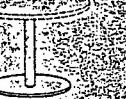
### Supports:



XA-EM  
Center Pedestal,  
Embedded



XA-SM  
Center Pedestal  
Surface Mounted



XA-FM  
Center Pedestal  
Free Standing



XQ-FE  
Four Legs  
Edge Mounted  
Free Standing



XQ-FM, XQ-SM  
Four Legs  
Center Mounted  
Free Standing  
Surface Mounted

POOR ORIGIN

Landscape Forms, Inc.

431 Lawndale Avenue

Kalamazoo, MI 49001

FX: 616/381-3455

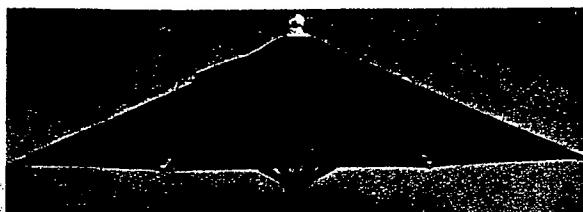
PH: 800/521-2546

TRUE

FORM

AND FUNCTION. UMBRELLAS FROM

LANDSCAPE FORMS, INC.



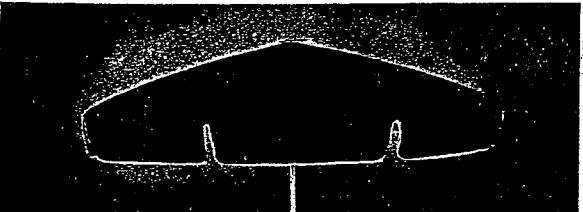
▲ Market Place (also featured on cover). Color: 18Y.



▲ Morgan with valance and vent. Color: 02Y.

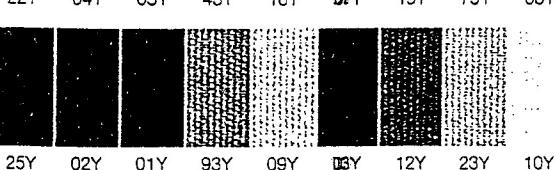
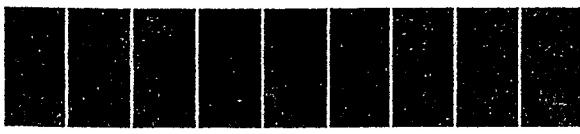


▲ Morgan no valance, with vent. Colors: 02Y, 10Y.

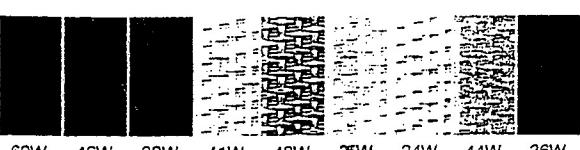
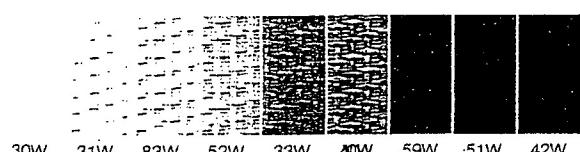


▲ Bistro. Color: 07Y.

Sunbrella Colors (Colors approximate; subject to change without notice.)



Shade Plus Colors (Colors approximate; subject to change without notice.)



#### MARKET PLACE. Steer-torsion valance.

Solid oak framework, brass accents and silver trim combine to make Market Place beautiful and strong. It features bush-top opening. Market Place umbrellas 3' x 7' to 8' x 12' sizes and larger must be secured in surface-mounted foot base. Smaller sizes must be mounted to table support.

Options: select wood number and style number.

UM7001-MK-36-12: 3' x 7' Market Place.

UM7001-MK-48-12: 4' x 8' Market Place.

UM7001-MK-60-12: 5' x 12' Market Place.

UM7001-MK-72-12: 6' x 12' Market Place.

#### BISTRO & MORGAN. May be specified with

a single color or alternating colors. Both feature push-up opening. Double-wall metal pole. Bistro and Morgan must be mounted to table support. Must be closed when wind gusts exceed 30 mph. Bistro is 6" in diameter. Features a single V-cut valance. Has a two-piece metal pole. Select model # UM7002-BR-72, specify color(s). Morgan is 7" in diameter. Air vent: one-piece metal pole. Standard. Select model # UM7002-MG-90. Specify double V-cut valance or no valance, color(s).

#### MATERIALS. Sunbrella fabric is 100% solution

dyed fiber. It has a high degree of fade resistance. It is mildew-proof for use inside or out. Shade Plus is PVC-coated, woven mesh polyester treated with a fungicide and ultra-violet light stabilized for fade resistance.

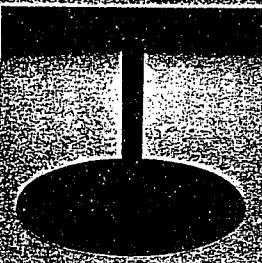
#### CARE. Lower umbrellas at night and in windy conditions.

Rinse umbrellas frequently with hose; dry thoroughly before closing. Wash periodically with mild detergent. Apply car wax to pole to prevent oxidation and assure smooth opening/closing. Umbrellas are not designed to withstand heavy snow fall, wind or rain.

Specifications subject to change without notice.

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PL405-94 Printed in U.S.A.



**POOR CRICKET**

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# Color Chart

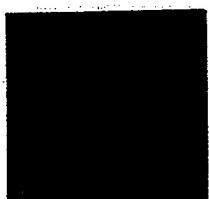
## STANDARD COLOR SELECTOR CHART

Our standard color selection is presented below. For optional color information, contact Landscape Forms at 800/521-2546.

**METAL** Finished with Pangard II® Polyester Powdercoat, a hard, yet flexible finish that resists rusting, chipping, peeling and fading.



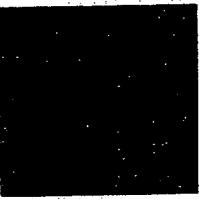
Grotto



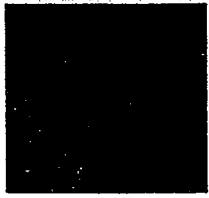
Hollyberry



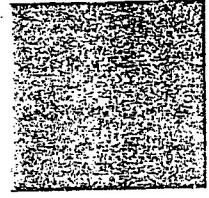
Frost



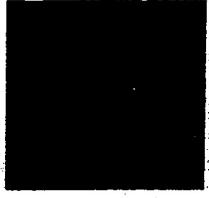
Ivy



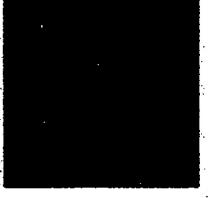
Driftwood



Stormcloud



Buttercup



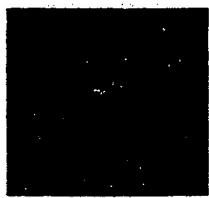
Caribbean



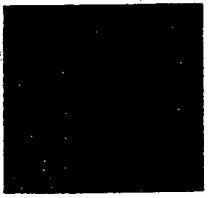
Cranberry

Aqua

**FIBERGLASS** The color is an integral part of the finish and will not wear or chip away. Matte finish is standard. Orange peel finish is offered for all solid colors. Polished granite finish incorporates actual quarry granite into the gel coat. This finish leaves no open pores, allowing for ease of cleaning.



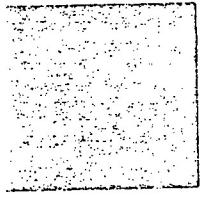
Grotto



Teal



Dove



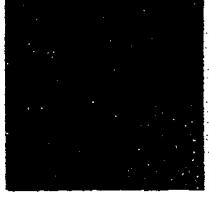
Putty



Stormcloud



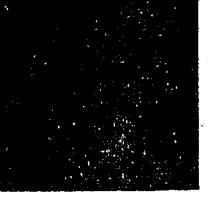
Cranberry



Wedgewood



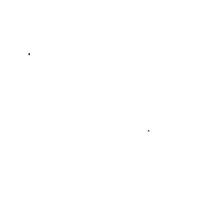
Ivy



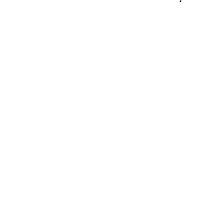
Aqua



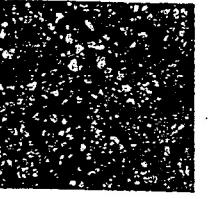
Fjord



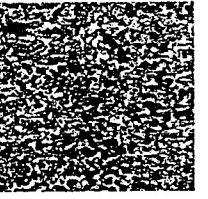
Ivory



Frost



Ebony Granite



Eggshell Granite

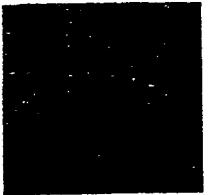
## POLYSITE™

Recycled 100% High Density Polyethylene.

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Westland Development

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Gray



Landscape Forms, Inc.

431 Lawndale Ave.

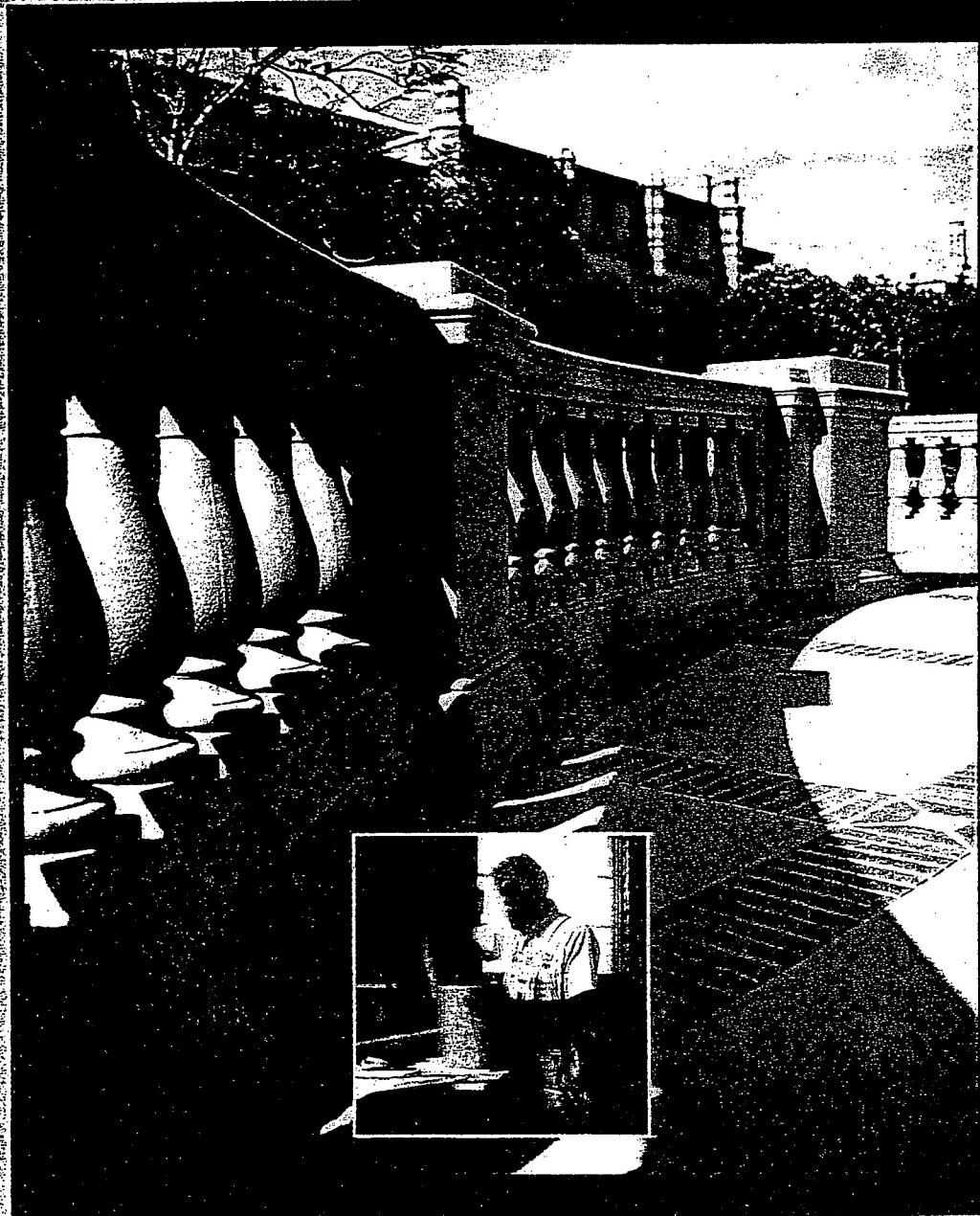
Kalamazoo, MI 49001

FX: 616/381-3455

PH: 800/521-2546

DURA  
ART  
STONE

Western Art Stone/Duracast



Wooden Center, UCLA Campus, Jere M. Hazlett & Associates, Landscape Architect

**CATALOG  
PRODUCTS**

- Planters
- Trash Receptacles
- Asp. Urns
- Picnic Tables
- Benches
- Barbecues
- Parking Bollards
- Eight Bollards
- Hillside Retainers
- Treegrates
- Newsstands

**CUSTOM  
PRODUCTS**

- Fountains
- Balustrade
- Coping
- Finials
- Columns
- Capitals
- Mantels
- Gargoyles
- Ornamental Fencing
- Signage

**ARCHITECTURAL LANDSCAPE FURNISHINGS**

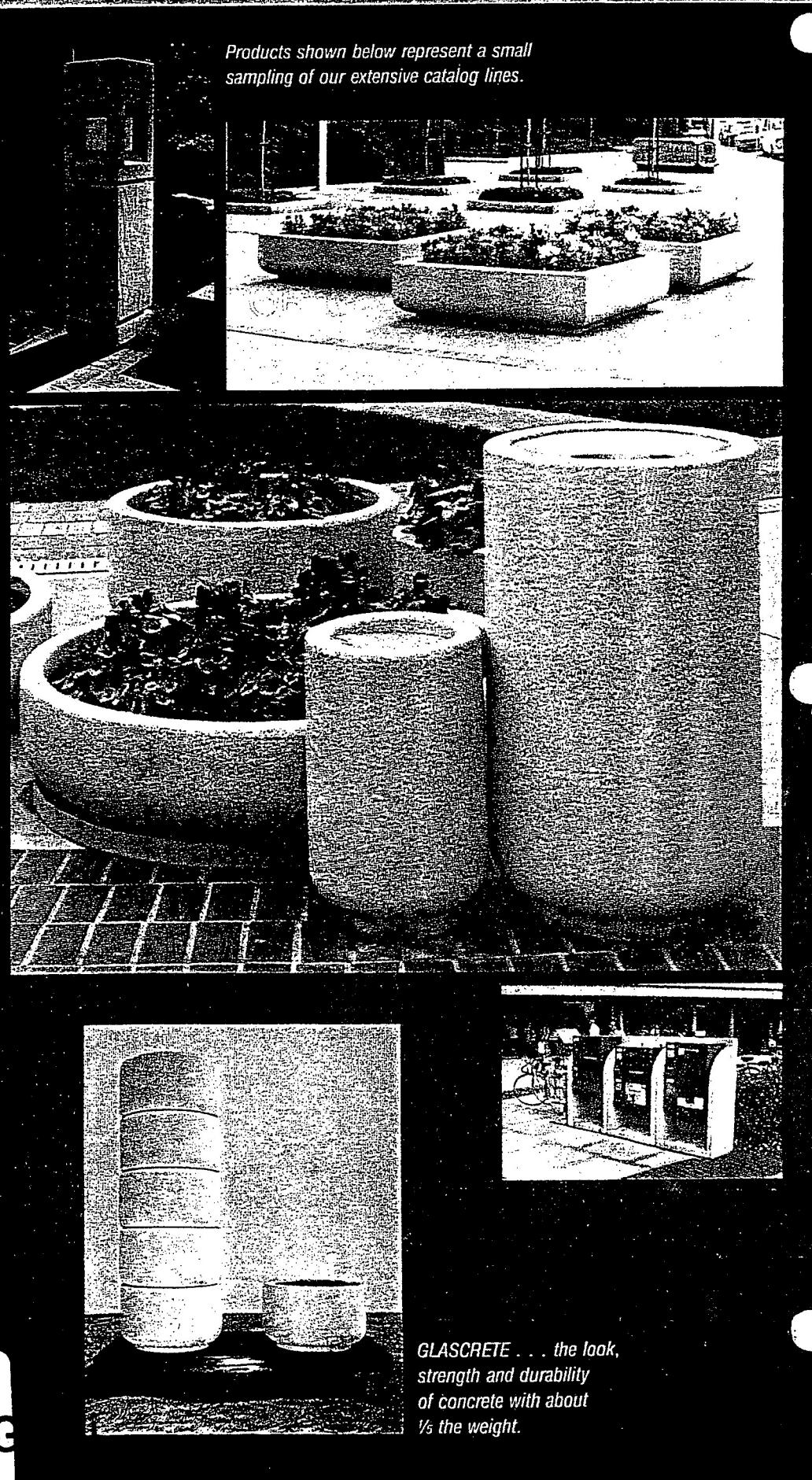
## CATALOG PRODUCTS

Our objective in the development and evolution of our cataloged landscape furnishings has been the ability to offer maximum selection in sizes and shapes. That selection now exceeds 1,000 items and continues to grow.

Product development is a high corporate priority and we are consistently striving to meet your expanding project needs — interior or exterior, public or private.

Please call or write for complete product information.

*Products shown below represent a small sampling of our extensive catalog lines.*



## THE MEDIUMS

**CAST STONE/PRECAST CONCRETE:** A mixture of cement, aggregates and mineral colors are combined and reinforced with steel to produce landscape furnishings of strength and durability.

**GLASCRETE:** A simulated concrete where a lightweight resin, small aggregates and fiberglass are combined to offer the concrete look without the concrete weight.

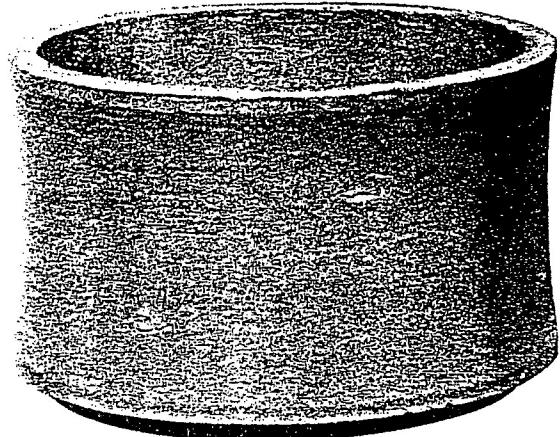
**FIBERGLASS:** An application in planters where gelcoat and fiberglass laminates are combined to produce smooth and textured designs of ultimate quality.

There is no one material that works best for all landscape furnishing applications. Our experience has led us to these guidelines:

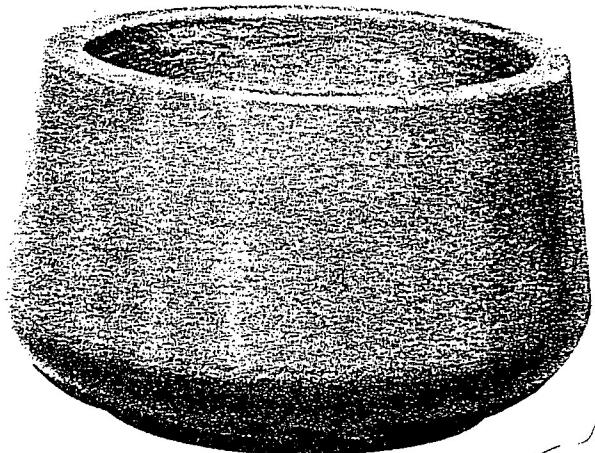
# PLANTERS

Model numbers as listed are for cast stone planters. For Glascrete (page 8), substitute W for S.

