

PLANNING COMMISSION AGENDA

CHAIRPERSON:

Mary Beatie



VICE CHAIRPERSON:

Chris Tavarez

COMMISSIONERS: Bill Davis, Charlie Norman, Adam Peck, Chris Tavarez, Mary Beatie

MONDAY, AUGUST 25, 2025

VISALIA COUNCIL CHAMBERS

LOCATED AT 707 W. ACEQUIA AVENUE, VISALIA, CA

MEETING TIME: 7:00 PM

1. CALL TO ORDER –
2. THE PLEDGE OF ALLEGIANCE –
3. ROLL CALL –
4. CITIZEN'S COMMENTS – This is the time for citizens to comment on subject matters that are not on the agenda but are within the jurisdiction of the Visalia Planning Commission. You may provide comments to the Planning Commission at this time, but the Planning Commission may only legally discuss those items already on tonight's agenda.

The Commission requests that a five (5) minute time limit be observed for Citizen Comments. You will be notified when your five minutes have expired.
5. AGENDA COMMENTS OR CHANGES –
6. CONSENT CALENDAR – All items under the consent calendar are to be considered routine and will be enacted by one motion. For any discussion of an item on the consent calendar, it will be removed at the request of the Commission and made a part of the regular agenda.
 - a. **Finding of Consistency No. 2025-01:** A request by Trumark Homes to modify Condition of Approval No. 3 of Belissa Tentative Subdivision Map No. 5587, and Condition of Approval No. 6 of Conditional Use Permit No. 2022-05, for the alteration of side yard setbacks for 24 lots within the Belissa subdivision. The project site is located on the southwest corner of West Riverway Avenue and North Demaree Street (APN: 077-060-022).

7. PUBLIC HEARING – Josh Dan, Senior Planner

- a. **Tentative Parcel Map No. 2025-06:** A request by Richard Bueno to subdivide a 1.41-acre parcel into two parcels measuring 0.95 acres and 0.46 acres in the C-N (Neighborhood Commercial) and R-M-2 (Multi-Family Residential) zones.
- b. **Conditional Use Permit No. 2025-13:** A request by Richard Bueno to create parcels that will be less than the minimum acreage in the R-M-2 and C-N zones and to allow a single-family dwelling on the multi-family zoned parcel.

Environmental Assessment Status: The project is Categorically Exempt from the California Environmental Quality Act (CEQA) pursuant to CEQA Guidelines Section 15315.

Project Location: The site is located at 1810 East Houston Avenue (APN: 098-200-012).

8. PUBLIC HEARING – Josh Dan, Senior Planner

Conditional Use Permit 2025-18: A request by Robert Gaalswyk to permit the use of an existing 20,115 square foot building as an indoor shooting range facility with ancillary retail gun store sales located in the I (Industrial) zone.

Environmental Assessment Status: An Initial Study and Negative Declaration were prepared for this project, consistent with the California Environmental Quality Act (CEQA), which disclosed that the project will have less than significant impact upon the environment. Negative Declaration No. 2025-29 has been prepared for adoption with this project (State Clearinghouse No. 2025080098).

Project Location: The property is located along the east side of North Nevada Street, approximately 194-feet north of West Grove Avenue. (Address: 1104 North Nevada Street) (APN: 081-100-075).

9. PUBLIC HEARING – Cristobal Carrillo, Associate Planner

- a. **Ritchie Ranch Subdivision Map No. 5600:** A request by Lennar Homes of California LLC to subdivide a parcel totaling approximately 44.89 acres into 320 lots for single-family residential use, six outlots for landscaping, and two outlots for use as pocket parks located in the R-1-5 (Single-Family Residential, 5,000 square foot minimum site area) zone.
- b. **Conditional Use Permit No. 2024-23:** A request by Lennar Homes of California LLC for a planned residential development on a 44.89-acre parcel, consisting of 320 single-family residential lots, located within the R-1-5 (Single-Family Residential, 5,000 square foot minimum site area) zone. The proposal will include non-standard lots that will be less than 5,000 square feet in size, with reduced lot widths, and reduced setbacks.