DESIGN J



DESIGN F



DESIGN M



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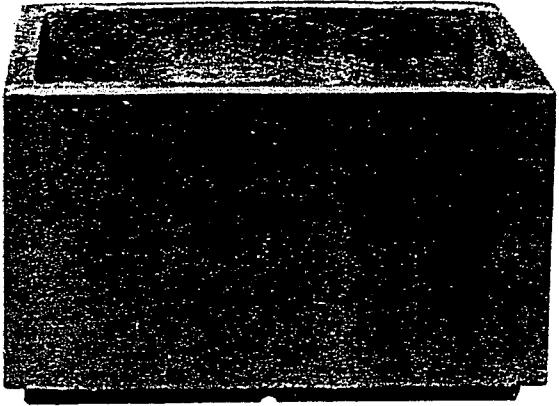
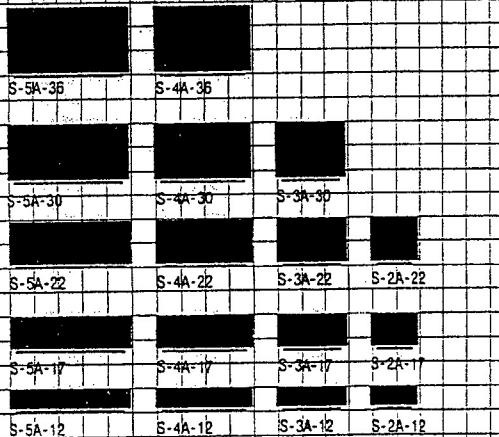
S-5J-36	S-4J-36		
S-5J-30	S-4J-30	S-3J-30	
S-5J-22	S-4J-22	S-3J-22	S-2J-22
S-5J-17	S-4J-17	S-3J-17	S-2J-17
S-5J-12	S-4J-12	S-3J-12	S-2J-12
S-5F-36	S-4F-36		
S-5F-30	S-4F-30	S-3F-30	
S-5F-22	S-4F-22	S-3F-22	S-2F-22
S-5F-17	S-4F-17	S-3F-17	S-2F-17
S-5F-12	S-4F-12	S-3F-12	S-2F-12
S-5M-36	S-4M-36		
S-5M-30	S-4M-30	S-3M-30	
S-5M-22	S-4M-22	S-3M-22	S-2M-22
S-5M-17	S-4M-17	S-3M-17	S-2M-17
S-5M-12	S-4M-12	S-3M-12	S-2M-12



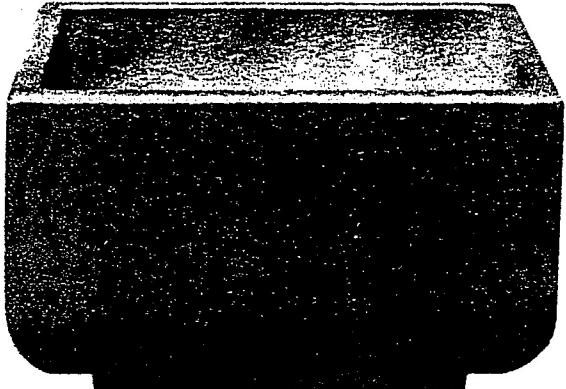
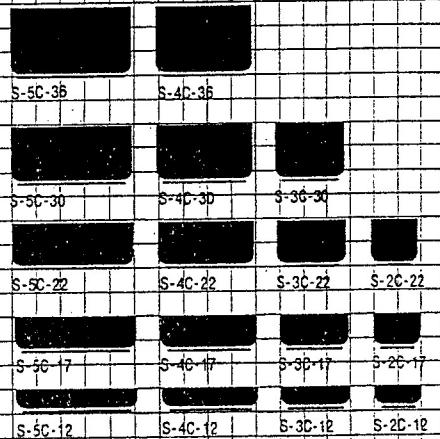
See new Glascrete catalog  
for additional designs in  
both cast stone and Glascrete.

## PLANTERS

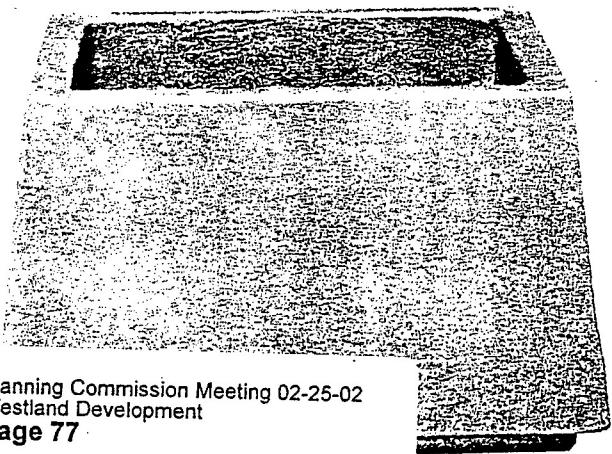
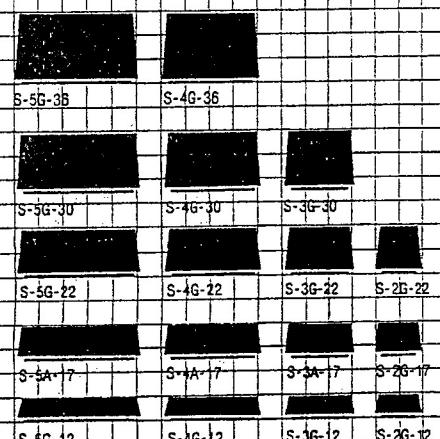
DESIGN A



DESIGN C

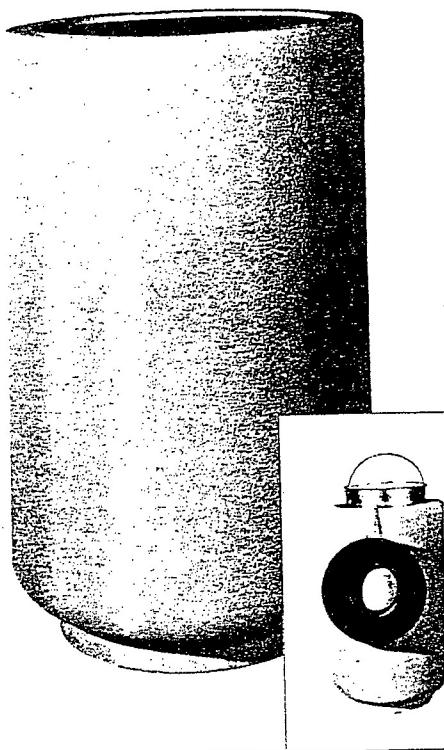


DESIGN G

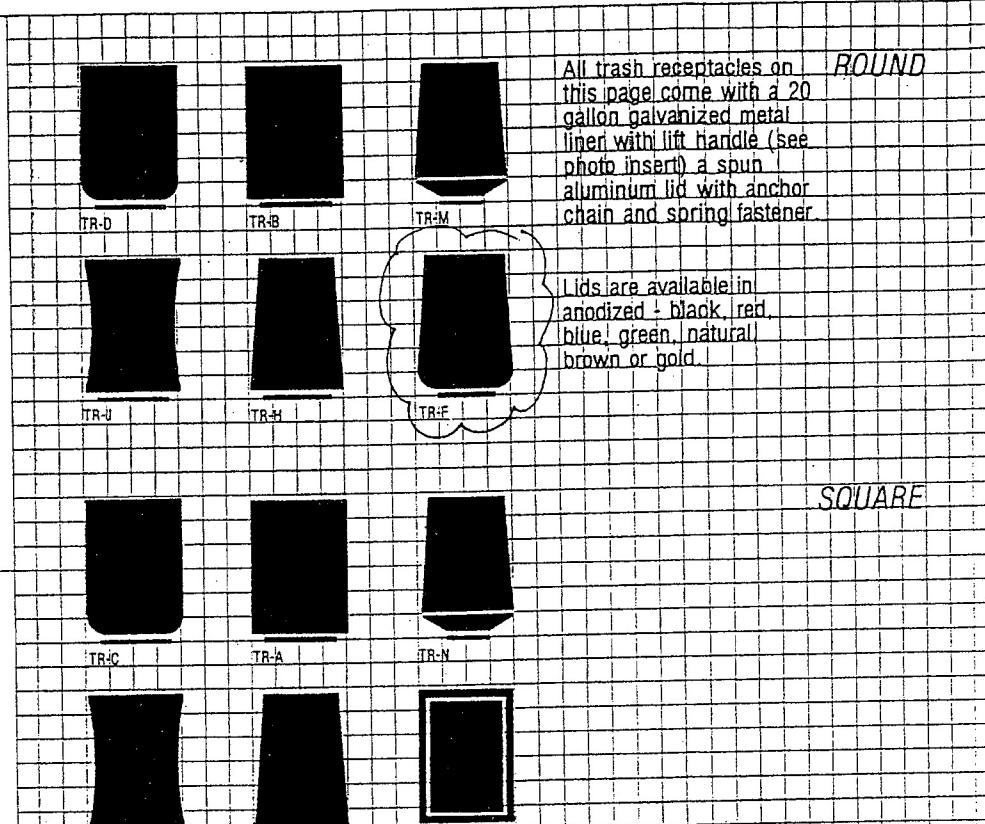
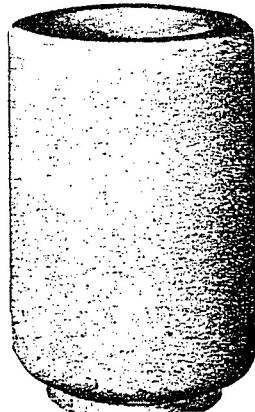


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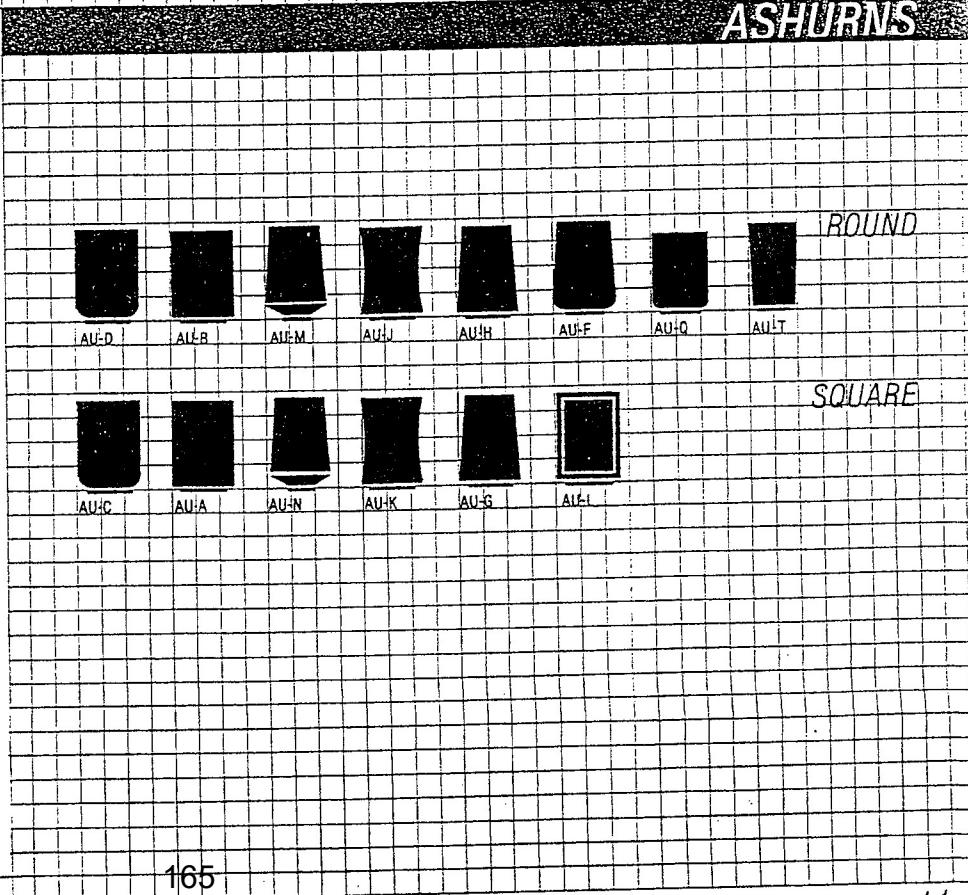
**DESIGN TR- D**



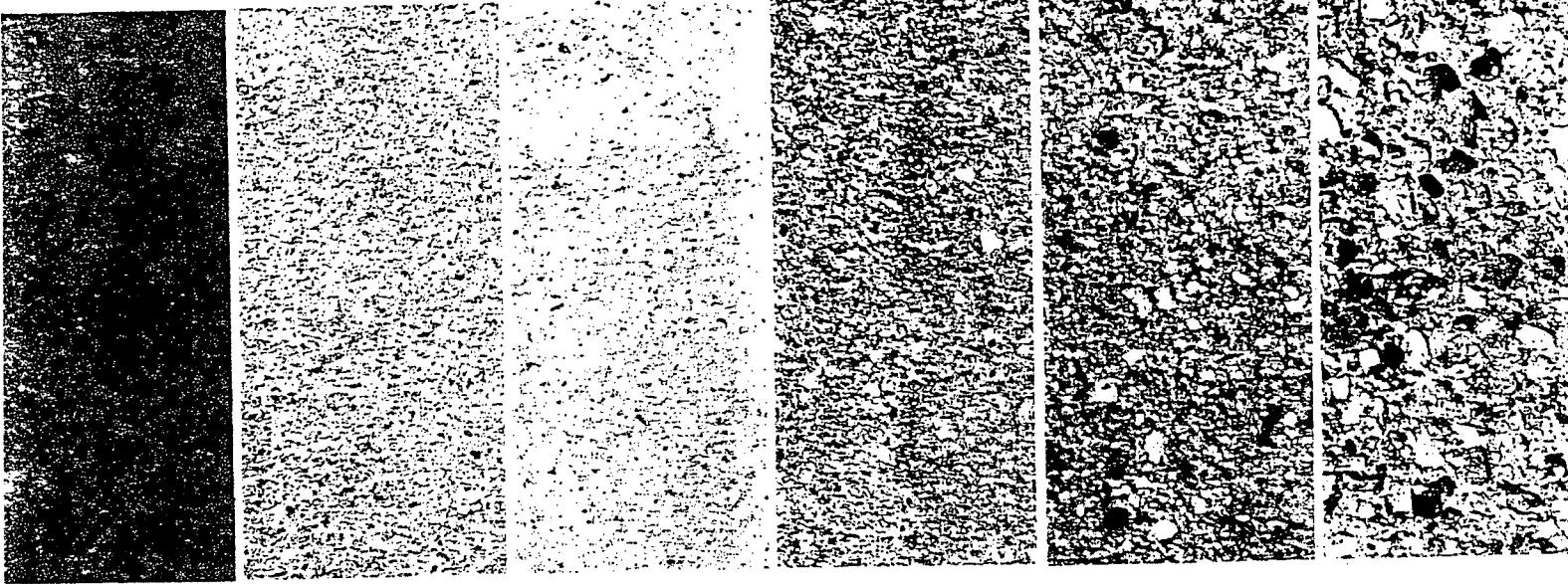
**DESIGN AU- D**



**ASHURNS**



# FINISHES



SK/  
Sacked  
Smooth

AE/  
Acid  
Etch

LSB/  
Light  
Sandblast

MSB/  
Medium  
Sandblast

HSB/  
Heavy  
Sandblast

EX/  
Exposed  
Aggregate

Photographs illustrate natural concrete color and  $\frac{1}{4}$  to  $\frac{3}{8}$  inch pea gravel. Color pigments may be added — refer to either Davis or Scofield color charts.

Non-standard finishes, colors and aggregates are available — submit sample.

**Code Acceptability:** Certifications  
**WARRANTY:** DURA-ART STONE was  
trans. its products when purchased  
new, to be free from defects in  
materials and workmanship under  
normal use and service for one year  
from the original, provable date of  
purchase. Replacement or repair at  
the option of Dura-Art Stone of  
defective parts shall be the sole  
 remedy of this warranty.

**CONCRETE QUALITY:** Minimum  
strength of 5,000 psi at age 28  
days, as determined by tests of  
6-inch and 12-inch cylinders.  
Allowances shall not exceed 5%.

#### COATINGS: SURFACES DURA-

DURA-STONE products except Glass  
Concrete and Fiberlite are pre-cast concrete  
with steel reinforcement or wire  
mesh reinforcement. In some cases  
wood is used to enhance the beauty  
of the product.

Surfaces are cast against fiberglass  
molds to insure smoothness and  
consistency.

Color selection can be made from  
either Davis or Scofield color charts.

Acrylic anti-graffiti sealers is available  
upon request.

#### MATERIALS:

1. Cement shall be Portland Cement conforming to A.S.T.M. C-150, Types I, II, or III.
2. Integral color shall be pure mineral oxides, limeproof and non-fading.
3. Aggregates for concrete shall conform to the A.S.T.M. C-33, with a maximum size of  $\frac{1}{2}$  inch.
4. Reinforcing steel shall conform to A.S.T.M. 615, grade 40; and deformations shall conform to A.S.T.M. M-305.

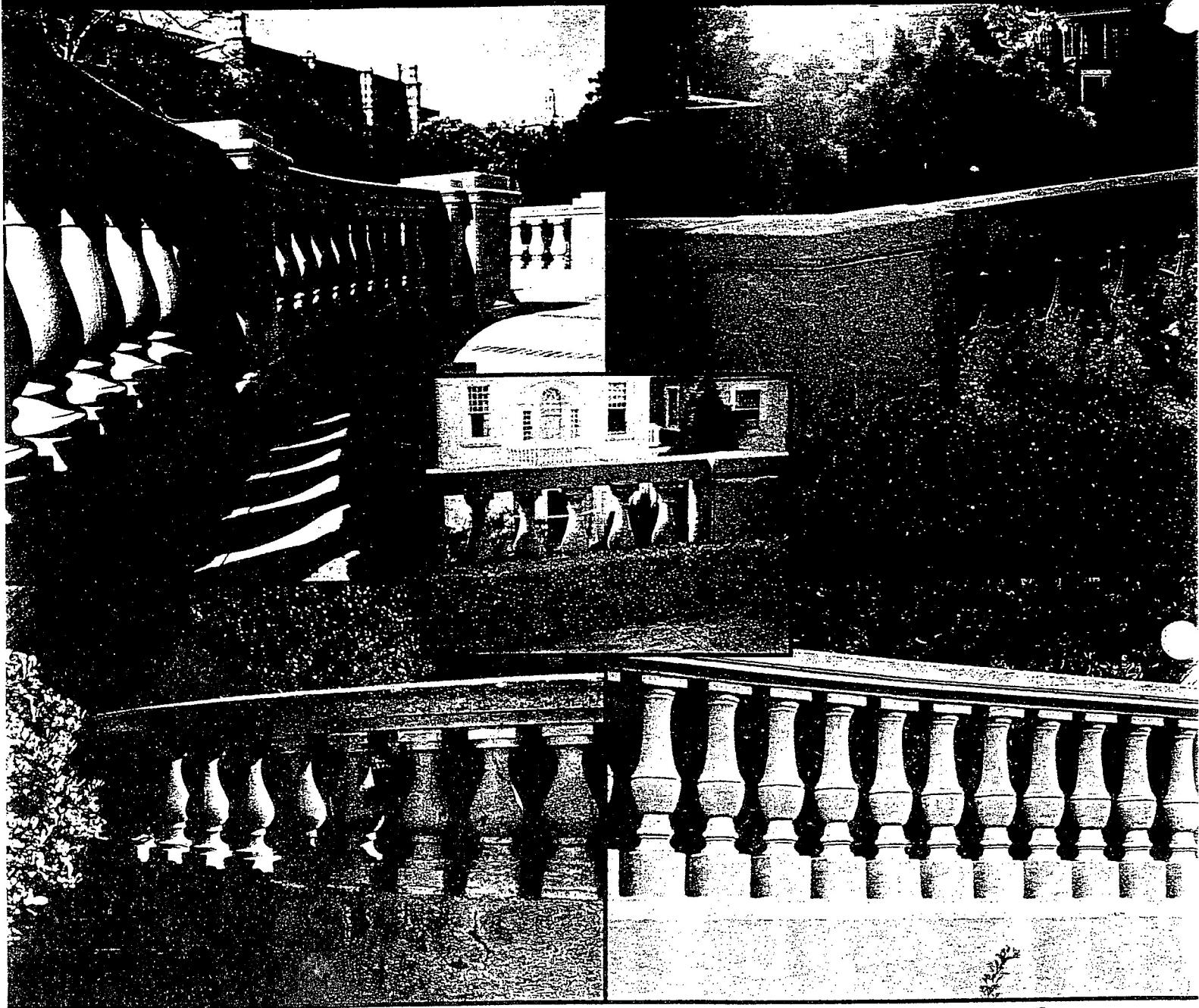
#### TECHNICAL SUPPORT DURA-ART

STONE makes itself available to perform with quality products produced in a timely manner. Because of our extensive tool inventory, it rarely when we can't meet your delivery requirements.