Environmental Assessment Status: An Initial Study and Mitigated Negative Declaration were prepared for this project, consistent with the California Environmental Quality Act (CEQA), which disclosed that the project will have less than significant impact upon the environment. Negative Declaration No. 2024-33 has been prepared for adoption with this project (State Clearinghouse No. 2025071349).

Project Location: The project site is located on the southwest corner of West Riverway Avenue and North Demaree Street (APN: 077-060-022).

10. CITY PLANNER UPDATE –

- a. Election of Chair & Vice Chair next meeting.
- b. Swearing in of New Planning Commissioners

11. ADJOURNMENT

The Planning Commission meeting may end no later than 11:00 P.M. Any unfinished business may be continued to a future date and time to be determined by the Commission at this meeting. The Planning Commission routinely visits the project sites listed on the agenda.

For Hearing Impaired – Call (559) 713-4900 (TTY) 48-hours in advance of the scheduled meeting time to request signing services.

Any written materials relating to an item on this agenda submitted to the Planning Commission after distribution of the agenda packet are available for public inspection in the City Office, 315 E. Acequia Visalia, CA 93291, during normal business hours.

APPEAL PROCEDURE

THE LAST DAY TO FILE AN APPEAL IS THURSDAY, SEPTEMBER 4, 2025, BEFORE 5:00 PM

According to the City of Visalia Zoning Ordinance Section 17.02.145 and Subdivision Ordinance Section 16.04.040, an appeal to the City Council may be submitted within ten days following the date of a decision by the Planning Commission. An appeal form with applicable fees shall be filed with the City Clerk at 220 North Santa Fe Street, Visalia, CA 93292. The appeal shall specify errors or abuses of discretion by the Planning Commission, or decisions not supported by the evidence in the record. The appeal form can be found on the city's website www.visalia.city or from the City Clerk.

THE NEXT REGULAR MEETING WILL BE HELD ON MONDAY, SEPTEMBER 8, 2025

City of Visalia



To: Planning Commission

From: Cristobal Carrillo, Associate Planner
Phone: (559) 713-4443
E-mail: cristobal.carrillo@visalia.city

Date: August 25, 2025

Re: Finding of Consistency No. 2025-01: A request by Eric Gibbons to modify Condition of Approval No. 3 of Belissa Tentative Subdivision Map No. 5587, and Condition of Approval No. 6 of Conditional Use Permit No. 2022-05, for the alteration of side yard setbacks for 24 lots within the subdivision from 3 feet and 5 feet respectively, to 3.5 feet and 4.5 feet, located in the R-1-5 (Single Family Residential, 5,000 sq. ft. minimum), R-M-2 (Multi-Family Residential, 3,000 sq. ft minimum site area per dwelling), R-M-3 (Multi-Family Residential, 1,200 sq. ft. minimum site area per dwelling), and C-N (Commercial Neighborhood) Zones. The project site is located on the southwest corner of West Riverway Avenue and North Demaree Street (APN: 077-060-022).

RECOMMENDATION

Staff recommends that the Planning Commission make a Finding of Consistency that the proposal is substantially consistent and in conformance with the previously approved Belissa Tentative Subdivision Map No. 5587 and Conditional Use Permit No. 2022-05.

BACKGROUND

On November 13, 2023, the Planning Commission took the following actions on the projects listed below:

- Recommended approval to the Visalia City Council of Annexation No. 2022-02: A request to annex two parcels totaling approximately 59.84 acres into the city limits of Visalia, for the development of a 309-lot residential subdivision, a 168-unit multifamily residential development, and creation of a 7.6 acre commercial lot to be developed in the future.
- Approved Belissa Tentative Subdivision Map No. 5587: A request to subdivide a 59.84-acre parcel into the following: 159 low-density residential lots on approximately 27.9 acres; 150 medium-density residential lots on approximately 15 acres; an approximately 7.6-acre high-density residential lot that will be developed with a 168-unit multi-family residential complex; and an approximately 7.88-acre Neighborhood Commercial lot which will be developed in the future.
- Approved Conditional Use Permit No. 2022-05: A request for a Planned Development consisting of 159 low-density residential lots on approximately 27.9 acres and 150 medium-density residential lots on approximately 15 acres. The proposal will include non-standard lots that will be less than 5,000 square feet in size, with modified setbacks, and non-standard roadway knuckles.

- Approved Conditional Use Permit No. 2023-22: A request to establish a 168-unit multi-family residential development on a 7.6 acre parcel within the R-M-3 (Multi-Family Residential, 1,200 sq. ft. minimum site area) Zone.

The Planning Commission voted 5-0 on each of the items. Approved project exhibits for the Belissa Subdivision Project can be found in Exhibit “D”.

PROJECT DESCRIPTION

Per the Finding of Consistency letter included in Exhibit “A”, the applicant requests modifications to the side yard setbacks approved for the project per Condition of Approval No. 3 of Belissa Tentative Subdivision Map No. 5587 and Condition of Approval No. 6 of Conditional Use Permit No. 2022-05. The request would apply to 24 of 309 lots within the subdivision (Lots 99 – 104, 107 – 112, 117, 118, and 137 – 146, as depicted in Exhibit “B”, comprising 8% of the total lots). All the lots are 2,760 square feet in size, except for two (Lots 117 and 118) which are 3,880 square feet in size. For these lots, the following setbacks were approved:

COMPARISON OF SETBACK STANDARDS (ARIETTE COLLECTION, LOTS 101 - 309)					
	Front Yard	Side Yard	Street Side Yard	Rear Yard	Garage
EXISTING R-M-2 SETBACKS	15	5	10	25	22
PROPOSED SETBACKS	10	3 and 5, with larger side yard to be adjacent to garage for trash receptable storage.	10	10	20

The applicant is requesting that a modification be approved to alter the side yard setbacks for the 24 lots identified in Exhibit “B” as follows:

COMPARISON OF SETBACK STANDARDS (ARIETTE COLLECTION, LOTS 101 - 309)					
	Front Yard	Side Yard	Street Side Yard	Rear Yard	Garage
EXISTING R-M-2 SETBACKS	15	5	10	25	22
PROPOSED SETBACKS	10	<u>3.5 and 4.5</u> , with the larger side yard setback to be adjacent to the garage side for trash receptable storage.	10	10	20

A sample plot plan and building elevations depicting what the proposed setback would look like are provided in Exhibit “C”.

Per the applicant, the request is necessary to provide an aesthetically pleasing product that retains an eave overhang and complies with California Building and Fire Code accessibility requirements. With a three foot side yard setback, residences would need to remove any overhanging eaves to provide a full 36 inch accessible route for the Fire Department. The applicant demonstrates, via Exhibit “C”, that removal of the eaves would have the effect of creating a sterile appearance for the residence. Modification of the setback to 3.5 feet allows for compliance with applicable codes and retainment of a 6-inch eave, improving the visual appearance of the homes proposed within the development. The applicant also notes that the 4.5 foot garage side yard setback created via the proposed modification will still provide sufficient space to place and store trash receptacles due to the lack of gas meters on the buildings. Per the applicant, gas service will not be installed within the development.

PROJECT EVALUATION

Staff finds that the proposed side yard setback modifications to the approved subdivision and Conditional Use Permit will maintain consistency with the scope of the original residential project. The alteration only affects a small portion of the lots while preserving access along the side yard, in compliance with Building and Fire Department requirements. The alterations would also continue to maintain at least 8 feet of space between residences. Lastly, the modification does not change the projects compliance with density standards for both the Low Density Residential and Medium Density Residential land use designations applicable to this portion of the project site.