Prices are quoted for our plant delivery, placement or installation charges are quoted separately.

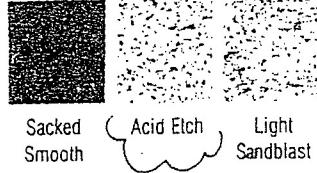
Please call or write our offices for exact pricing information.

**With Cast stone, Glasscrete and  
Fiberlite, DURA-ART STONE can be  
your single source for landscape  
furnishings.**

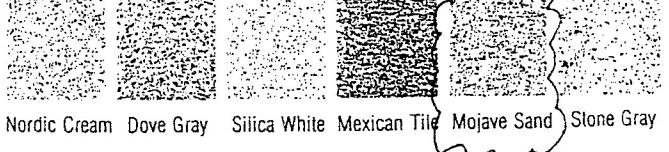


### Materials

Cast stone is the recommended material for balustrading. In cases where weight is a factor, we recommend that Glascrete® be used instead. Glascrete® is a combination of resins, inorganic material, selected fine aggregates and provides the same overall appearance as cast stone with

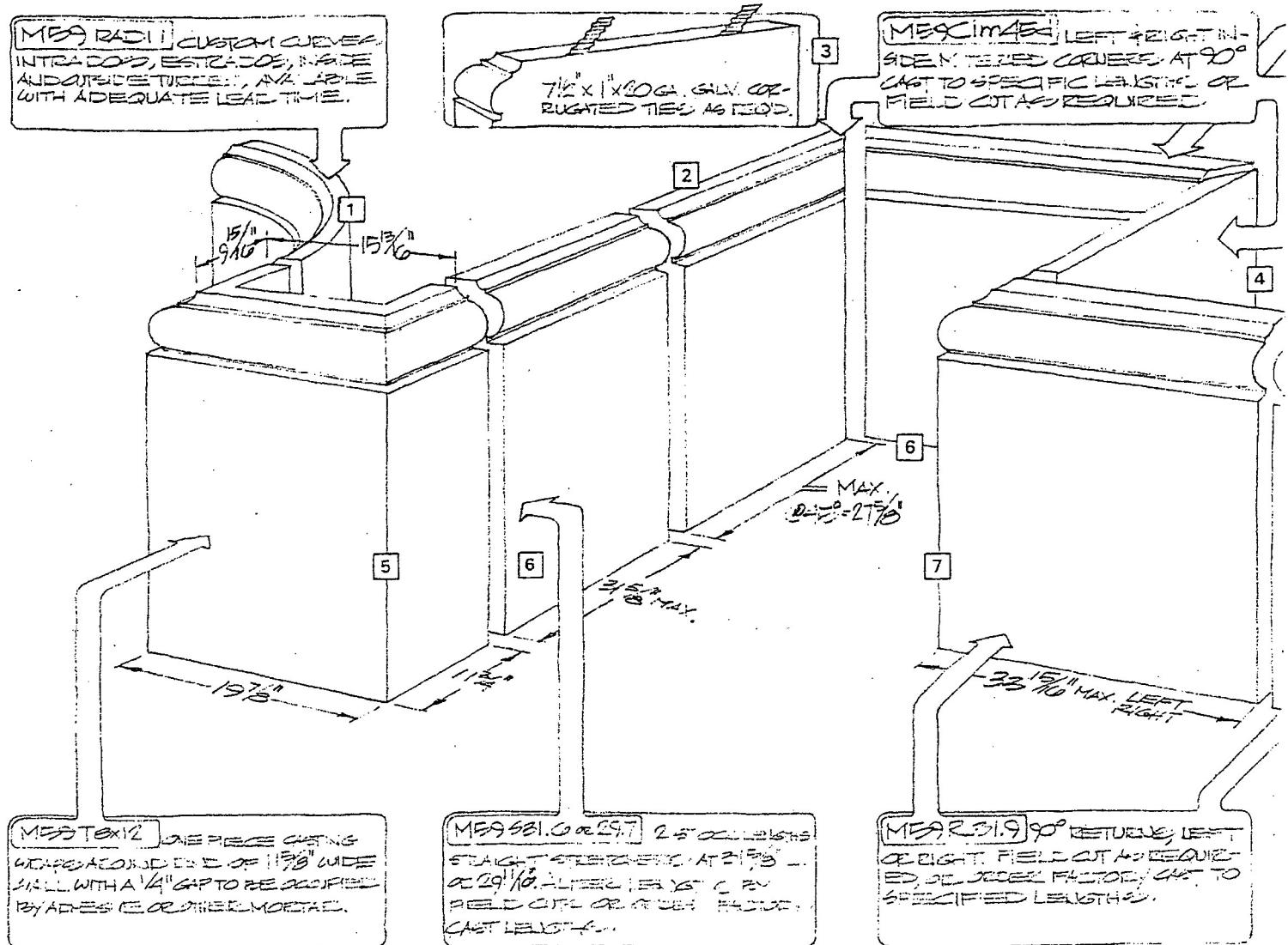


Finishes shown are available in cast stone. Glascrete® is available in light sandblast only.



Colors shown are available in cast stone or Glascrete®. For additional colors or color match, consult with our Design Department. Colors shown in light sandblast finish.

FIELD CUTTING of pieces so large and heavy as M59 often seems excessively time consuming and difficult. This, however, can be faster than special ordering, casting, labeling, identifying the destination of and searching an on-site inventory for each particular piece. There will also be time delays replacing custom parts that become damaged, lost, cut in error, made to incorrect lengths, etc. Field cutting provides flexibility and in the long run may be far faster. But even so, certain mitered pieces, as explained elsewhere on this page, have to be provided factory cast to fit specific field dimensions because miters are especially difficult to field cut.



MOLDING 59, used mostly as a wainscot, is similar to other moldings and can be used in combination with still others as suggested by the drawings below. M59 is available from stock as shown but inquiries concerning custom heights, altered thicknesses, anchors and special configurations are invited. Mechanical anchors are not normally required, but a variety are readily available or as specified. Unlike most moldings, M59 is generally too awkward to field cut except on jobs large enough to justify the use of special sawing equipment. Because of this, all pieces are available factory cast to specified lengths to satisfy the jointing design of the architect. To avoid unattractive/unbalanced joint patterns which normally result from field cutting, a specific jointing plan or installation

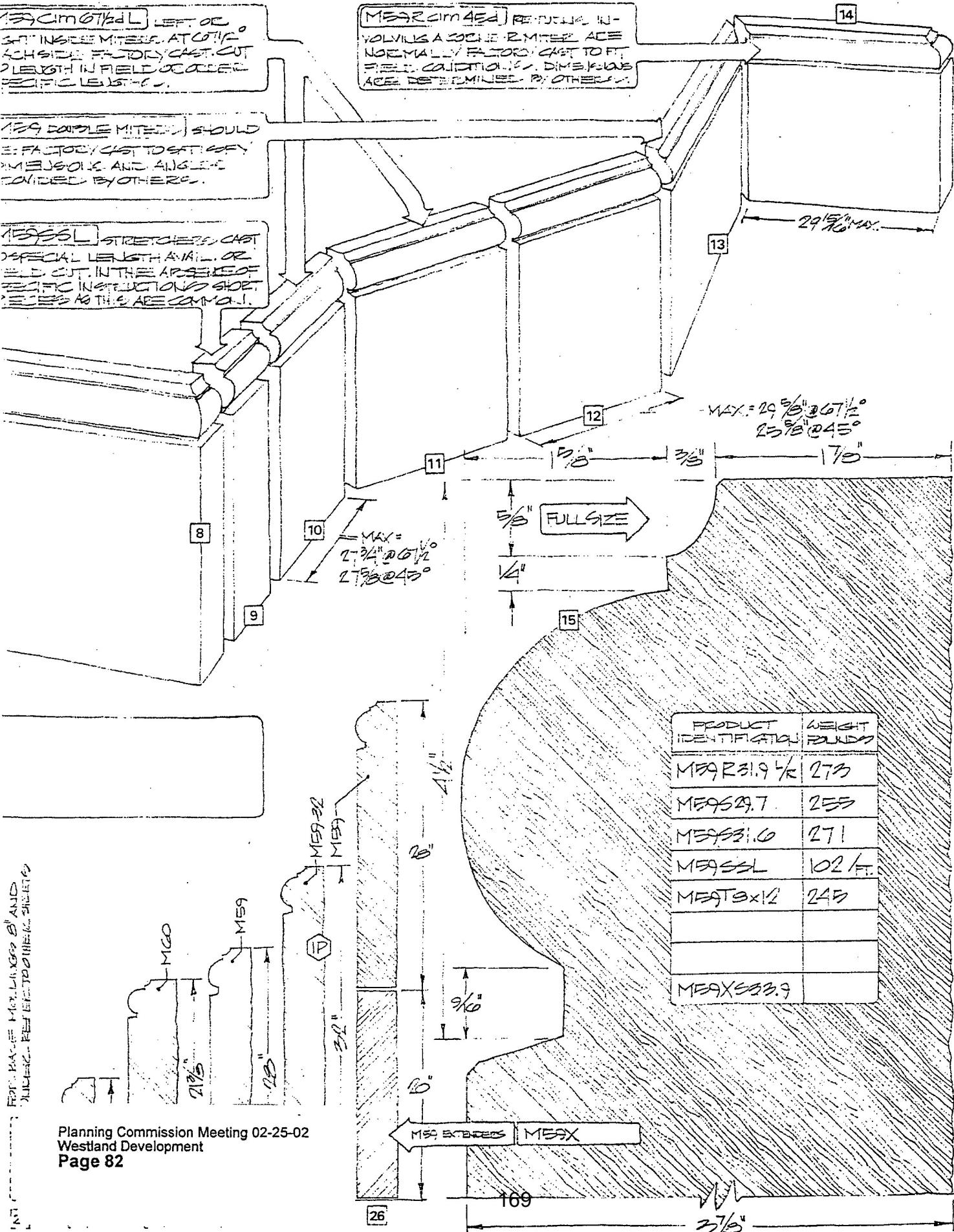
In any case, field sawing of most miters is with most special sawing equipment, pieces length must be factory cast to dimensions es, anchors, physical properties, wainscot sheets. For more information on wainscot molding, please refer to Sheet D79-1.

SCALE:  
1" = 1 FT.

133 (CIM 6712d L) LEFT OC  
37 INSIDE MOUTH, AT COTTON  
LHSIDE FOLLY CAST CUT  
LENGTH IN FIELD OC OC  
SPECIE LENGTH - .

129 DOUBLE MITE SHOULD  
BE FACTORY CLEARED FOR  
MECHANIC AND ANGLED  
COPPER BY OTHERS.

MEASUREMENTS] REPUBLIC IN-  
YOLVING A COUPLE OF THE ACE  
NORMALLY FACTORED CAST TO FIT  
THEIR CAUTIONS. DIMENSION  
ACE DETERMINED BY OTHERS.



**CALIFORNIA'S FINEST MANUFACTURER OF ARCHITECTURAL FOAM SHAPES**



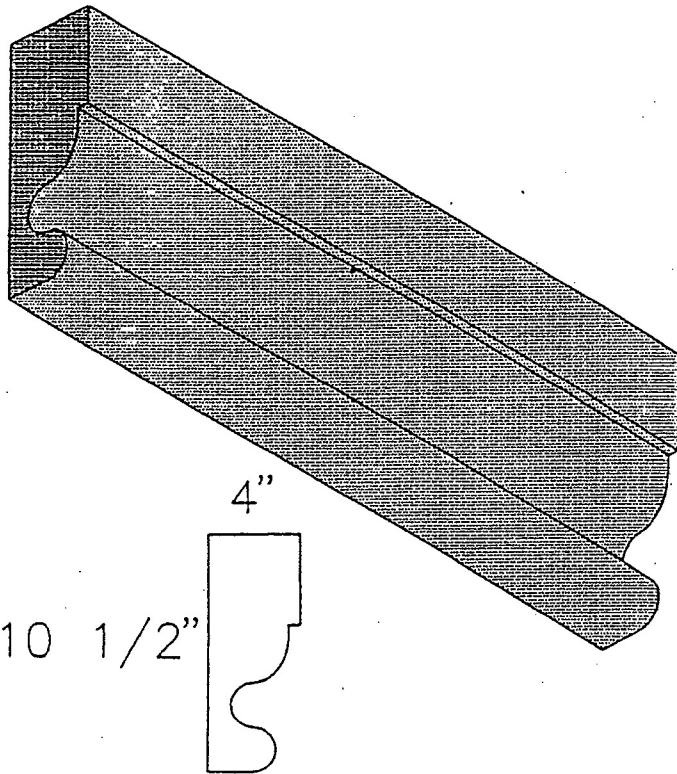
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**BayFoam**

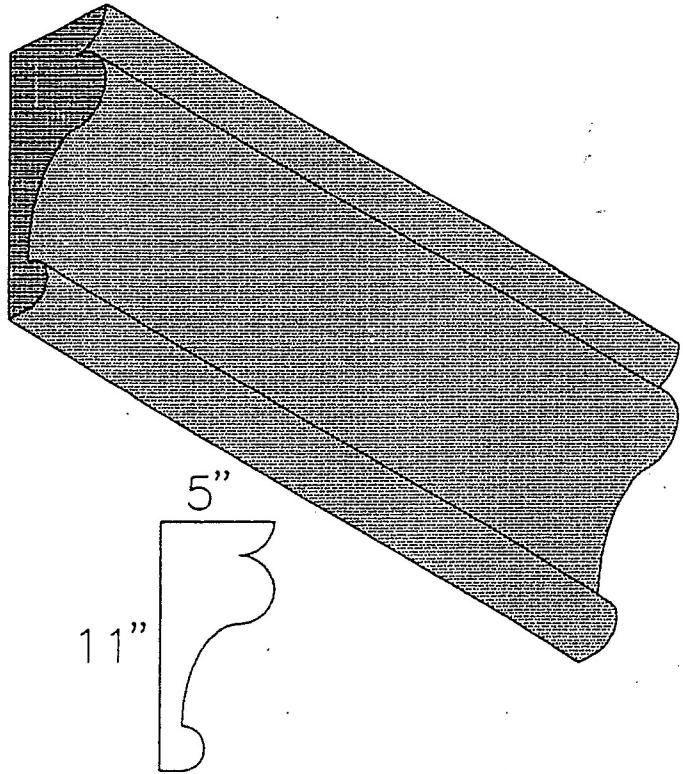
**SHAPES CATALOG**



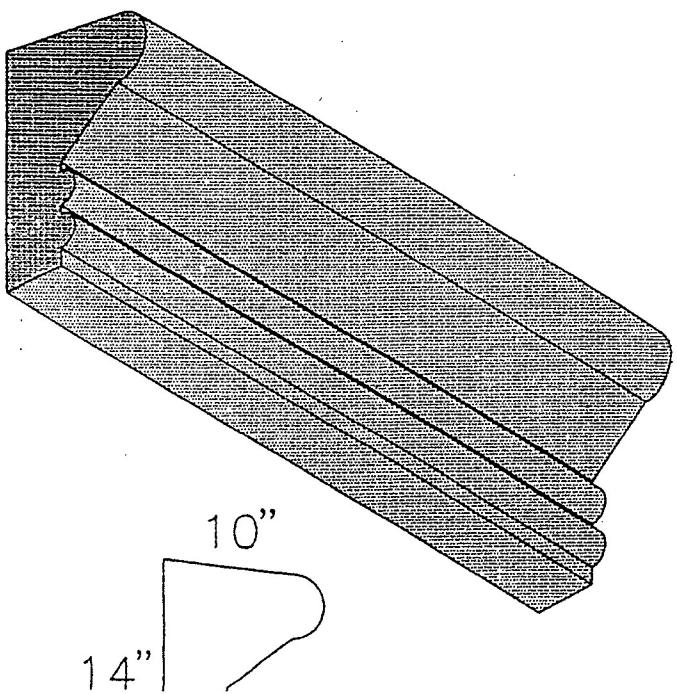
# BayFoam



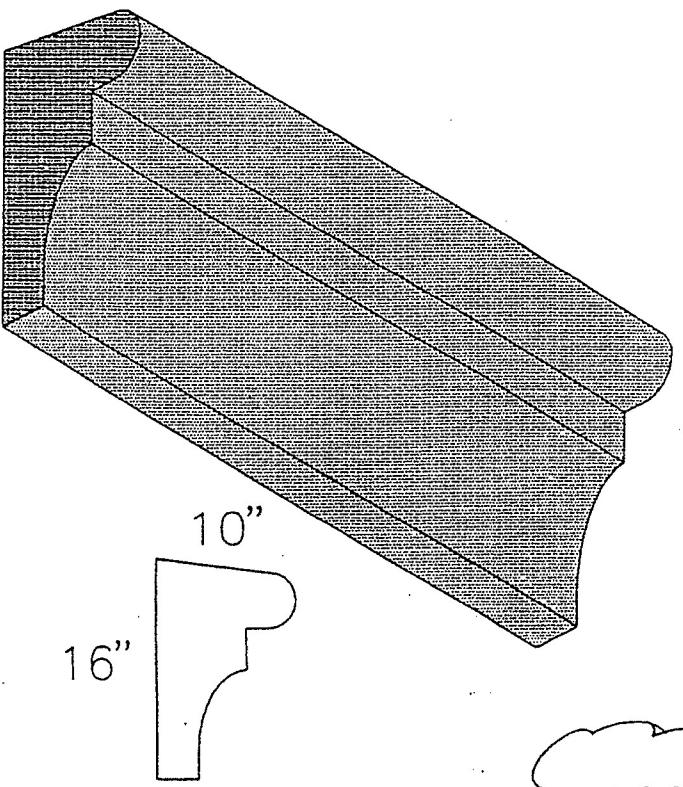
97



98

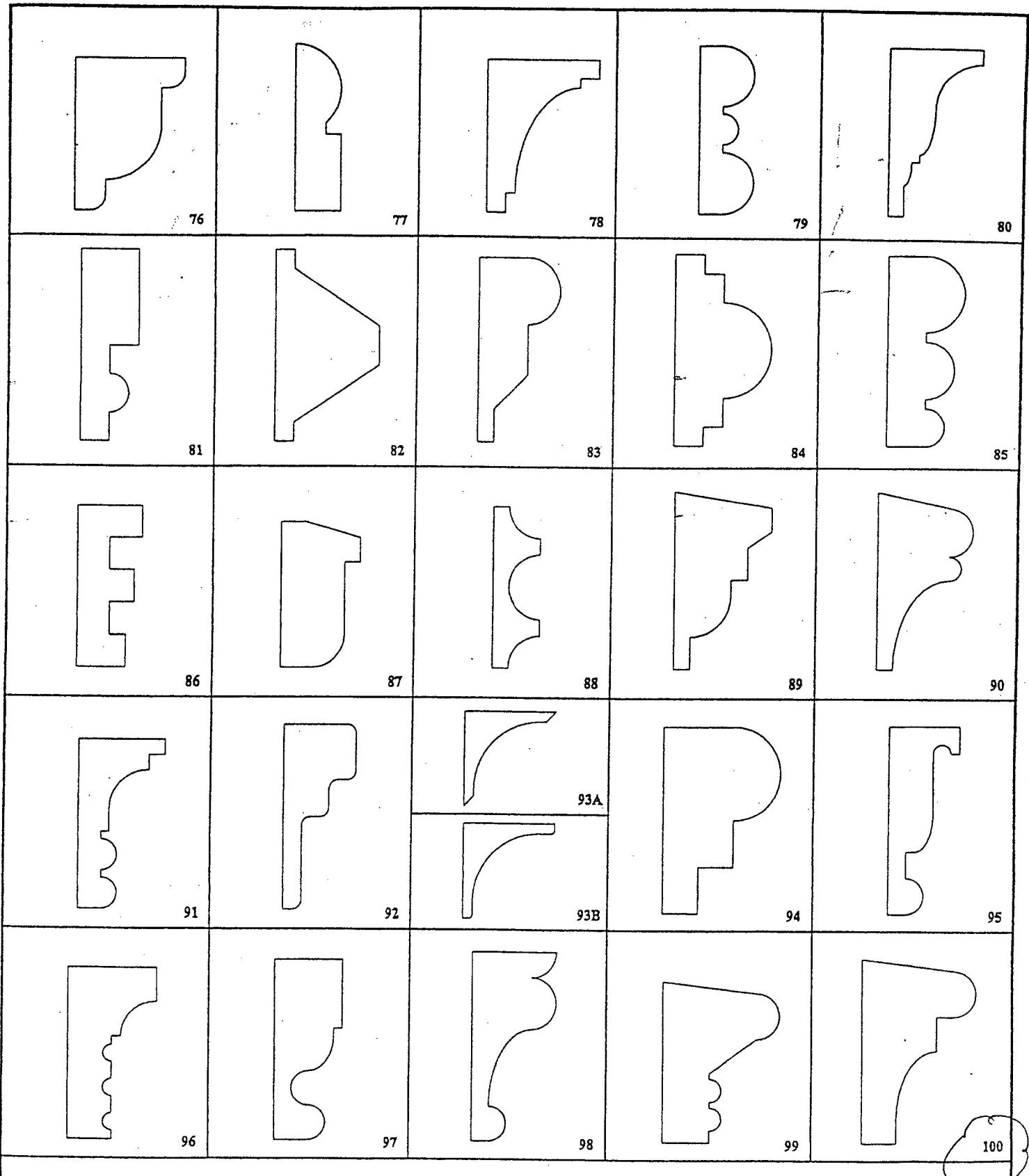


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171

100



## It's never been easier to put the beauty and performance of a standing seam steel roof on your building.

Skyline Roofing™ from ASC Pacific makes the many benefits of standing seam steel roofing systems affordable for residential and light commercial buildings. Architectural beauty, long life with minimal maintenance, superior weather protection and Class A fire resistance are yours with Skyline - at a price comparable to mere asphalt or concrete shingles.

Standing seam roofs have been protecting valued buildings for centuries. They're durable, classically good-looking and easy to install. And all this value is backed by one of the best warranties and customer support programs in the business.

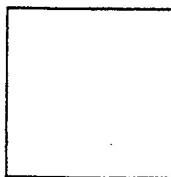


### The panel of experts.

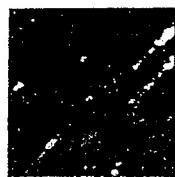
Skyline's 12-in. and 16-in. wide steel panels, available in 29 and 26 gauge, ward off corrosion with a tough Zincalume® sub-coating. They feature an advanced Silicone Modified Polyester finish that protects beautifully for decades.

Because Skyline is a concealed fastener design, the roof system offers maximum protection from the elements. Its interlocking lap/rib design ensures durability, and installation is a snap. Choose between smooth pan, one, two or three pencil ribs.

### The colors customers want.



Surf White  
12" 29 ga.



Old Town Gray  
12" 29 ga.



Tahoe Blue  
12" 29 ga., 16" 26 ga.



Denali Green  
12" 29 ga., 16" 26 ga.



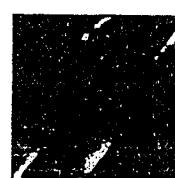
Classic Brown  
12" 29 ga.



Weathered Copper  
12" 26 ga.



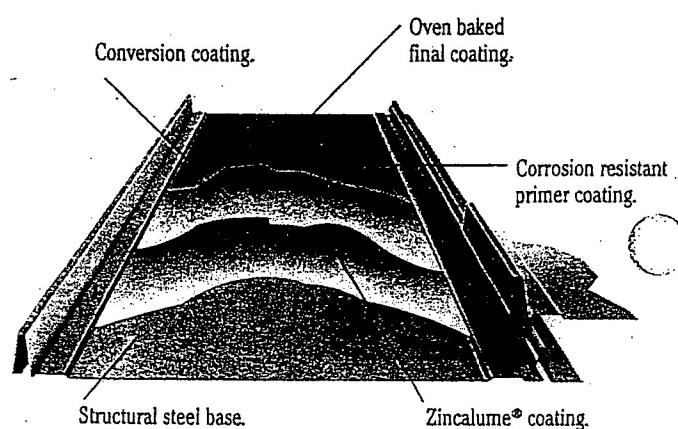
Chestnut Brown  
12" 29 ga.



Rustic Red  
12" 29 ga., 16" 26 ga.

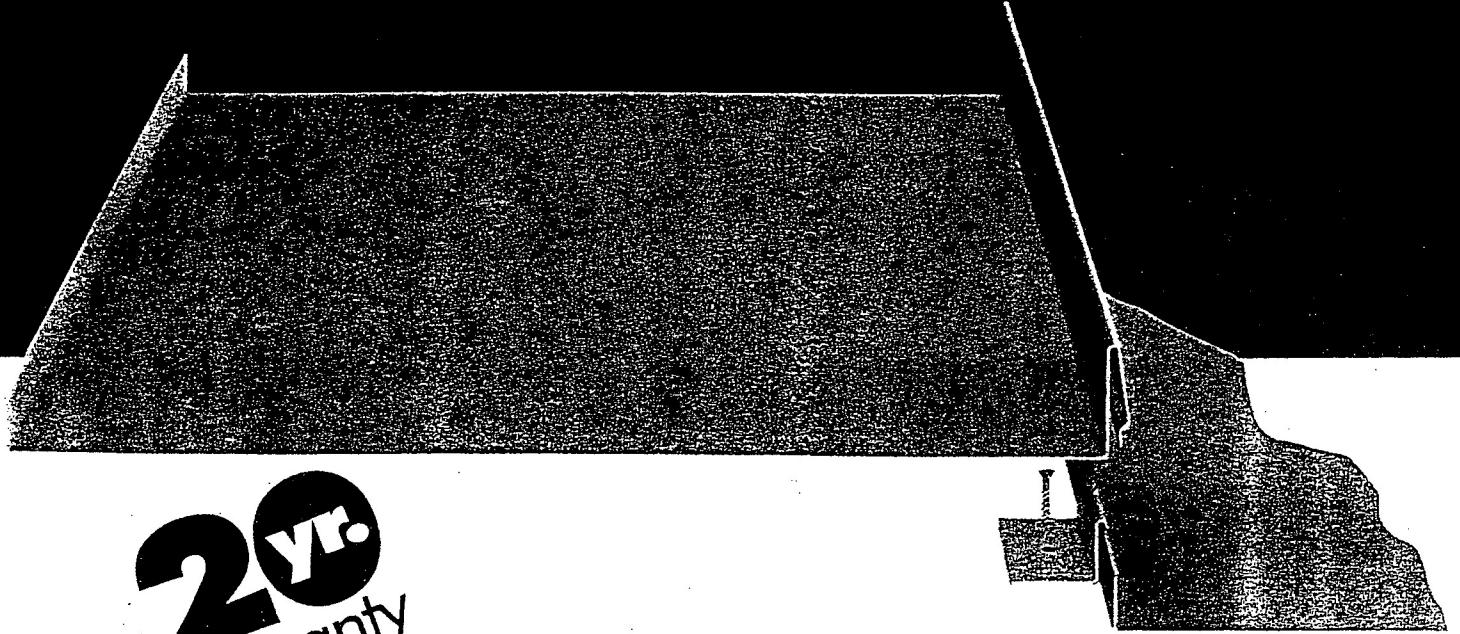


Slate Gray  
12" 29 ga., 16" 26 ga.



# THE STANDING SEAM SYSTEM

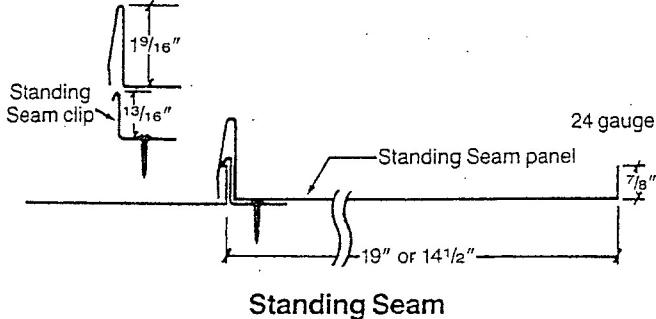
ASC  
PACIFIC  
INC.



**20**  
YR.  
warranty

The Standing Seam System is available in a variety of durable coatings and paint finishes with 20-year warranties including SMP (silicone modified polyester) and PVF<sub>2</sub> (polyvinylidene fluoride).

- One-piece panel construction including seam that snaps over concealed anchor clips for quick installation.
- Can be used for vertical or inclined applications down to a slope of 3:12 making it ideal for roof, fascia, mansard or soffit applications.
- Preformed flashing and matching flat sheet available.
- Available in Zincalume<sup>®</sup>, Galvalume<sup>™</sup> or G-90 galvanized in 22-, 24-, and 26-gauge with a wide variety of coatings and colors.
- Also available in 16- or 20-ounce real copper, either smooth or embossed.
- Installs easily over solid decking with minimum 30 lb. felt.



Planning Commission Meeting 02-25-02  
Westland Development  
Page 87

Southwest Regional Headquarters: 817-481-3521, 404 E. Dallas Road, Grapevine, Texas 76051

Western Regional Headquarters: 916-372-6851, 2110 Enterprise Boulevard, West Sacramento, California 95691-3493

Northwest Regional Headquarters: 206-383-4955, 2141 Milwaukee Way, P.O. Box 2075, Tacoma, Washington 98401-2075

Other Manufacturing Facilities: Anchorage, AK, 907-561-6060 □ Spokane, WA, 509-535-0600 □ Los Angeles, CA, 714-823-0401

Phoenix, AZ, 602-244-0540 □ Odessa, TX, 915-563-3255 □ San Antonio, TX, 512-651-6366 □ Little Rock, AR, 501-562-3112

Corporate Headquarters: P.O. Box 6256, Federal Way, Washington 98063-6256, 206-838-4821

# GUIDE TO STANDARD COLORS

## ASC Pacific Architectural Roof & Wall Systems

Color availability varies by profile and gauge. Please contact your sales or customer service representative for specific details on color availability, paint system specifications and warranties. Not all colors are available on all panels and gauges.



COLONIAL RED



REGAL BLUE



FOREST GREEN



TERRA-COTTA ← New.



TAHOE BLUE



JADE GREEN



WEATHERED COPPER



SLATE GRAY no!



MARINE GREEN



RAWHIDE



OLD TOWN GRAY



PATINA GREEN



PARCHMENT

SNOWDRIFT WHITE



MIDNIGHT BRONZE



**ASC PACIFIC**

Building Solutions in Metal

Planning Commission Meeting 02-25-02  
Westland Development  
Page 88

Sacramento - 800-726-2727, 916-372-6851 FAX 916-372-7606

Los Angeles - 800-272-2466, 909-823-0401 FAX 909-823-2625 Phoenix - 800-551-2062, 602-598-1200 FAX 602-598-1219

Tacoma - 800-733-4955, 206-383-4955 FAX 206-272-0791 Salem - 800-336-1509, 503-362-5688 FAX 503-362-8834

Spokane - 800-776-8771, 509-535-0600 FAX 509-535-1346 Anchorage - 800-478-2727, 907-349-2727 FAX 907-344-7095



CALIFORNIA DEPARTMENT OF

# Alcoholic Beverage Control

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**Report Date:** Tuesday, January 06, 2026

---

## LICENSE INFORMATION

**License Number:** 666616 **Primary Owner:** LUCKY STRIKE VISALIA, LLC

**Office of Application:** 21 - FRESNO

## BUSINESS NAME

VISALIA ADVENTURE PARK

## BUSINESS ADDRESS

5600 W CYPRESS AVE , VISALIA, CA, 93277

**County:** TULARE **Census Tract:** 0020.09

---

## LICENSEE INFORMATION

**Licensee:** LUCKY STRIKE VISALIA, LLC

### Company Information

OFFICER: LAVAN, ROBERT MARTIN (SECRETARY TREASURER)

OFFICER: LAVAN, ROBERT MARTIN (CHIEF FINANCIAL OFFICER)

OFFICER: EKSTER, LEV (PRESIDENT)

---

## LICENSE TYPES

\*Allow up to six weeks for expiration date updates after renewal fee submittal.

## 41 - ON-SALE BEER AND WINE - EATING PLACE

**License Type Status:** ACTIVE **Status Date:** 06-MAY-2025 **Term:** 12 Month(s)

**Original Issue Date:** 05-MAY-2025 **Expiration Date\*:** 30-APR-2026 **Master:** Y **Duplicate:** 0

From License Number: [41-516532](#)

**Fee Code:** P40 **Transfers:** Transferred On: 05-MAY-2025

---

### OPERATING RESTRICTIONS:

Sales, service and consumption of alcoholic beverages will be restricted to and within the confines of the dining portion of the building premises and the picnic/patio areas as defined on ABC 257's dated 1-29-2025.

All alcoholic beverages will be sold and served in containers which shall be distinctive in design and color and easily distinguishable from any other containers used in the service of beverages.

No alcoholic beverages shall be consumed on any property adjacent to the licensed premises under the control of the licensee(s) as depicted on the ABC-257 dated 1-29-2025 and ABC-253 dated 1-29-2025.

The licensee(s) or an employee of the licensee(s) will be present in the patios and picnic area at all times that alcoholic beverages are being served or consumed.

Petitioner(s) shall post and maintain a professional quality sign at the exits of the dining facility and the picnic/outdoor patio area that reads as follows: NO ALCOHOLIC BEVERAGES BEYOND THIS POINT The sign shall be at least two feet square with two inch block lettering. The sign shall be in English and Spanish.

The quarterly gross sales of alcoholic beverages shall not exceed the gross sales of food during the same period. The licensee(s) shall at all times maintain records which reflect separately the gross sales of food and the gross sales of alcoholic beverages of the licensed business. Said records shall be kept no less frequently than on a quarterly basis and shall be made available to the Department on demand.

The parking lot of the premises shall be equipped with lighting of sufficient power to illuminate and make easily discernible the appearance and conduct of all persons on or about the parking lot. Additionally, the position of such lighting shall not disturb the normal privacy and use of any neighboring residences.

---

### DISCIPLINARY ACTION:

No Active Disciplinary Action found

## **DISCIPLINARY HISTORY:**

No Disciplinary History found.

---

## **HOLDS:**

No Active Holds found

---

## **ESCROWS:**

No Escrow found

---

## **NOTIFICATIONS:**

No notifications found



Exhibit "K"

**SOLOMON SALTSMAN &  
JAMIESON**

A Partnership of Professional Corporations  
426 Culver Boulevard | Playa Del Rey, CA 90293  
Telephone: 310.822.9848 | Facsimile: 310.822.3512  
Toll Free: 800.405.4222

**Stephen Allen Jamieson**

Partner  
email: sjamieson@ssjlaw.com

**VIA E-MAIL ONLY**

January 8, 2026

Jarred Olsen, AICP  
Principal Planner  
315 East Acequia Avenue  
Visalia, CA 93291  
Jarred.Olsen@visalia.gov

**Re: COU25-036 Application for Amendment to Conditional Use Permit for  
Visalia Adventure Park – Narrative explaining reasons for revisions  
requested – Security Plan**

Dear Mr. Olsen:

Please see the below narrative as to why the revisions to the conditions in the three previous Conditional Use Permits for the Adventure Park at 5600 W Cypress Ave, Visalia, CA 93277 are requested.

Also, attached is the Security Plan requested.

The revisions requested are solely meant to simplify and make relevant a list of Conditions that are applicable to the Adventure Park as it will operate if the City approves the current application.

Each of the previous CUPS, in 2003, in 2011, and in 2018, contains Conditions that were applicable at that time, but many of those conditions are not, or will not, be relevant to the operations as it moves forward if the current application is approved. Many have already been superseded already, and will be further superseded if this current application is approved as requested.

As just one example, the 2018 CUP focuses on certain limited areas where the alcohol would be sold and or consumed. Yet the current application, if approved, will allow the applicant to clarify that the entirety of the site will be considered the licensed premises for purposes of its ABC License. Another example is that previous CUPs reference only beer and wine, yet the applicant is intending to apply for a Type 47 ABC License, which will add distilled spirits to the product mix.

January 8, 2026

Page 2 of 2

Application of Lucky Strike Visalia dba Adventure Park

These are the 2 changes being requested by this application, yet if the previous CUPs' conditions are not deleted or revised to reflect these changes, and instead refer back to the previous CUPs' conditions, it will lead to immense confusion and ambiguity.

For these reasons the applicant has requested removal of some Conditions from the previous CUPs, some revisions to other Conditions of the previous CUPs, and is respectfully requesting that if/when this application is granted that all Conditions for this CUP be explicitly stated in this current updated CUP (without any inclusion of any previous conditions by reference to any of the 3 previous CUPs).

It is, therefore, respectfully submitted that having all approvals and all conditions in one singular CUP will be helpful to the applicant as well as to the City so that everyone understands exactly what is expected of this operation from this approval at this time, and in operation going forward.

As stated above, the requested Security Plan is also attached here.

Very truly yours,

SOLOMON SALTSMAN & JAMIESON

*Stephen Jamieson*

STEPHEN ALLEN JAMIESON

Licensed in California, Wisconsin and Michigan

SAJ/hj

Cc: Lucky Strike Visalia

Enclosure: Security Plan

## **Resolution 2018-45 Conditions**

1. That the Conditional Use Permit be developed consistent with the comments and conditions of Site Plan Review No. 2018-058.
2. ~~That the water feature be installed and operated consistent with Exhibits "A", "B", "D" and "E".~~
3. ~~That all other applicable conditions of Conditional Use Permit No. 2003-39 and Conditional Use Permit No. 2011-24 shall apply, and the limitations on alcohol sales in the restaurant area of the main building shall be met.~~
4. That alcoholic beverage service and consumption ~~in the Water Feature facility~~ shall be consistent with the ~~Operational Statement and the Security Plan in Exhibits "F" and "G" of this report.~~ Site Plan and Floor Plans attached hereto.
5. ~~That private/special events are not restricted to times or locations of alcohol consumption. These restrictions are intended to apply when the facility is open to the public.~~
6. That signs be posted at the Water Feature exits which state, "No adult beverages allowed beyond this point."
7. ~~That there shall be no alcohol sales in the Water Feature Lounge when the Water Feature is closed.~~
8. ~~That there shall be no alcohol sales during Sober Grad Night and similar school activities/events.~~
9. That all necessary licenses from the California Alcoholic Beverage Control, commonly known as ABC board, shall be obtained, kept current and complied with.
10. That inspection by City representatives on the premises may be conducted at any time during business hours to validate conformance with these conditions of approval.
11. The City Planner may initiate a CUP revocation hearing pursuant to Visalia Municipal Code Section No. 17.38.040, based on documented evidence of failure to comply with any conditions of:
  - a. Conditional Use Permit No. 2011-24 and Conditional Use Permit No. 2018-18.
  - b. Conditions and Requirements of the Alcoholic Beverage Control license for the business.
  - c. All applicable federal, state and city laws, codes and ordinances.