ATTACHMENTS

- Exhibit “A” – Finding of Consistency Request
- Exhibit “B” – Belissa Subdivision Phase 1 Map – Lots with Modified Setbacks
- Exhibit “C” – Sample Plot Plan and Building Elevations
- Exhibit “D” – Belissa Tentative Subdivision Map No. 5587 and Conditional Use Permit No. 2022-05 Approved Exhibits
- Exhibit “E” – Signed Resolution No. 2022-12 for Belissa Tentative Subdivision Map No. 5587 and Resolution No. 2022-05 for Conditional Use Permit No. 2022-05
- Exhibit “F” – Aerial Photo



July 14, 2025

Paul Bernal, Director
Planning and Community Preservation Department
City of Visalia
315 E Acequia Ave.
Visalia, CA 93291

Subject: Finding of Consistency

Ariette @ Oak Place, also known as a phase of Belessa, is a new home community being built by Trumark Homes that will target first time home buyers within the City of Visalia. The community is located just north of Riverway and west of Demaree.

We would like to request that we be allowed to change the garage side setback on lots 99-104, 107-112, 117, 118 & 137-146 from the current 5' setback to 4.5'. The house side setback will increase from 3' to 3.5' where the garage setback is reduced. We understand that the Planning Commission had concern about the garbage toters fitting on the garage side of the home. These homes will not have gas service and therefore will not have a gas meter on the garage side of the home. We feel that 4.5' is adequate to fit a 3' garbage toter on the garage side of the home.

The reason why we are requesting the change is not because we are increasing the size of the building footprint. The reason is an aesthetic reason. Section R302.1(2) "Exterior Walls" of the 2022 California Residential Code states that where the home has fire sprinklers, which we have, the minimum fire separation distance is 3' from the structure to the property line, in the case the wall is not fire resisted rated. We feel that fire resistant rated walls (eaves) are not a practical option. We also feel that the 6" overhang is an appealing architectural component that we would like to keep on our homes if possible.

Lastly, in neighboring jurisdictions we have had challenges with the local fire department which requires a full 3' of access from the structure to the fence/block wall per Section 1114B – "Accessible Route of Travel" of the California Building Code and section 1003.3.4 "Clear Width" of the 2022 California Fire Code. The fence splits the property line and there are occasionally protrusions off of the side of the home which reduce this clearance below 36" when the home is placed on the 3' setback line. By allowing us to move the setback over 6" (3.5'), we will continue to have the required 36" accessible route for the fire department.

Accompanying this letter are photos of what our product looks like along with a photo of a competitor's neighborhood in the valley who chose to eliminate the eaves due to the fire code



section referenced above. Additionally, a site plan showing the affected lots and an elevation view of the 3' setback line is attached.

Warm regards,

A handwritten signature in black ink, appearing to read "Eric Gibbons".

Eric Gibbons
Director of Forward Planning
Trumark Homes

OWNER'S STATEMENT

THE UNDERSIGNED HEREBY CERTIFY THAT THEY ARE THE ONLY PERSONS HAVING ANY RECORD TITLE INTEREST IN THE REAL PROPERTY INCLUDED WITHIN THE BOUNDARIES OF THE SUBDIVISION SHOWN UPON THIS MAP, AND DO HEREBY CONSENT TO THE PREPARATION AND RECORDING OF SAID MAP AND THE CONSENT OF NO OTHER PERSON IS NECESSARY.

WE HEREBY OFFER FOR DEDICATION AND DO HEREBY DEDICATE THE FOLLOWING, AS SHOWN WITHIN THE BOUNDARIES OF THE MAP HEREON, FOR THE SPECIFIED PURPOSES:

- RIGHTS OF WAY FOR PRATT AVENUE, OWEN AVENUE, NEWTON AVENUE, TAYLOR AVENUE, FULGHAM STREET, FONTANA STREET, CHINOWTH STREET, RONO STREET, AND BOLLINGER STREET IN FEE TO THE CITY OF VISALIA
- LOTS A, B, C, D, F, H, I, J, K, N, AND M IN FEE TO THE CITY OF VISALIA FOR LANDSCAPING, PUBLIC UTILITIES, BLOCK WALLS, SIDEWALKS, AND OTHER PUBLIC PURPOSES
- PUBLIC UTILITY EASEMENT TO THE CITY OF VISALIA FOR INSTALLATION AND MAINTENANCE OF GAS LINES AND CONDUITS FOR ELECTRIC, TELEVISION AND TELEPHONE SERVICES, TOGETHER WITH ANY AND ALL APPURTENANCES PERTAINING THERETO, AS SHOWN HEREON AND DESIGNATED AS "PUE" (PUBLIC UTILITY EASEMENT)
- BLOCK WALL EASEMENTS TO THE CITY OF VISALIA FOR THE INSTALLATION AND MAINTENANCE OF BLOCK WALLS AS SHOWN HEREON AND DESIGNATED AS "BWE" (BLOCK WALL EASEMENT)
- LOTS E AND G IN FEE TO THE CITY OF VISALIA FOR DITCH PURPOSES
- LOT L IN FEE TO THE CITY OF VISALIA FOR LANDSCAPING, BLOCK WALLS, PUBLIC UTILITIES, PEDESTRIAN ACCESS, STORM DRAIN AND OTHER PUBLIC PURPOSES
- AN IRREVOCABLE OFFER OF DEDICATION IN FEE FOR SHANNON PARKWAY TO THE CITY OF VISALIA AS SHOWN HEREON AND DESIGNATED "IRREVOCABLE OFFER OF DEDICATION IN FEE"

FOR: TH CRANDELL VISALIA LLC, A CALIFORNIA LIMITED LIABILITY COMPANY

BY: JOSHUA E. PETERSON, AUTHORIZED SIGNATORY DATE

NOTARY ACKNOWLEDGEMENT

A NOTARY PUBLIC OR OTHER OFFICER COMPLETING THIS CERTIFICATE VERIFIES ONLY THE IDENTITY OF THE INDIVIDUAL WHO SIGNED THE DOCUMENT TO WHICH THIS CERTIFICATE IS ATTACHED, AND NOT THE TRUTHFULNESS, ACCURACY, OR VALIDITY OF THAT DOCUMENT.

STATE OF CALIFORNIA/COUNTY OF TULARE

ON _____, BEFORE ME, _____, A NOTARY PUBLIC PERSONALLY APPEARED, _____ WHO PROVED TO ME ON THE BASIS OF SATISFACTORY EVIDENCE TO BE THE PERSON(S) WHOSE NAME(S) IS/ARE SUBSCRIBED TO THE WITHIN INSTRUMENT AND ACKNOWLEDGED TO ME THAT HE/SHE/THEY EXECUTED THE SAME IN HIS/HER/THEIR AUTHORIZED CAPACITY(IES), AND THAT BY HIS/HER/THEIR SIGNATURE(S) ON THE INSTRUMENT THE PERSON(S), OR THE ENTITY UPON BEHALF OF WHICH THE PERSON(S) ACTED, EXECUTED THE INSTRUMENT.

I CERTIFY UNDER PENALTY OF PERJURY UNDER THE LAWS OF THE STATE OF CALIFORNIA THAT THE FOREGOING PARAGRAPH IS TRUE AND CORRECT. WITNESS MY HAND.

SIGNATURE _____ PRINT NAME _____

MY COMMISSION EXPIRES: _____ COMMISSION NO. _____

PRINCIPAL PLACE OF BUSINESS: _____ COUNTY

FLOOD HAZARD ZONE

AS DELINEATED ON THE FEDERAL EMERGENCY MANAGEMENT AGENCY'S FLOOD INSURANCE RATE MAP (MAP NO. 06107C0930E) FOR COMMUNITY NO. 060409, CITY OF VISALIA, TULARE COUNTY, CALIFORNIA EFFECTIVE JUNE 16, 2009, THE PROPERTY SHOWN ON THIS MAP LIES PARTIALLY WITHIN ZONE AE, WHICH ARE SPECIAL FLOOD HAZARD AREAS SUBJECT TO INUNDATION BY THE 1% ANNUAL CHANCE FLOOD WITH BASE FLOOD ELEVATIONS DETERMINED AND PARTIALLY WITHIN ZONE X (SHADED) WHICH ARE AREAS OF 0.2% ANNUAL CHANCE FLOODING. THE 1% ANNUAL CHANCE FLOODPLAIN BOUNDARY, BASE FLOOD ELEVATION LINES AND VALUES AND THE CALCULATED MINIMUM FINISH FLOOR ELEVATIONS ARE SHOWN FOR THE PORTIONS OF THIS MAP THAT LIE WITHIN THE SPECIAL FLOOD HAZARD AREA.

BELISSA SUBDIVISION PHASE 1

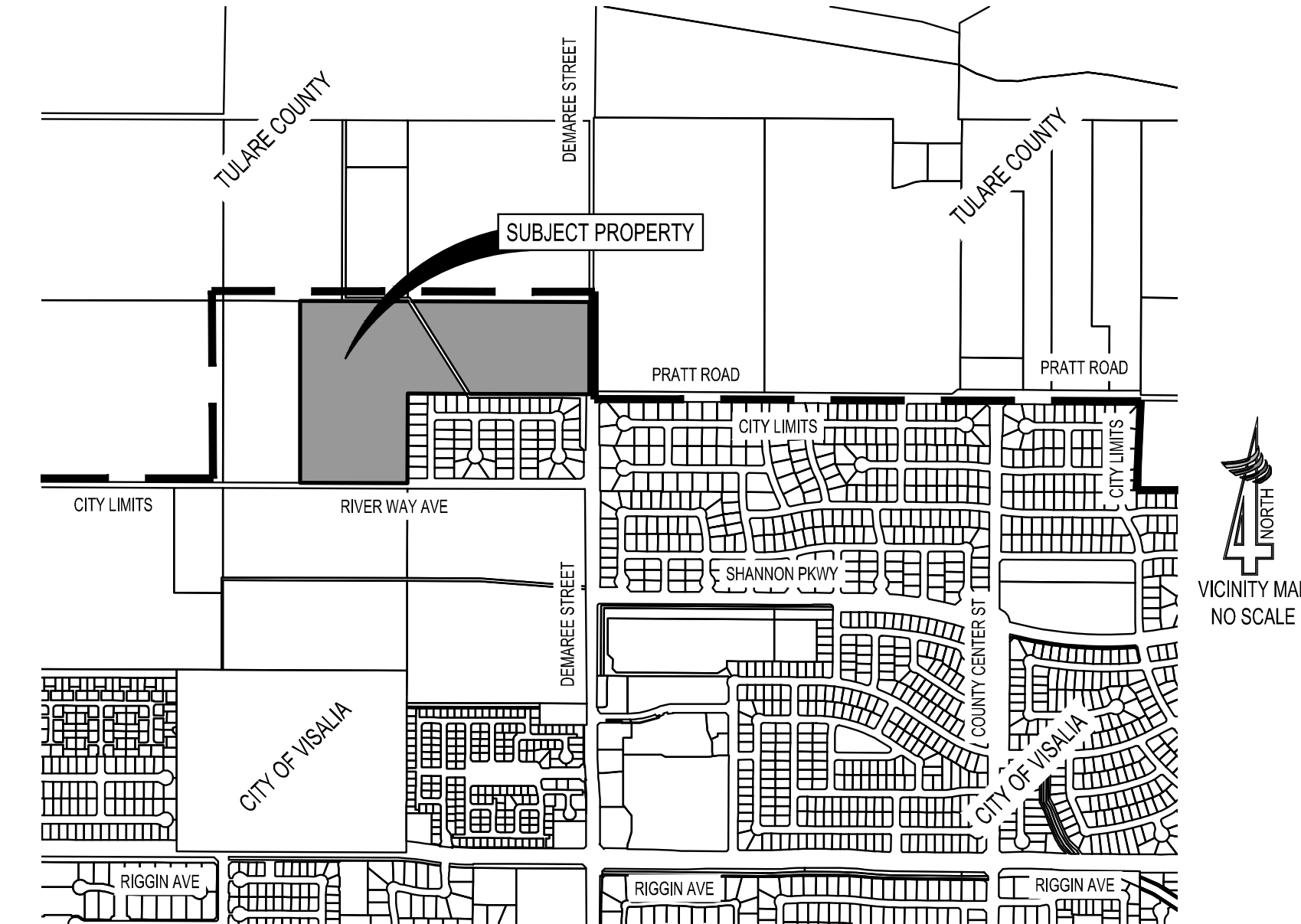
THE LAND BEING SUBDIVIDED BY THIS MAP IS SITUATED IN THE CITY OF VISALIA, COUNTY OF TULARE, STATE OF CALIFORNIA, AND IS DESCRIBED AS FOLLOWS:

THE NORTH HALF OF THE SOUTHEAST QUARTER OF THE NORTHEAST QUARTER OF SECTION 14, TOWNSHIP 18 SOUTH, RANGE 24 EAST, MOUNT DIABLO BASE AND MERIDIAN IN THE COUNTY OF TULARE, STATE OF CALIFORNIA;

TOGETHER WITH, THE SOUTHWEST QUARTER OF THE NORTHEAST QUARTER OF SECTION 14, TOWNSHIP 18 SOUTH, RANGE 24 EAST, MOUNT DIABLO BASE AND MERIDIAN IN THE COUNTY OF TULARE, STATE OF CALIFORNIA;

EXCEPTING THEREFROM, THE WEST 550.00 FEET OF THE SOUTHWEST QUARTER OF THE NORTHEAST QUARTER OF SECTION 14, TOWNSHIP 18 SOUTH, RANGE 24 EAST, MOUNT DIABLO BASE AND MERIDIAN IN THE COUNTY OF TULARE, STATE OF CALIFORNIA;

BEING PURSUANT TO THAT CERTAIN DOCUMENT RECORDED DECEMBER 8, 2021 AS DOCUMENT NO. 2021-0089144, TULARE COUNTY RECORDS.



VERTICAL DATUM NOTE:

BASE FLOOD ELEVATION VALUES SHOWN ON THIS MAP ARE CONVERTED FROM THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD 88) TO THE CITY OF VISALIA DATUM BASED ON THE NATIONAL GEODETIC VERTICAL DATUM OF 1929 (NGVD 29) USING THE CONVERSION FACTOR OF 2.73 ESTABLISHED IN FEDERAL EMERGENCY MANAGEMENT AGENCY'S FLOOD INSURANCE STUDY DATED JUNE 16, 2009. THE CONVERSION FACTOR OF 2.73 IS SUBTRACTED FROM THE NAVD 88 VALUE TO OBTAIN THE EQUIVALENT NGVD 29 VALUE.

LANDSCAPE & LIGHTING ASSESSMENT DISTRICT

ALL THE REAL PROPERTY INCLUDED IN THE BOUNDARIES OF THE SUBDIVISION SHOWN UPON THIS MAP IS INCLUDED IN "ASSESSMENT DISTRICT NO. _____, CITY OF VISALIA, TULARE COUNTY, CALIFORNIA," ESTABLISHED PURSUANT TO THE LANDSCAPE AND LIGHTING ACT OF 1972.

ABANDONMENT NOTE:

IN ACCORDANCE WITH THE CALIFORNIA GOVERNMENT CODE SECTION 66434 (g), THE FILING OF THIS MAP DOES HEREBY CONSTITUTE THE ABANDONMENT OF THE FOLLOWING PUBLIC EASEMENT:

- THAT PORTION OF THAT 20.00 FOOT RIGHT OF WAY FOR ROAD PURPOSES TO THE COUNTY OF TULARE RECORDED IN BOOK 2 OF RIGHTS OF WAY, PAGE 610, LYING WITHIN THE BOUNDARY OF THE SUBDIVISION SHOWN HEREON

EASEMENTS THAT AFFECT SUBJECT PROPERTY

- ① POLE AND POLE LINES EASEMENT IN FAVOR OF SOUTHERN CALIFORNIA EDISON COMPANY AUGUST 22, 1951 RECORDED IN BOOK 1538 OF OFFICIAL RECORDS, PAGE 359 (NOT PLOTTABLE)