12. That the operator/owner shall meet and resolve any issues that may be identified by VPD, which may result in changes to the security plan. The establishment shall correct any safety or security problem as soon as possible after receiving written notice of such problem from the Visalia Police Department.
13. That all applicable federal, state, and city laws and codes and ordinances be met, including all necessary licenses from the California Department of Alcohol Beverage Control.

## **Resolution 2011-45 Conditions**

1. ~~All other conditions of Conditional Use Permit No. 2003-39 shall apply, and the applicable conditions of Site Plan Review No. 2011-111 shall apply. This conditional use permit shall only allow the sale of beer and wine in conjunction with the recreational facility shown in Exhibit "B", and only in conjunction with a bona fide restaurant/buffet. There shall be no adult entertainment or nightclub activities authorized by this Conditional Use Permit. The sale and consumption of alcohol be consistent with the operational statement contained in Exhibit "C"~~
2. ~~Private/special events conducted during times the Park is closed to the public are not subject to restricted to times or locations of alcohol sales/consumption contained in these Conditions of Approval. Such restrictions contained in these Conditions of Approval are intended to apply only when the facility is open to the public.~~
3. ~~Alcoholic beverages shall be restricted to the dining area in Exhibit "A" when the Park is open to the public, excepting for events within the outdoor event area, as shown in Exhibit "B", and shall be subject to the Security Plan on file with the Visalia Police Department.~~
4. ~~Guests shall be required to purchase a meal (buffet) to be able to purchase an alcoholic beverage, and there shall be no alcoholic beverage sales when the buffet is closed, excepting for events within the outdoor event area, as shown in Exhibit "B".~~
5. ~~Beer and wine only shall be sold from the alcohol service counter. No soft drinks shall be available for sale from the alcohol service counter.~~
6. Persons who consume alcohol on-site shall be identified by a stamped ink marking which can be identified to Park employees at the batting cages, race tracks, and bumper boats. Stamped individuals shall not be allowed to use these Park attractions after consuming alcoholic beverages. The operator may also use wrist bands in addition to the stamp.
7. ~~There shall be no signage inside or on the outside of the facility that identifies or promotes alcoholic beverages or alcoholic beverage brand names or logos. Menu signs may list beer/ wine and costs. Restaurant area may have signs to direct guests to the Sports Dining room for beer and wine sales. The alcohol service counter may have brand identification and related signage within the counter area. Signs be posted at the two exits of the dining area which state, "No alcoholic beverages allowed beyond this point."~~

~~Signage that displays no alcoholic beverage brand names or logos, may be displayed at the applicant's discretion, with signage copy that "encourages guests to play first and drink later".~~

8. The maximum occupancy limit established by the Visalia Building Department and Fire Marshal shall be posted and not exceeded.
9. Inspections by City representatives on the premises may be conducted at any time during business hours to verify ongoing conformance with these Conditions of Approval.
10. ~~The City Planner may initiate a CUP revocation hearing pursuant to Visalia Municipal Code Section No. 17.38.040, based on documented evidence of failure to comply with any conditions of:~~
  - a. ~~Conditional Use Permit No. 2011-24.~~
  - b. ~~Conditions and Requirements of the Alcoholic Beverage Control license for the business.~~
  - c. ~~All applicable federal, state and city laws, codes and ordinances.~~
11. ~~A Security Plan for events within the building and outdoor recreation area be approved by, and filed with the Visalia Police Department (VPD).~~
  - a. ~~The Plan shall indicate the location and types of barriers, any added personnel and other security measures to assure the separation of events which serve alcoholic beverages, from patrons when the park is open to the public.~~
  - b. ~~The establishment shall correct any safety or security problem as soon as possible after receiving written notice of such problem from the VPD.~~
  - c. ~~Contact information for the establishment's designated contact person for all safety and security shall be provided to the VPD District Commander. The operator shall also provide the telephone number for direct contact with the business during business hours.~~
12. All applicable federal, state, and city laws and codes and ordinances be met, including all necessary licenses from the California Department of Alcohol Beverage Control which shall be obtained, kept current and complied with.
13. ~~All of the conditions and responsibilities of Conditional Use Permit No. 2011-24 shall run with the land.~~ The property owner and business operator shall provide a copy of this

resolution and conditions of approval to any and all subsequent owners/operators who shall also be subject to all of the conditions herein, unless amended or revoked.

- ~~14. Subsequent owners/operators of the facility who chose to utilize this CUP for beer and wine service shall sign a letter of acceptance stating that they understand and agree to all the conditions of Conditional Use Permit No. 2011-24.~~
15. The applicant shall submit to the City of Visalia a signed receipt and acceptance of conditions, stating that they understand and agree to all the conditions of Conditional Use Permit No. 2011-24.
16. The property owner shall record in the office of the Tulare County Clerk-Recorder's Office a document in a form acceptable to the City which includes the Planning Commission's resolution of, and conditions for, approval for the proposed uses granted through this Conditional Use Permit. A conformed copy of said recorded document shall be provided to the City's Planning Division prior to commencing operation of the proposed uses.

### **Resolution 2003-93**

1. That the proposed facilities shall be generally consistent with the site plan (Exhibit "A").
2. That the proposed facility shall operate in substantial compliance with the operational statement in Exhibit "B".
3. That the sale of beer and wine is prohibited.
4. That the facility shall comply with the City of Visalia Noise Ordinance at all times.
5. That all noise generating mechanical equipment be located inside a building or screened with a sound barrier.
6. Those outdoor party events at the park shall be regulated so that amplification is limited so that noise levels do not exceed the levels within the City of Visalia Noise Ordinance.
7. That should the noise levels exceed the allowable levels in the Noise Ordinance the noise generating activities shall cease operations including but not limited to the mini cars or amplified music.
8. That the mitigation measures found within the Mitigation Monitoring Plan for the Village West Commercial Development are hereby incorporated as conditions of this conditional use permit, as amended to include the usage of electric cars in lieu of the depressed track and a block wall.
9. That the applicant provides adequate parking for employees and customers at all times.
10. That additional parking is provided in the event that the 178 spaces provided are inadequate during peak times or cause overflow to adjacent property owners parking. The parking shall be reviewed upon a complaint of adjacent property owners. Upon such review the City shall factually quantify the parking deficiency and impact on adjacent properties and provide the applicant with its report; where after, the applicant shall propose a remedy to meet the parking requirement. The determination of the parking deficiency shall be in general conformance with the peak hour and average hour parking methodologies used to establish parking standards for other uses in the City.
11. That any future parking agreement that may be proposed by the applicant to satisfy condition 10, shall be approved by the City of Visalia and be limited to uses or properties that have excess parking during peak entertainment park hours.
12. That any expansion or change in operation of the entertainment park will require an amendment to the Conditional Use Permit.

- ~~13. That construction around the Oak Tree is in accordance with the City of Visalia Oak Tree Ordinance and the adopted Standard Specifications for Building around Valley Oaks.~~
- ~~14. That the riparian setback along the Persian Ditch be landscaped by the applicant in accordance with the Conservation, Open Space Recreation and Parks Element of the General Plan.~~
- ~~15. That signage will require a separate permit and shall meet the requirements of the Village West Design Guidelines. Resolution No. 2003-93~~
- ~~16. That the conditional use permit will be reviewed annually for the project's compliance with the conditions contained herein, and a report prepared to the Planning Commission on such compliance...~~
17. That all applicable city codes and ordinances be met.
- ~~18. That the applicant submit to the City of Visalia a signed receipt and acceptance of conditions from the applicant and property owner, stating that they understand and agree to all the conditions of Conditional Use Permit No. 2003-39~~

# LUCKY X STRIKE

January 8, 2026

Re: Security Plan  
Visalia Adventure Park  
5600 W. Cypress Ave.  
Visalia, CA 93277

### **CCTV Surveillance System**

An IP surveillance system with 51 cameras has been installed throughout the main building, waterpark building, and the grounds. All cameras can be viewed remotely by Lucky Strike Operations and Loss Prevention through our connection to our Network. All video is captured on a ClickIt brand Network Video Recorder (NVR) using high-resolution IP cameras and will have a commercially reasonable retention period. Additional details, including information regarding camera locations and its video surveillance protocols, can be shared with the Visalia Police Department upon request.

### **Building Security & Burglar Alarm System**

Wireless burglar alarm systems have been installed at the park in the main building, water park building, and Go Kart building. These systems communicate to central station using a network (primary) and cellular (backup) connections. There are contacts on all perimeter doors and motion sensors have been installed throughout the buildings. All perimeter doors will be secured (locked) when the premises are unoccupied. Associate only areas are marked with signage and access is limited to associates only.

### **Security Guards**

Historically, there has been no apparent need to include security guards at Adventure Park, therefore, there is no current plan to staff security guards at this location. That said, the security plan is flexible and can expand as necessary due to special events or other business needs.

### **Conflict De-Escalation Training**

All newly hired associates are required to complete a Conflict De-Escalation training module. This module must be completed annually by every associate. Some of the guidelines covered in this module include but are not limited to:

1. Never leave the center for incidents occurring in the parking lot. Call the police.
2. When approaching a potential conflict, always remain calm, speak in a calm voice and try to separate the conflicting parties. Hourly associates must always report potential conflicts to management to address.
3. If violence is imminent, inform the parties that the police are being called, and then call the police. Never try to bluff on calling the police.
4. If there is a threat or act of violence against any associate, separate the associate and move them to a secure room or office. Make sure they stay there, and the police are called.
5. We have a Zero Tolerance policy for violence of any kind, so call the police on any violent conflicts, and especially when an associate is assaulted.

**NOTICE OF EXEMPTION**

City of Visalia  
315 E. Acequia Ave.  
Visalia, CA 93291

To: County Clerk  
County of Tulare  
County Civic Center  
Visalia, CA 93291-4593

Conditional Use Permit No. 2025-36

**PROJECT TITLE**

5600 West Cypress Avenue, located on the north side of West Cypress Avenue, west of South Akers Avenue (APN: 874-500-19)

**PROJECT LOCATION**

Visalia

**PROJECT LOCATION - CITY**

Tulare

**COUNTY**

A request to allow for the sales, service, and consumption of distilled spirits at the Adventure Park facility.

**DESCRIPTION - Nature, Purpose, & Beneficiaries of Project**

City of Visalia, 315 E. Acequia Avenue, Visalia, CA 93291, Attn: Jarred Olsen. Phone: (559) 713-4449. Email: [Jarred.Olsen@visalia.gov](mailto:Jarred.Olsen@visalia.gov)

**NAME OF PUBLIC AGENCY APPROVING PROJECT**

Lucky Strike Visalia, LLC, 7313 Bell Creek Road, Mechanicsville, VA 23111

**NAME AND ADDRESS OF APPLICANT CARRYING OUT PROJECT**

Stephen Allen Jamieson, Solomon, Saltsman, and Jamieson, 426 Culver Blvd, Playa Del Rey, CA 90293

**NAME AND ADDRESS OF AGENT CARRYING OUT PROJECT**

**EXEMPT STATUS:** (Check one)

- Ministerial - Section 15073
- Emergency Project - Section 15071
- Categorical Exemption - State type and Section number: **Section 15301**
- Statutory Exemptions- State code number:

Approval of the Conditional Use Permit would result in a wider variety of alcoholic beverages to be served to its patrons, and therefore would be a negligible expansion of the current use. None of the exceptions of Section 15300.2 of the CEQA Guidelines would apply.

**REASON FOR PROJECT EXEMPTION**

Jarred Olsen, Principal Planner

**CONTACT PERSON**

(559) 713-4449

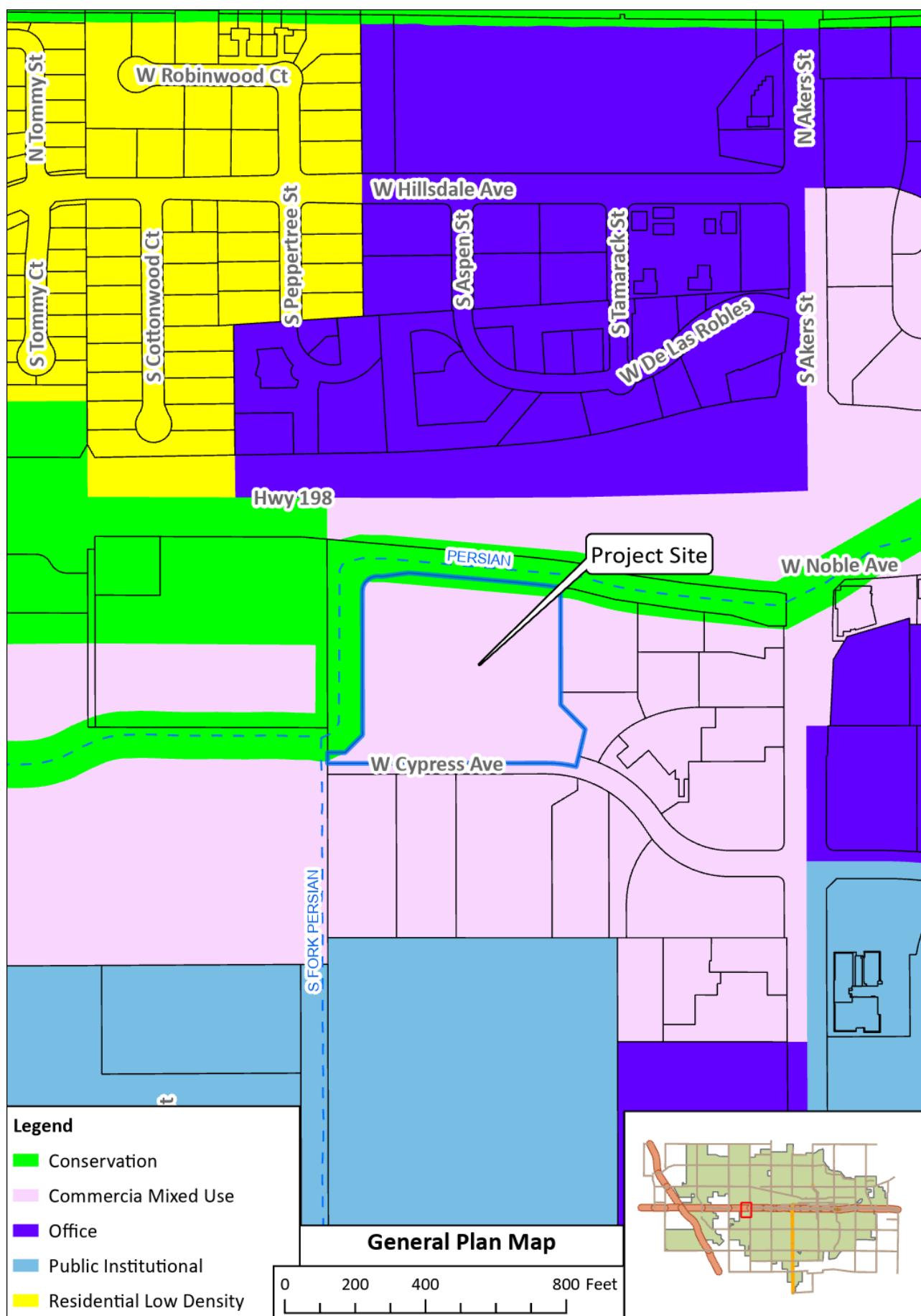
**AREA CODE/PHONE**

January 6, 2026

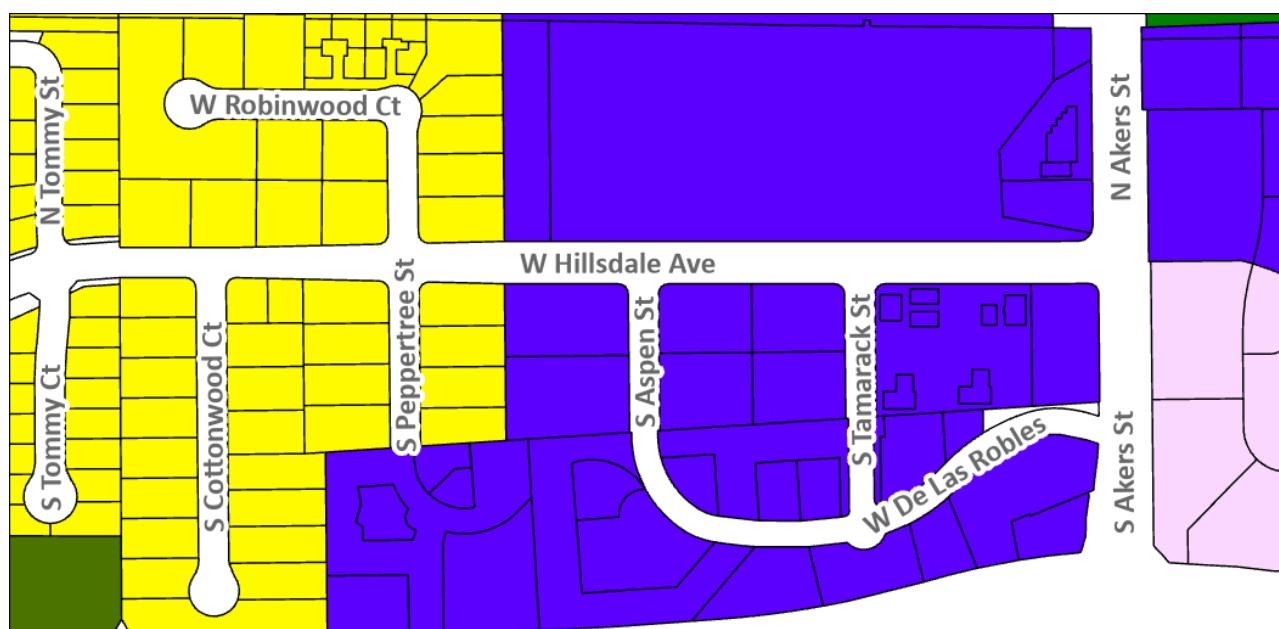
**DATE**

Jarred Olsen, AICP  
Principal Planner

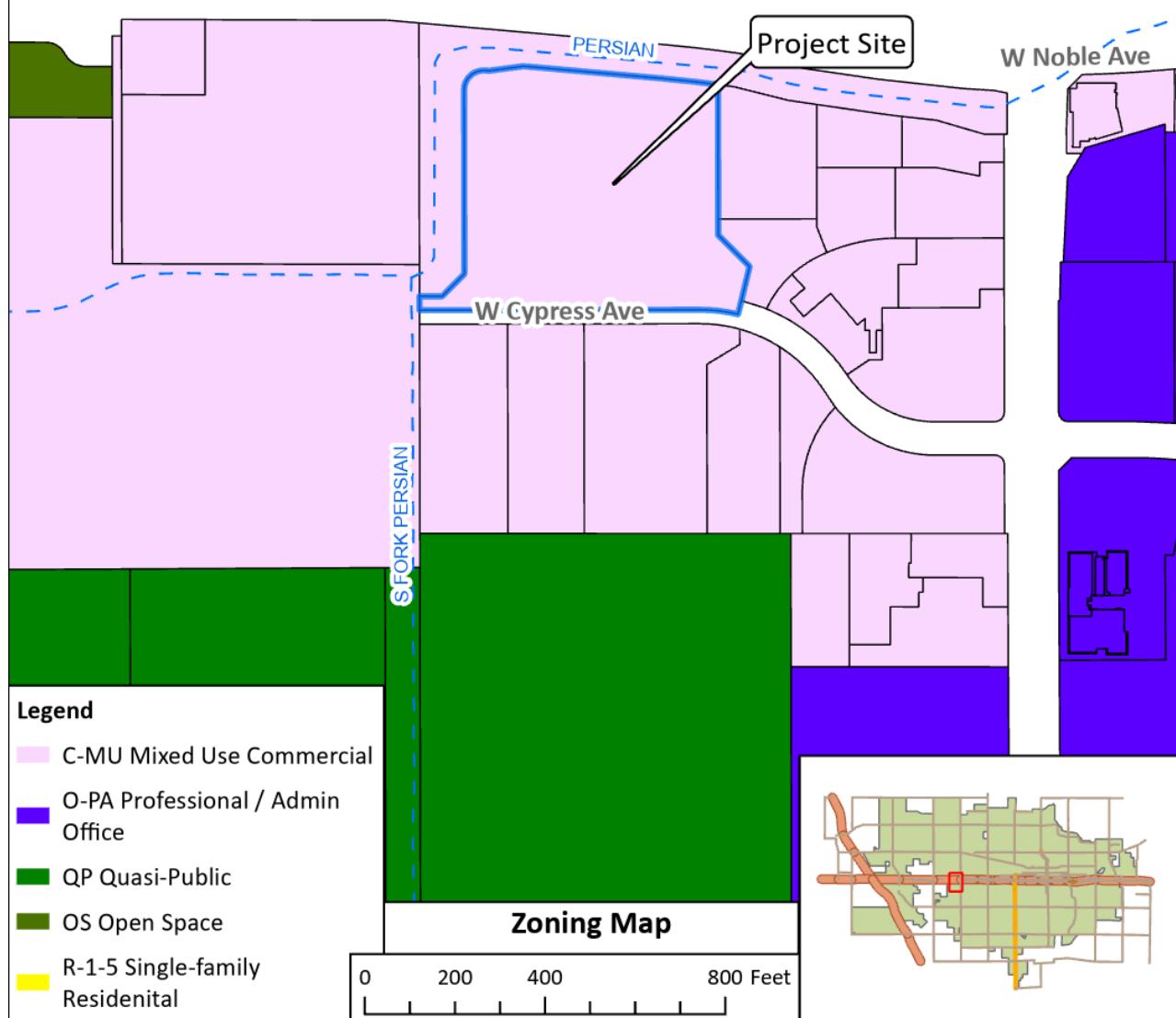
## General Plan Land Use Map



## Zoning Map



Hwy 198



## Aerial Map



Aerial Map

0 200 400 800 Feet



ENGINEERING & BUILDING

# Traffic Impacts

Presenter: Leslie Blair

Audience: Planning Commission

Date: January 12, 2026



**ENGINEERING & BUILDING**

# How Engineering Evaluates Development Impacts on City Traffic



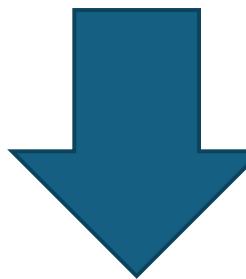
## TRAFFIC ENGINEERING

# Key Responsibilities

- Review development applications for traffic impacts.
- Ensure compliance with city and state standards.
- Recommend mitigation measures or improvements.



# SPR Development PROCESS



Application Submitted



Traffic Impact Analysis TIA

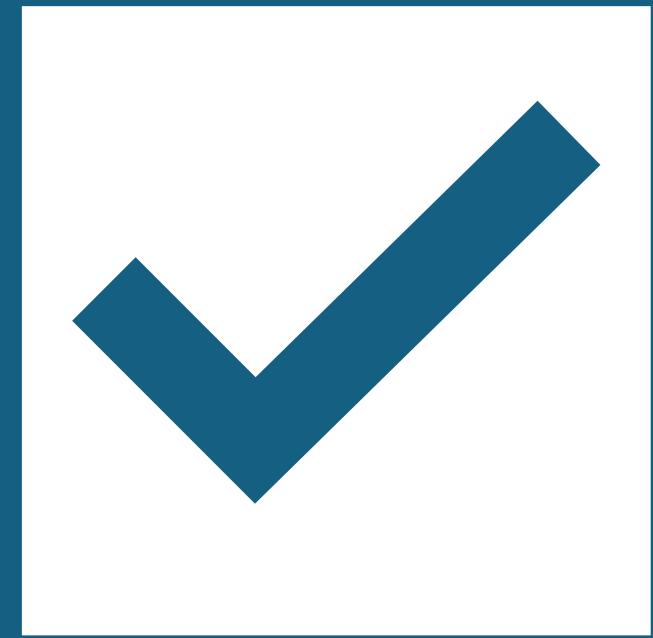


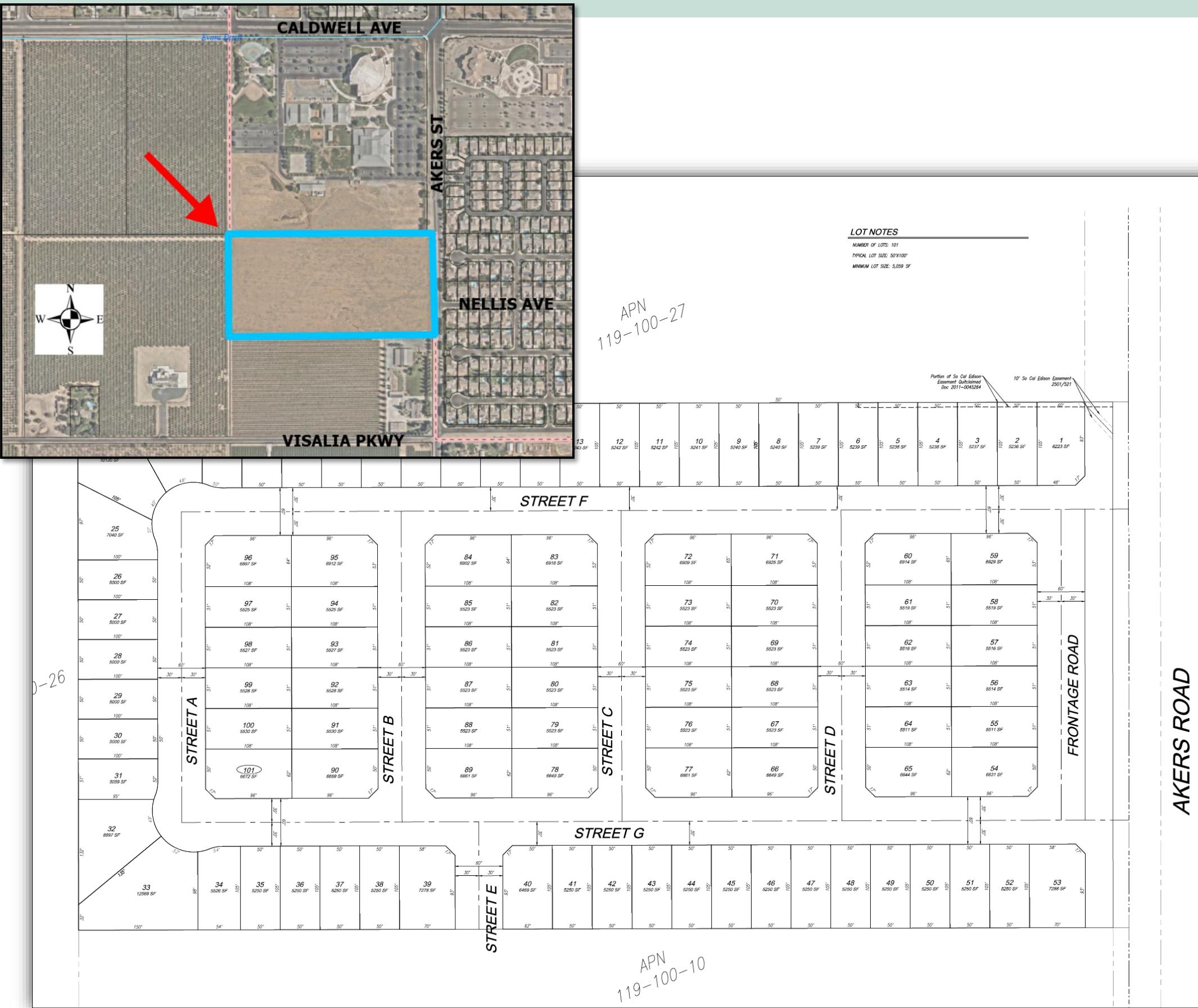
Mitigations & Conditions of Approval

## TRAFFIC ENGINEERING

# Application Submittal

- Developer submits application
- SPR meets weekly



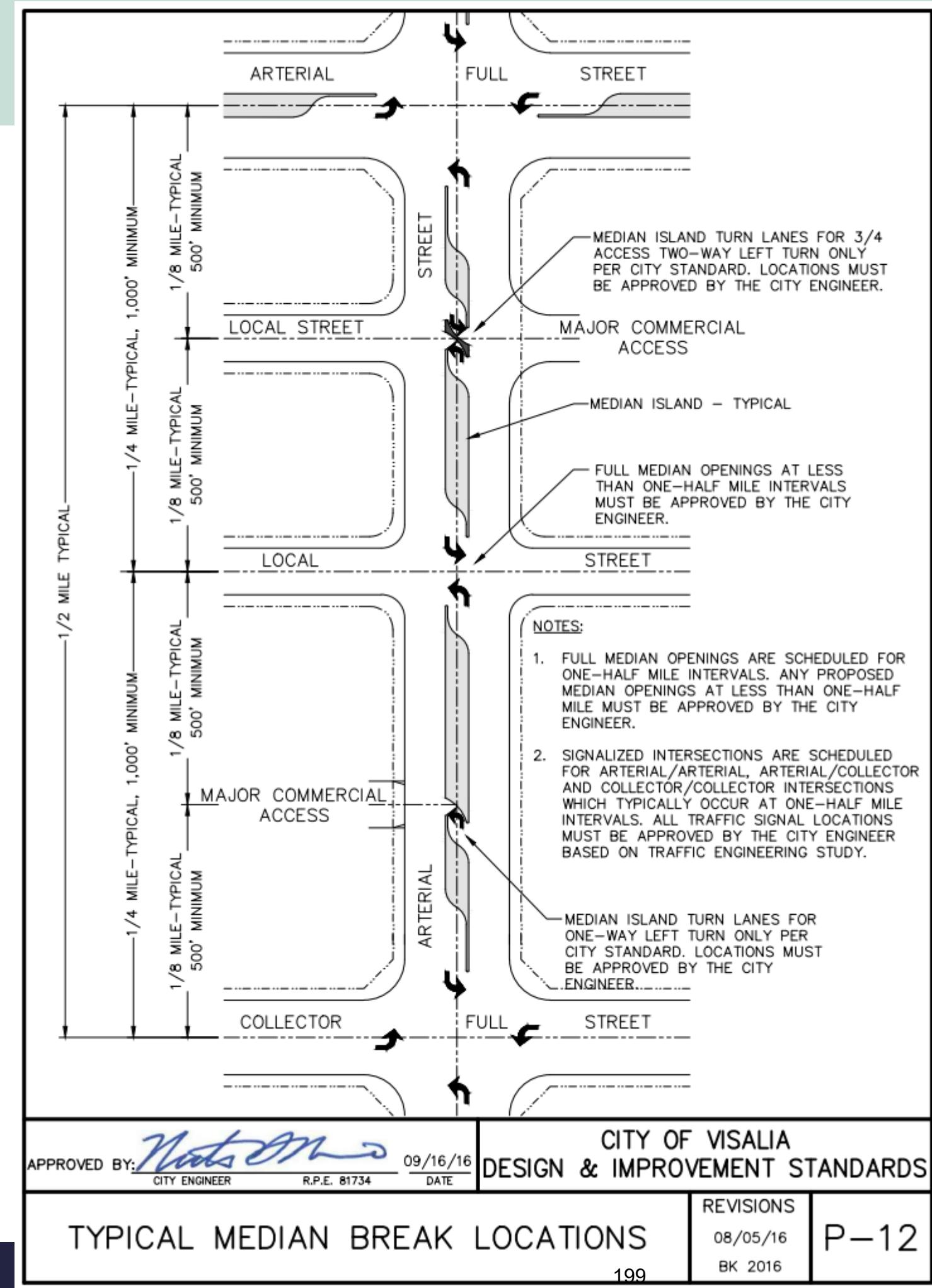

**SITE PLAN REVIEW COMMENTS**
**CITY OF VISALIA TRAFFIC SAFETY DIVISION**
**November 5, 2025**
**ITEM NO: 4**
**Added to Agenda**
**MEETING TIME: 09:45**
**SITE PLAN NO: SPR25239**
**ASSIGNED TO: Cristobal Carrillo [Cristobal.Carrillo@visalia.gov](mailto:Cristobal.Carrillo@visalia.gov)**
**PROJECT TITLE: Sage Crest**
**DESCRIPTION: 101 Unit Single-Family Residential Development.**
**APPLICANT: Sonia Ho - Applicant**
**Alex Martinez - Applicant**
**OWNER: CH-FIRST ASSEMBLY OF GOD OF VISALIA**
**APN: 119100009**
**LOCATION: West of the intersection of S. Akers Street and W. Nellis Avenue.**
**THE TRAFFIC DIVISION WILL PROHIBIT ON-STREET PARKING AS DEEMED NECESSARY**

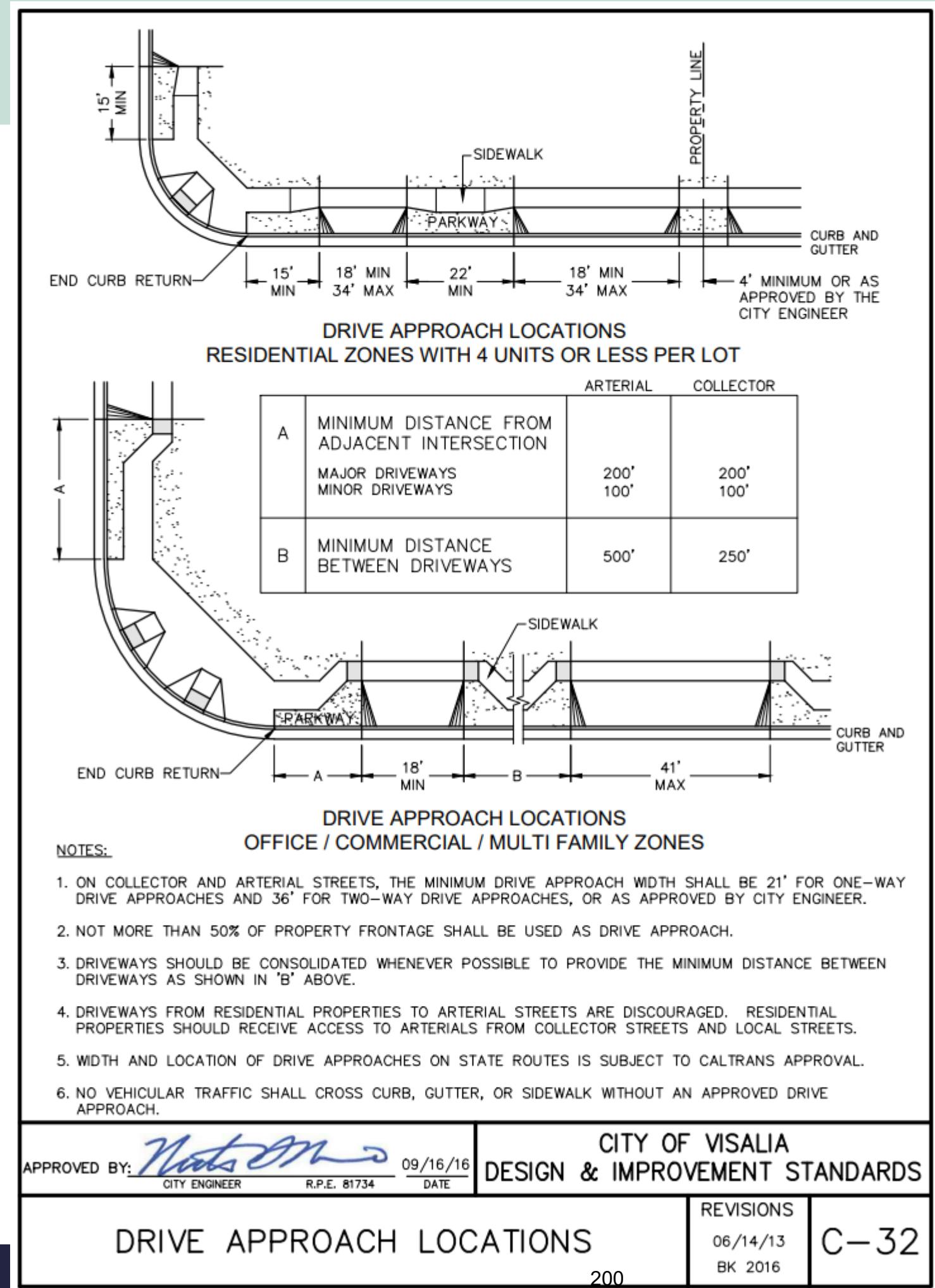
- No Comments
- See Previous Site Plan Comments
- Install Street Light(s) per City Standards at time of development.
- Install Street Name Blades at Locations at time of development.
- Install Stop Signs at ***local road intersection with collector/arterial*** Locations.
- Construct parking per City Standards PK-1 through PK-4 at time of development.
- Construct drive approach per City Standards at time of development.
- Traffic Impact Analysis required (CUP)
  - Provide more traffic information such as . Depending on development size, characteristics a TIA may be required.
- Additional Traffic information required (non-discretionary).
  - Trip Generation – Provide documentation as to concurrence with General Plan.
  - Site Specific – Evaluate access points and provide documentation of conformance with COV standards. If noncomplying, provide explanation.
  - Traffic Impact Fee (TIF) Program – Identify Improvements needed in concurrence with TIF.

**Additional Comments:**

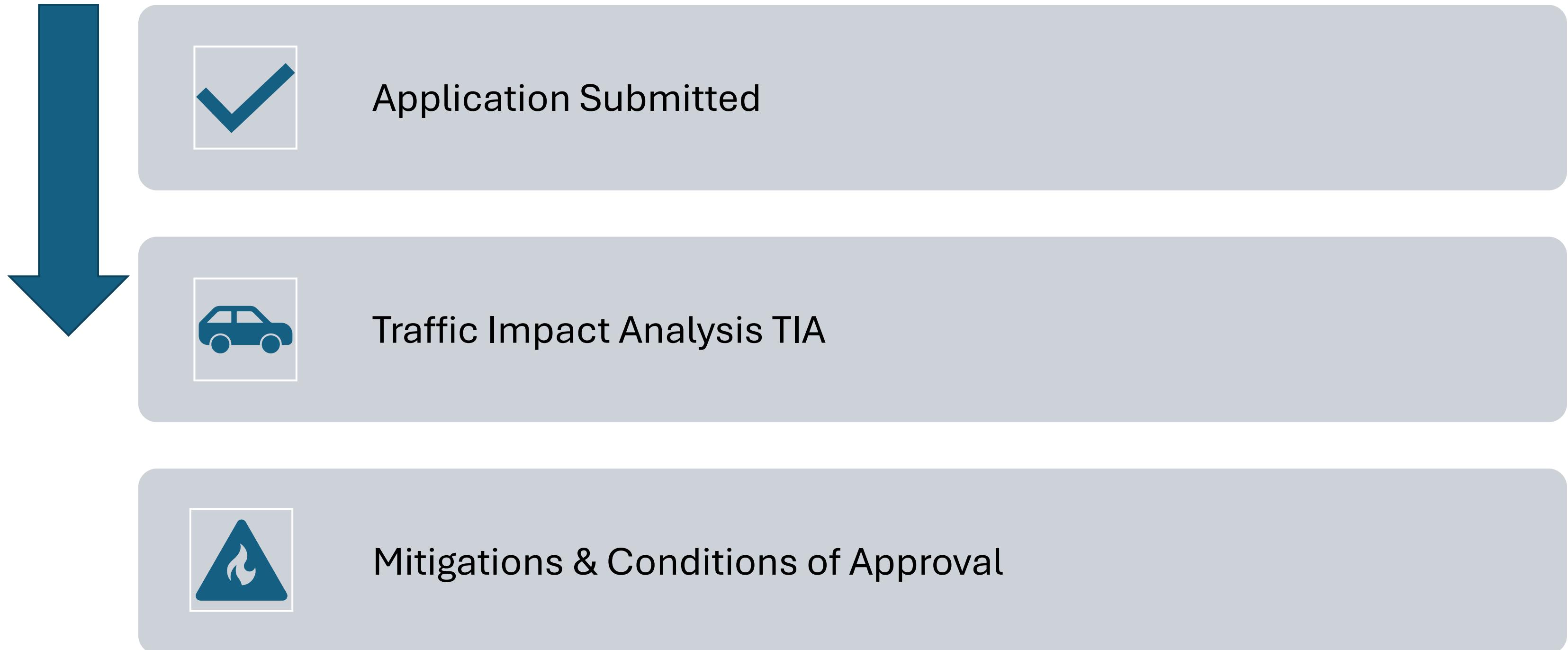
- Street G to align with Nellis Ave.
- Akers is an arterial status roadway. Center median restrictions will apply. % access at Nellis (Street G) will allow right in/out and left in only. No left outs. No median break on Akers at Street F.
- Provide superblock connectivity to the west.


  
Leslie Blair





# SPR Development PROCESS



## TRAFFIC ENGINEERING

# Traffic Impact Analysis TIA

### **City of Visalia**

### **Traffic Impact Analysis TIA Procedures**

- 1) Local Transportation Analysis LTA
  - LOS metric
  - Traffic Operations, Congestion
- 2) CEQA Analysis
  - VMT metric
  - GHG Reduction



## TRAFFIC ENGINEERING

# Why Level of Service?

### Circulation Element

- **GOAL 1** – To provide an integrated transportation system for the safe and efficient movement of people and goods in the Visalia planning area Projected trip generation



### Useful Tool

- Identify potential problems
  - Congestion
  - High accident experience
  - Inadequate site access

# City of Visalia Traffic Impact Procedures

## Determination

- Projected Trip Generation
- Thresholds – Table 1

## Scope of Work

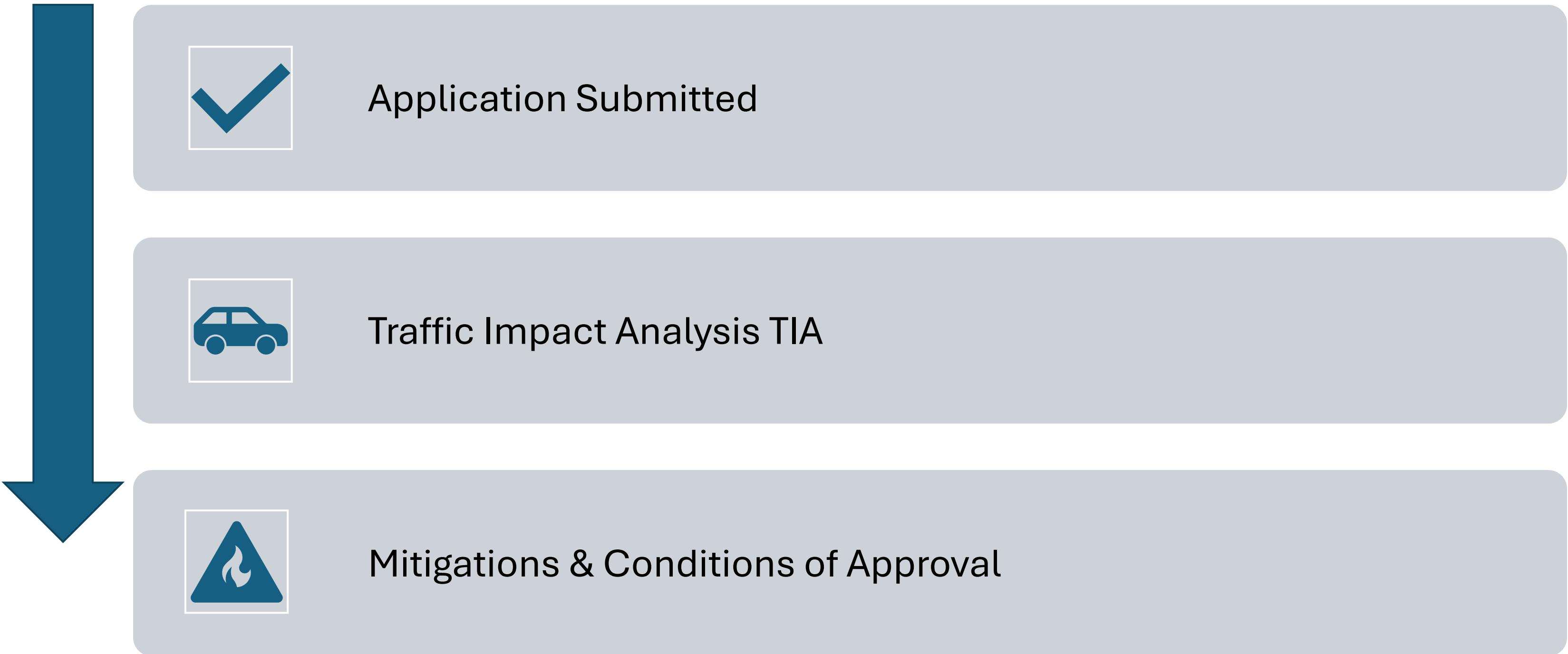
- Analysis Category
- Horizon Years
- Study Area

**TABLE 1**

Analysis Category	Development Characteristic (a)(f)	Study Horizons (b)	Minimum Study Area (c)(d)(e)
I	Traffic Impact Statement Less than 100 peak hour trips (Not required for residential)	• Opening year	<ul style="list-style-type: none"> <li>• Site access drives</li> <li>• Any existing driveways or intersections in the vicinity</li> </ul>
II	Small Development 100-499 peak hour trips  Residential Development 200-499 peak hour trips	• Opening year • 5 year	<ul style="list-style-type: none"> <li>• Site access drives</li> <li>• All major intersections within 1/2 mile of the study site, either signalized or unsignalized</li> <li>• All driveways/intersections where traffic movements could be affected by new driveway traffic movements</li> <li>• Additional locations as requested by the reviewing agency</li> </ul>
III	Moderate Development 500-999 peak hour trips	• Opening year • 5 year • 10 year	<ul style="list-style-type: none"> <li>• Site access drives</li> <li>• All major intersections within 1 mile, either signalized or unsignalized</li> <li>• All driveways/intersections where traffic movements could be affected by new driveway traffic movements</li> <li>• Additional locations as requested by the reviewing agency</li> </ul>
IV	Large Development 1000-1500 peak hour trips	• Opening year • 5 year • 10 year • 20 year	<ul style="list-style-type: none"> <li>• Site access drives</li> <li>• All major intersections within 1 mile, either signalized or unsignalized</li> <li>• All driveways/intersections where traffic movements could be affected by new driveway traffic movements</li> <li>• Additional locations as requested by the reviewing agency</li> </ul>
V	Regional Development 1500 plus peak hour trips	• Opening year • 5 year • 10 year • 20 year	<ul style="list-style-type: none"> <li>• Site access drives</li> <li>• All signalized intersections and major street intersections without signal control within 3 miles,</li> <li>• All driveways/intersections where traffic movements could be affected by new driveway traffic movements</li> <li>• Additional locations as requested by the reviewing agency</li> </ul>

- (a) The developer should first estimate the number of vehicle trips that will be generated by the proposed development and provide this information along with the other suggested study elements of the Traffic Impact Analysis to the City for review and approval prior to the start of any work.
- (b) Assume full occupancy and build-out for single-phase developments. Multi-phase developments may require assessment of up to three (3) horizon years corresponding to key phases as directed by the City Engineer.
- (c) An enlarged study area may be required when the minimum study areas identified in Table 1 do not provide sufficient information to meet the intent of the TIA guidelines.
- (d) Vicinity (where traffic movements could be affected) shall be the area along the perimeter of and adjacent to the development.
- (e) Intersections, if just outside of the designated radius of site to be studied, shall also be included in the study area.
- (f) For residential developments, TIA not required unless generating 200 or more peak hour trips.

# SPR Development PROCESS



# Mitigation Strategies

## Typical Measures

- Intersection improvements (turn lanes)
- Access management (driveway consolidation, restrictions)
- Change in traffic control (STOP signs, Signal)
- Off-site improvements



## Timing of Improvements

- Opening year, Horizon year?
- Plan for Capital Projects

TRAFFIC ENGINEERING

# QUESTIONS & ANSWERS





Thank you  
for your time.





## REPORT TO CITY OF VISALIA PLANNING COMMISSION

**MEETING DATE:** January 12, 2026

**PROJECT PLANNER:** Jarred Olsen, Principal Planner  
Phone: 559-713-4449  
Email: [jarred.olsen@visalia.city](mailto:jarred.olsen@visalia.city)

**SUBJECT: Work Session Discussion - Initiation of Subdivision Ordinance Amendment:**  
Provide staff direction toward initiating a text amendment within Visalia Municipal Code Title 16 (Subdivision Ordinance) based on multiple factors including, but not limited to:

- Changes in planning and zoning law
- Consistency with Zoning Ordinance changes
- Streamlining of subdivision review

### STAFF RECOMMENDATION

Staff recommends that the Planning Commission receive this staff report, presentation, and provide input that will be shared with City Council on a potential request to initiate a zone text amendment.

### RECOMMENDED MOTION

I move to recommend that City Council initiate a text amendment.

**Alternative:** I move to direct staff to return at a future Planning Commission meeting with additional information as requested by the Planning Commission.

### BACKGROUND INFORMATION

#### Subdivision Map Act Changes

The California legislature has made several changes to the Subdivision Map Act with the intent on streamlining the process for “missing middle” housing—that is, housing that meets the density identified in the General Plan but also have difficulty developing due to a site’s small size. “Missing middle” housing can consist of duplexes, triplexes, quadplexes, zero lot line homes, and townhouses.

#### Senate Bill (SB) 9 (2021) and Related Bills

SB 9 created a ministerial process to allow for “urban lot splits”, which is a subdivision process only applicable on single-family residential lots to create two lots, regardless of density. So long as the urban lot split meets the specified requirements, these applications must be approved. Since 2021, the City has only received a handful of applications, contrary to the staff’s previous expectations. Amending the City’s Subdivision Ordinance to address urban lot splits will help both applicants and staff understand the process. To date, the City has already updated its Zoning Ordinance to identify the allowance of the other half of SB 9, duplexes on single-family residential lots. Assembly Bill (AB) 1061, adopted last year, further requires the approval of urban lot splits in Historic Districts, again so long as certain criteria have been met.

- Must be located in a R-S zone (R-1-5, R-1-12.5, R-1-20)
- Must not be located in the following areas:
  - Prime farmland or farmland of statewide importance

- Wetlands
- Unless certain conditions have been met:
  - A very high fire hazard severity zone
  - A listed hazardous waste site
  - A delineated earthquake zone
  - A 100-year floodplain
- Land identified for conservation in an adopted federal conservation plan
- Land under conservation easement
- Does not propose to demolish or alter:
  - Housing occupied by a tenant in the last three years
  - Deed-restricted affordable housing
  - Parcel(s) that underwent an Ellis Act eviction in the past 15 years
  - a contributing structure in a historic district
- No adjacent parcel urban lot splits by same owner or applicant
- Property has not been previously subdivided through an urban lot split

#### Assembly Bill 803 (2021) and Related Bills

Similar to SB 9, the Starter Home Revitalization Act of 2021 (approved as AB 803 in 2021) requires the approval of “missing middle” housing on small lots. It first established that single-family residential subdivisions on small sites zoned for multifamily uses, meeting maximum densities or those identified in the Housing Element, must be approved ministerially without a hearing. Over time, this Act has been amended by SB 684 (2023), SB 1123 (2024), and AB 130 (2025) to include small subdivisions of 10 units or less on small single-family and multi-family zoned land. Below is a summary of each bill’s change.

<b>Bill</b>	<b>Legislative Change</b>
AB 803 (2021)	Requires approval of a subdivision of single-family housing units on multifamily zoned land of 5 acres or less. Must meet certain density requirements, in addition to setbacks of the parcel prior to subdivision.
SB 684 (2023)	Included ministerial approval of 10-lot / 10-unit subdivisions on multifamily zoned land of 5 acres or less.
SB 1123 (2024)	Included ministerial approval of 10-lot / 10-unit subdivisions on single-family zoned land of 1.5 acres or less.
AB 130 (2025)	Allows for a designated remainder to accompany a 10-lot subdivision.

#### **Housing Element Changes**

The 6<sup>th</sup> Cycle Housing Element identified some new policies and programs to help further promote the development of housing. These are as follows:

- HE Policy 1.4 – The City shall encourage a mix of residential development types in the city, including single-family homes, on a variety of lot sizes, as well as townhomes, row houses, live-work units, planned unit developments, accessory dwelling units, and multi-family housing.

SB 9 and AB 803 both promote these housing types by streamlining the process but also allowing small lot residential without the need for a Planned Residential Development permit. These bills also created a ministerial process negating the need for environmental review or a public hearing.

- HE Policy 5.8 – The City shall work to remove governmental constraints to housing development.

Governmental constraints can be a multitude of items—regulations, fees, exactions, development standards, and processes (both in terms of time and discretion)—each of these may play a minor part individually, but cumulatively their effects could be large. Discretionary and lengthy processes add a level of risk to the housing developer, who has to worry about things like interest rates, the cost of materials and labor, and financing requirements. Together these governmental constraints can increase costs or reduce the amount of housing produced.

- HE Program 1.3 Conditional Use Permit Process – “[...] In response to current constraints identified by stakeholders related to multi-family development on large lots, the City shall amend the zoning code to establish objective design standards and increase the maximum unit threshold for by-right processing from 80 units to 200 units.”
- HE Program 3.17 Planning for Large Sites – “[...] adopt incentives to encourage the development of large RHNA sites (over 10 acres) potentially including, but not limited to, expedited approval of lot splits or creation of new parcels; waiving of the public hearing requirement related to parcel maps [...]”

### Overview of Current Subdivision Review Process

Subdivisions, such as a tentative subdivision map (TSM) or tentative parcel map (TPM), currently go through a two-step process. First, subdivisions are reviewed by the Site Plan Review staff for consistency with existing regulations and review the design for potential conflicts. Depending on the amount of revisions necessary, this can be an iterative process. Once the plan has been sufficiently revised, the proponent is given permission to proceed with the submission of formal entitlement applications, including a Tentative Subdivision or Tentative Parcel Map, and environmental review. Environmental review, depending on the size and scope of the project, can be short or long. For example, a project that needs to be annexed into the City, proposes to change its zoning district and/or General Plan land use designation, or entails several hundred parcels can take several months to a year to complete. Once environmental review has been completed, a public hearing occurs for the proposed subdivision at your Planning Commission.

The table below explains the process for each subdivision type.

Existing Review Authorities and Roles for Subdivision Decisions				
Type of Subdivision Application	Director			
	Director	SPR Committee	Commission	Council
Tentative Subdivision Maps (>5 Lots)	Recommend	Advise	Decision (Hearing)	Appeal
Tentative Parcel Maps (< 4 Lots)	Recommend	Advise	Decision (Hearing)	Appeal
Parcel Maps (for Large Sites)	Decision	Advise	Appeal	Appeal
Condominium Conversions	Recommend	Advise	Decision (Hearing)	Appeal
Time Extensions	Recommend		Decision (Meeting)	Appeal

### Public Hearings, Regular Items, Public Meetings

A public meeting does not mandate a public hearing, but a public hearing cannot be held without a public meeting. Currently, all tentative maps are required to be heard at a public hearing by Planning Commission. A public hearing is a special process that occurs at a public meeting. Public hearings require a minimum 10-day notice in a newspaper of general circulation (i.e. the Visalia Times-Delta) in addition to a mailer to property owners (in Visalia's case, the City includes occupants or tenants) within 300 feet of the subject property before the hearing can be held.

During the public hearing, the general public has the opportunity to comment specifically on the project.

A regular item listed on a public meeting's agenda simply requires that the agenda be posted 72 hours before the meeting, and no special attention needs to be given to a regular item. These "regular" items do not require that each individual item be opened up to a public hearing. Some of these items are often approved on a "consent calendar", where the opportunity to comment on these items occurs typically at the beginning of the meeting. The approving body can make a single motion, approving multiple items at one time. The approving body also has the discretion to "pull" a consent item to request more information on it and to seek public comment specifically on the item.

To that end, the Subdivision Map Act does not mandate that all subdivisions be decided at a public hearing. The only required exceptions are those that require a public hearing — appeals, condominium conversions, mobile home park conversions, and other subdivision-related proceedings that are rare or unlikely to occur. Only in the unlikely event in our lifetime that Visalia has a population of 2.8 million persons would a public hearing be required by State law.

### **What Do Other Jurisdictions Do?**

The table below describes what other jurisdictions, including area and larger jurisdictions, require for subdivisions.

<b>Review Authorities for Subdivision Decisions by Area Jurisdiction</b>			
<b>County</b>	<b>Jurisdiction</b>	<b>Parcel Maps</b>	<b>Subdivision Maps</b>
Tulare	City of Tulare	Parcel Map Committee	Planning Commission
Tulare	County of Tulare	Planning Commission	Planning Commission
Tulare	City of Farmersville	Planning Commission	Planning Commission
Tulare	City of Woodlake	Planning Commission	Planning Commission
Tulare	City of Porterville	City Council	City Council
Tulare	City of Dinuba	Planning Commission	Planning Commission
Kern	City of Bakersfield	Planning Commission	Planning Commission
Kings	City of Hanford	Planning Commission	Planning Commission
Kings	City of Lemoore	Planning Commission	Planning Commission
Kings	City of Corcoran	Planning Commission	Planning Commission
Fresno	City of Fresno	Planning Director	Planning Commission
Fresno	City of Clovis	Planning Director	Planning Commission
Fresno	County of Fresno	Planning Commission	Planning Commission
Fresno	City of Fowler	City Council	City Council
San Francisco	San Francisco	Public Works Director	Public Works Director
Los Angeles	City of Los Angeles	Planning Commission	Planning Commission

As described above, there are a few jurisdictions that approve parcel maps through a Parcel Map Committee. Typically, these committees are staffed by the Planning, Public Works, and Engineering Directors. In a sense, these are reviewed very much like the City's Site Plan Review staff. Also shown above, some jurisdictions allow their Directors to approve tentative maps, negating the need to have a formal meeting to take action on a tentative map.

## What Does the Subdivision Ordinance / Subdivision Map Act Do?

Prior to standardizing how land should be subdivided, land could be “divided” in a manner that could often result in a project that could not be feasibly developed due to impractical design. Case in point, the community of Cayucos, a location that many Visalians are familiar with, has two subdivisions that total over 2,500 lots approved in the early 1920s, well before the Subdivision Map Act that we benefit from today. As depicted in Figure 1, the vast majority of these lots lack nearly all infrastructure to support development. While land was dedicated for public streets, roads were not constructed and water or sewer mains were never installed. These subdivisions also did not take the area’s topography into

consideration, resulting in steep or lateral slopes that cannot accommodate emergency vehicles, or even the typical automobile. Lots that were intended to be developed generally cannot without significant regrading of the land, or intensive civil engineering efforts. Given the significant number of obstacles, the land was redesignated as Open Space and a local conservancy group has purchased about a quarter of these lots to preserve the open space nature of the area.



Figure 1

The Subdivision Map Act, rooted in legislation from 1907, was not much more than requiring the accurate subdivision of land to ensure that titling the property was without issue. In the 1970s, regulations on subdivisions expanded significantly to ensure that design (street alignments, grade, widths, minimum lot area and width) and improvements (street work and utilities) were installed.

Jurisdictions in California have come a long way since then, establishing engineering standards and specifications, requiring performance bonds for deferred improvements, and establishing minimum lot standards.

The City’s Subdivision Ordinance, which implements the Subdivision Map Act, regulates the design and improvements of subdivisions to ensure that safety is maintained. This includes street alignments, grades, widths, drainage and sanitary facilities and utilities, location and size of all easements and rights-of-way, lot sizes and configuration, traffic access, fire roads, land for park or recreational purposes, and the improvements upon those areas. The recordation of the subdivision map also serves the purpose of creating ease in titling the property.

The tentative map is essentially a planning document, or a site plan, that describes the general location of streets, lots, parks, and other improvements and their relation to the land around them. Lots associated with an approved tentative map can sometimes be referred to as “paper lots”.

A final map or parcel map is in a sense the “building permit” of a subdivision. These get into the nuts and bolts of the subdivision, whether it be the dedication of land for public streets, easements for utilities, and the placement and grading of utilities and roads. Improvements are required to be installed before a Final Map is recorded and lots are able to be sold, or an agreement be entered into with the City that requires a performance bond or some other security to ensure that public improvements are constructed. Once a final map or parcel map is recorded, and the improvements are completed (resulting in “finished lots”), lots in the resulting subdivision are able to be conveyed for sale, lease, or finance.

### **City of Visalia Standards Regulated in the Subdivision Ordinance**

The City’s Subdivision Ordinance and development standards are designed to implement the General Plan and ensure that subdivisions are designed safely and meet community standards. Below is a brief list of items that the Subdivision Ordinance and engineering standards regulate.

<b>Regulation</b>	<b>Source</b>
Connections to existing streets and future streets	VMC § 16.12.010(C) and City of Visalia Standard P-15
Dedication of land for major streets identified in the General Plan	VMC § 16.12.010(A)
Safe separation of streets	VMC § 16.12.010(D)
Intersection Design	VMC § 16.12.010(E)
Intersection Sight Distance	City of Visalia Standard SD-1 to SD-3
Maximum distance of dead-end streets and cul-de-sacs	VMC § 16.12.010(G)
Minimum curve radii for streets	VMC § 16.12.010(H)
Waiver of direct access onto arterials	VMC § 16.12.010(L)
Maximum block lengths and widths	VMC § 16.12.040
Minimum lot frontages, widths, and area	VMC § 16.12.050
Dedication and separation of/from watercourses, channels, streams and creeks	VMC § 16.12.080
Temporary and/or permanent stormwater retention ponds	VMC § 16.12.090
Widths of streets	City of Visalia Standard P-1 to P-6
Center turn lanes	City of Visalia Standard P-10 to P-13
Minimum local street separation from major streets	City of Visalia Standard P-15
Quick pedestrian access to bus stops within subdivisions	VMC § 16.12.100
Traffic signal mitigation	City of Visalia Traffic Impact Analysis Guidelines

Some projects, as your Commission is familiar with, opt to design their subdivision in a way that does not meet these requirements, and as such they are processed as “Planned Unit Development” or “Planned Residential Developments”. Planned Developments allow for narrower streets, private and gated streets, or lots that do not meet minimum lot width or lot area requirements. In those instances, the City reviews these proposals to ensure public health, safety, and welfare will still be maintained.

## DISCUSSION / CONSIDERATION

### Potential Changes to the Current Process

Given the state's focus on requiring local jurisdictions to approve housing developments to increase the housing supply, by seeking ways to reduce governmental constraints which would align with Housing Element Policy 5.8, staff would like to propose potential considerations on the types of subdivisions that are brought forth to Planning Commission to those where only a policy decision needs to be made. This would mean the following types of "subdivision" projects that would not be acted upon by the Planning Commission:

- **Residential subdivisions equal to or less than the multifamily "by-right" threshold.** These projects comply with the General Plan, Subdivision Ordinance, and Zoning Ordinance, and can be considered of inconsequential size. Please note the current by-right threshold for multifamily projects is 80 units, however in 2026 the Planning Commission will consider increasing this threshold to 200 units as recommended by the Housing Element Policy 1.3.
  - Example: The 22-lot Jennings Estate subdivision (Tentative Subdivision Map No. 5603), heard by your Commission on February 24, 2025, would have been decided on by the Director.
- **Residential subdivisions consistent with an approved Specific Plan.** The Subdivision Map Act requires denial of a tentative map that is inconsistent with a Specific Plan. Specific Plans generally go into extensive detail with respect to design standards, improvements, land use and density. These Specific Plans have undergone additional public review and comment, and as such, projects consistent with an applicable Specific Plan should not require a public hearing.
  - Examples: The Pratt Family Ranch subdivision map (Tentative Subdivision Map No. 5605) and the parcel map for Carleton Acres (Tentative Parcel Map No. 2025-15), heard by your Commission on October 27 and December 8, 2025, respectively, would have been decided on by the Director(s).
- **Residential parcel maps proposed under SB 9, the Starter Home Revitalization Act of 2021, or parcel maps for large sites identified in the Housing Element (larger than 10 acres with Lower or Moderate Income Capacity and R-M-2/R-M-3 Zoning).** While these proposals are already required to be approved ministerially, this requirement needs to be memorialized in a Subdivision Ordinance update. Since these are already required to be approved without a public hearing, projects proposed under these statutes would not be heard before the Planning Commission.
- **Minor modifications to approved tentative maps.** When subdivisions are approved, there are often opportunities or constraints found after approval that would result in fewer or more lots, or an improved layout that results in less public street area. Certain instances of these may not warrant an additional Planning Commission hearing or review.
- **Nonresidential subdivisions.** Projects that do not require a separate entitlement needing Planning Commission's approval means that the development plan associated with the subdivision is by-right. The ability to mitigate impacts with respect to those by-right projects has been foreclosed, and the remaining discretion is simply to ensure that subdivision standards are maintained, and that access between parcels is maintained. While this would not help obtain housing goals, it is nevertheless a subdivision streamlining measure.

- Example: The tentative parcel map to subdivide the southeast corner of West Riggins Avenue and North Plaza Drive that was heard by your Commission on December 8, 2025 (Tentative Parcel Map No. 2025-17) would have been decided on by the Director.

On the other side of the token, the following types of subdivisions would still require a public hearing before the Planning Commission:

- **Residential subdivisions that result in a dwelling unit count greater than the multifamily by-right threshold.** As there is more concern for multifamily projects, staff feels that setting an equal threshold would be appropriate.
  - Example: The 273-lot Pearl Woods subdivision (Tentative Subdivision Map No. 5591) which was heard by your Commission on June 12, 2023, even if the property was already in City limits, would continue to have been heard by your Commission.
  - Note: The current by-right threshold for multifamily projects is 80 units; however, staff is anticipating bringing to the Planning Commission a proposal to consider increasing this threshold to 200 units, as recommended by the Housing Element Policy 1.3.
- **Subdivisions that require one or more additional entitlements necessitating a public hearing.** Any subdivision that requires a General Plan Amendment, Change of Zone, Prezoning, Conditional Use Permit, Planned Residential Development, or a Variance/Exception to Objective Design Standards needs a separate policy decision to be made. Condominium and Mobile Home Park conversions are also required by State law to be publicly heard, as the opportunity for residential displacement is high.
  - Example: The master planned commercial shopping center heard on November 11, 2025 (Conditional Use Permit No. 2020-07 and Tentative Parcel Map No. 2020-02) would continue to be heard by your Commission.
- **Major modifications to approved tentative maps.** Where instances of major modifications to an approved tentative map are made, these modifications would be brought back to your attention for your decision. This threshold will be determined and brought to your Commission for your determination.
- **Subdivisions that are appealed.** In this case, the Subdivision Map Act requires a public hearing to ensure due process.

## Final Maps

Staff will also consider limiting the types of Final Maps that require City Council's approval. For example, final maps and parcel maps that require dedications or improvements are approved ministerially, but decided on by City Council. This requires additional preparation and considerable lead time for what is essentially a ministerial approval process. Staff will review internally and bring forward a revised ordinance proposal that streamlines the "final map" ministerial approval process at a future meeting.

## Potential Changes to the Mapping Discretionary Process

Below is a table of the suggested review authority for subdivision decisions.

Proposed Review Authority for Subdivision Decisions					
Type of Subdivision Application	Role of Review Authority				
	Director	City Engineer	SPR Committee	Commission	Council
<ul style="list-style-type: none"> <li>• Residential Tentative Maps Consistent with General Plan and Zoning (80 lots or less)</li> <li>• Residential Tentative Maps Consistent with a Specific Plan</li> <li>• Non-Residential Tentative Maps, Consistent with Plans and Policies</li> <li>• Residential Tentative Maps Submitted Under SB 9, Starter Home Revitalization Act of 2021, or Similar Provisions</li> <li>• Minor Modifications to Tentative Maps Approved by Planning Commission</li> </ul>					
Tentative Maps	Decision		Advise	Appeal	Appeal
Time Extensions	Decision			Appeal	Appeal
<ul style="list-style-type: none"> <li>• Residential Tentative Maps (more than 80 lots), No Applicable Specific Plan</li> <li>• Tentative Maps Not Consistent with Plans, Zoning, or Require a Use Permit or Variance</li> <li>• Planned Residential Developments</li> <li>• Condominium Conversions</li> <li>• Major Modifications to Tentative Maps Approved by Planning Commission</li> </ul>					
Tentative Maps	Recommend		Advise	Decision (Hearing)	Appeal
Time Extensions	Recommend			Decision (Meeting)	Appeal
Parcel Maps and Final Maps					
Final Maps	Recommend	Decision <sup>1</sup>			Decision <sup>2</sup> Appeal
Parcel Maps	Recommend	Decision			Appeal

<sup>1</sup> To be determined.  
<sup>2</sup> To be determined.

## Due Process

With this proposed approach, due process is still maintained. Decisions are still able to be appealed and heard by the Planning Commission, if necessary. Additionally, projects that are not exempt from the California Environmental Quality Act (CEQA) would still undergo environmental review that would require notifying the general public of the project's environmental impacts and receive public comment pursuant to the requirements of CEQA.

## BACKGROUND INFORMATION

### Environmental Review:

The requested action, directing staff to prepare an ordinance amendment for review, would be considered not a project under the California Environmental Quality Act (CEQA) because the proposed subdivision ordinance amendment would not cause either a direct or a reasonably foreseeable indirect physical change in the environment. Once an ordinance amendment is brought back to your Commission will it be reviewed for environmental impacts under CEQA. It is assumed at this point in time that the ordinance amendment would not be considered a project under CEQA because the City would continue to have the discretion and authority to mitigate environmental impacts of each individual project under CEQA, where discretion is afforded to the City.

# **City of Visalia**



To: Planning Commission

From: Paul Bernal, Director / City Planner  
Planning & Community Preservation Department

Date: January 12, 2026

Re: **2025 Administrative Adjustment Annual Report to Planning Commission**

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## **DISCUSSION**

Pursuant to Section 17.42.180 of the Visalia Municipal Code (VMC), the City Planner shall report to the Planning Commission a summary of the Administrative Adjustment applications processed and approved during the preceding calendar year (i.e., calendar year 2025). This report is intended to fulfill the requirements of Section 17.42.180.

The purpose of an Administrative Adjustment is to provide action on projects which are routine in nature but may require an interpretation of the established policies and standards set forth in the zoning ordinance. Administrative Adjustments are limited to no more than 20% of the required development standard. Examples of development standards that are eligible for administrative adjustments include setbacks, site area, lot width, and building height. A copy of the Administrative Adjustment ordinance (Section 17.02.150 of the VMC) is attached to this report.

The City of Visalia Planning & Community Preservation Department issued a total of 5,671 building permits during the 2025 calendar year (see Attachment "B" for building permit totals). During the preparation of this report, a total of 14 Administrative Adjustment applications were filed. Typical adjustments for residential development standards include encroachment into the required side and rear yard setbacks. Adjustments for commercial development standards consisted of locations of fence placement and building height. The number of approved Administrative Adjustments is less than one (1) percent of the total number of permits issued by the City of Visalia for the 2025 calendar year.

## **ATTACHMENTS**

- Attachment "A" – Administrative Adjustments Section
- Attachment "B" – 2025 Building Permits Issued

**Attachment "A"**  
**Article 2. Administrative Adjustments**

**17.02.150 Purpose.**

The purpose of an administrative adjustment is to provide action on projects that are routine in nature but may require an interpretation of established policies and standards set forth in the zoning ordinance.

**17.02.160 Scope of authority.**

- A. Notwithstanding the provisions of Chapter 17.42, the city planner or his/her designee shall have the authority to grant administrative adjustments to development standards contained within this title.
- B. Upon written request, the city planner may approve, conditionally approve or deny without notice minor adjustments to the following development standards; building and landscaping setbacks, site area, lot width, building height, parking.
- C. Any administrative adjustment shall be limited to no more than twenty percent of a required development standard. In making the adjustment, the city planner shall make a finding that the adjustment is consistent with the criteria listed in Section 17.02.170. With respect to adjustments to building setbacks and building height, the adjustment shall also be approved by the fire chief and chief building official or his/her designee prior to granting said administrative adjustment.

**17.02.170 Adjustment criteria.**

The city planner shall record the decision in writing and shall recite therein the basis for same. The city planner may approve and/or modify an application in whole or in part, with or without conditions, only if all the following criteria are met:

- A. That there are special circumstances applicable to the property, including size, shape, topography, location or surroundings, creating a practical difficulty or unnecessary hardship;
- B. That granting of the administrative adjustment is necessary to provide consistency with properties in the same vicinity and land use designation or development standards within which the administrative adjustment is sought;
- C. That granting the administrative adjustment will not be materially detrimental to the public health, safety, or welfare, or injurious to the property or improvements in such vicinity and land use designation or development standards in which the property is located;
- D. That granting the administrative adjustment will not be inconsistent with the goals and policies of the general plan.

**17.02.180 Report to planning commission.**

No later than January 31st, the city planner shall report to the planning commission a summary of the administrative adjustment applications that have been processed and approved during the proceeding calendar year.

**Attachment "B"**

**City of Visalia**  
**Building Permits Issued by Month**  
**2025**

Month	NEW SINGLE FAMILY DWELLINGS			NEW MULTI-FAMILY DWELLINGS				RESIDENTIAL Additions & Alterations		NEW COMMERCIAL			COMMERCIAL Additions & Alterations		MISC. PERMITS	TOTAL No. of All Permits	TOTAL Valuation of All Permits
	No. Permits	Valuation	Sq. Ft.	No. Permits	Units	Valuation	Sq. Ft.	No. Permits	Valuation	No. Permits	Valuation	Sq. Ft.	No. Permits	Valuation			
Jan	21	\$6,893,746	38,249	2	4	\$682,610	3,720	105	\$2,825,577	2	\$3,396,178	25,721	30	\$9,829,376	245	405	\$23,627,488
Feb	53	\$15,675,945	84,261	1	2	\$341,305	1,860	107	\$2,517,043	1	\$4,000,000	12,685	21	\$5,872,577	252	435	\$28,406,870
Mar	49	\$17,692,948	97,719	0	0	\$0	-	155	\$3,331,749	3	\$5,750,000	63,972	35	\$8,198,934	227	469	\$34,973,632
Apr	70	\$27,468,280	151,132	4	8	\$1,620,456	8,634	145	\$3,717,291	1	\$1,600,000	4,145	24	\$4,938,151	279	523	\$39,344,178
May	59	\$20,181,889	109,594	0	0	\$0	-	112	\$3,070,108	10	\$70,960,000	311,716	26	\$18,787,419	276	483	\$112,999,416
Jun	69	\$24,623,169	135,185	4	8	\$1,698,318	9,568	129	\$3,521,325	3	\$13,229,100	92,970	27	\$3,385,602	333	565	\$46,457,514
Jul	48	\$17,683,115	98,821	1	10	\$519,500	6,494	160	\$3,860,288	0	\$0	-	41	\$7,730,648	342	592	\$29,793,551
Aug	31	\$11,857,866	66,022	1	2	\$430,134	2,400	125	\$2,652,204	3	\$5,050,000	23,431	16	\$6,499,100	310	486	\$26,489,304
Sep	36	\$16,542,306	89,386	0	0	\$0	-	221	\$6,256,652	1	\$4,130,000	9,243	29	\$34,044,299	166	453	\$60,973,257
Oct	25	\$8,908,910	48,145	3	84	\$11,337,899	77,050	122	\$2,731,966	6	\$38,455,800	169,323	34	\$2,897,398	277	467	\$64,331,974
Nov	64	\$24,909,114	135,497	12	24	\$3,278,813	22,920	95	\$2,183,563	4	\$3,960,000	28,230	30	\$3,257,819	214	419	\$37,589,308
Dec	37	\$13,071,208	69,323	0	0	\$0	-	144	\$4,051,759	2	\$895,000	9,800	21	\$1,852,785	170	374	\$19,870,752
<b>TOTALS</b>	<b>562</b>	<b>\$205,508,496</b>	<b>1,123,334</b>	<b>28</b>	<b>142</b>	<b>\$19,909,035</b>	<b>132,646</b>	<b>1,620</b>	<b>\$40,719,525</b>	<b>36</b>	<b>\$151,426,078</b>	<b>751,236</b>	<b>334</b>	<b>\$107,294,108</b>	<b>3,091</b>	<b>5,671</b>	<b>\$524,857,242</b>

# City of Visalia



**To:** Planning Commission  
**From:** Susan Currier, Sr. Administrative Assistant  
**Date:** January 12, 2026  
**Re:** Planning Commission Meeting Dates for 2026

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The following dates are set for Planning Commission meetings for 2026:

- January 12, 2026
- January 26, 2026
- February 9, 2026
- February 23, 2026
- March 9, 2026
- March 23, 2026
- April 13, 2026
- April 27, 2026
- May 11, 2026
- May 26, 2026 (Tuesday Meeting)
- June 8, 2026
- June 22, 2026
- July 13, 2026
- July 27, 2026
- August 10, 2026
- August 24, 2026
- September 14, 2026
- September 28, 2026
- October 12, 2026
- October 26, 2026
- November 9, 2026
- November 23, 2026
- December 14, 2026
- December 28, 2026 (No Meeting)

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# PLANNING COMMISSIONERS ACADEMY

MARCH 11-13, 2026



## 2026 Planning Commissioners Academy

**Sheraton Park Hotel Anaheim, Anaheim, CA**Wednesday, March 11, 2026 - Friday, March 13, 2026  [iCalendar](#)

Pacific Standard Time

Designed for new and seasoned planning commissioners alike, the Planning Commissioners Academy expands an individual's knowledge on a wide range of topics relevant to their role within their city and fosters relationships and communication with peers. The conference provides information about the roles and responsibilities of a planning commissioner, offers a basic legal and practical framework, and delves into emerging issues of importance for planning commissioners today.

[Sponsorship](#) opportunities are available. For questions, please contact Event Sponsorship and Exposition Manager, [Amy Wade](#).

For registration questions, please contact Event Registration Specialist, [Megan Dunn](#).

For program questions, please contact Event Program Manager, [Kayla Boutros](#).

In advance of the conference, please see our [event and meeting policies](#).

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