SURVEYOR'S STATEMENT

THIS MAP WAS PREPARED BY ME OR UNDER MY DIRECTION AND IS BASED UPON A FIELD SURVEY IN CONFORMANCE WITH THE REQUIREMENTS OF THE SUBDIVISION MAP ACT AND LOCAL ORDINANCE AT THE REQUEST OF TH CRANDELL VISALIA LLC, 07-13-2023 AND SAID FIELD SURVEY IS TRUE AND COMPLETE AS SHOWN. I HEREBY STATE THAT THIS FINAL MAP SUBSTANTIALLY CONFORMS TO THE CONDITIONALLY APPROVED TENTATIVE MAP. ALL MONUMENTS ARE OF THE CHARACTER AND OCCUPY, OR WILL OCCUPY, THE POSITIONS INDICATED WITHIN ONE YEAR OF THE RECORDING OF THIS MAP AND ARE, OR WILL BE, SUFFICIENT TO ENABLE THE SURVEY TO BE RETRACED.

CLINTON J. CAUDLE P.L.S. 9849 DATE

CITY SURVEYOR'S STATEMENT

I HEREBY STATE THAT I HAVE EXAMINED THIS MAP; THAT THE SUBDIVISION AS SHOWN IS SUBSTANTIALLY THE SAME AS IT APPEARED ON THE TENTATIVE MAP, AND ANY APPROVED ALTERATIONS THEREOF; THAT ALL OF THE PROVISIONS OF CHAPTER 2 OF THE SUBDIVISION MAP ACT AND ANY LOCAL ORDINANCES APPLICABLE AT THE TIME OF APPROVAL OF THE TENTATIVE MAP, HAVE BEEN COMPLIED WITH; AND THAT I AM SATISFIED THAT THIS MAP IS TECHNICALLY CORRECT.

MICHAEL E. LONG P.L.S. 6815 DATE
CITY SURVEYOR

CITY PLANNER'S STATEMENT

I HEREBY STATE THAT THIS FINAL MAP CONFORMS TO THE TENTATIVE SUBDIVISION MAP #5587 APPROVED BY THE CITY OF VISALIA PLANNING COMMISSION AT THE REGULAR MEETING HELD ON NOVEMBER 13, 2023.

BY: PAUL BERNAL, DATE
PLANNING AND COMMUNITY PRESERVATION DIRECTOR/CITY PLANNER

CITY CLERK'S STATEMENT

THIS IS TO STATE THAT AT A REGULAR MEETING OF THE CITY COUNCIL OF THE CITY OF VISALIA HELD ON THIS _____ DAY OF _____, 20____, AN ORDER WAS DULY AND REGULARLY MADE AND ENTERED INTO APPROVING THIS MAP AND SUBDIVISION AND, ON BEHALF OF THE PUBLIC, ACCEPTING SUBJECT TO IMPROVEMENT, THE PUBLIC STREETS, AND LOTS A, B, C, D, E, F, G, H, I, J, K, L, M, N, AND P; AND ACCEPTING THE PUBLIC UTILITY EASEMENTS, BLOCK WALL EASEMENTS, AND REJECTING THE IRREVOCABLE OFFER OF DEDICATION IN FEE TO THE CITY OF VISALIA AS SHOWN HEREON AND DESIGNATED AS "IRREVOCABLE OFFER OF DEDICATION IN FEE" TO HEREAFTER REMAIN AN IRREVOCABLE OFFER OF DEDICATION IN FEE UNTIL ACCEPTED OR TERMINATED BY SEPARATE RESOLUTION OF THE CITY COUNCIL, AND CONSENTING TO THE ABANDONMENT OF THE ROAD RIGHT OF WAY EASEMENT, AS NOTED. ALL INCLUDED WITHIN THE BOUNDARIES OF THE SUBDIVISION AND AS SHOWN AND/OR STATED UPON THIS MAP.

WITNESS MY HAND AND OFFICIAL SEAL OF THE CITY OF VISALIA, THIS _____ DAY OF _____, 20____.

LESLIE B. CAVIGLIA
CITY MANAGER/CITY CLERK

BY: CHIEF DEPUTY CITY CLERK

BOARD OF SUPERVISORS' STATEMENT

I, JASON T. BRITT, COUNTY ADMINISTRATIVE OFFICER/CLERK OF THE BOARD OF SUPERVISORS OF THE COUNTY OF TULARE, STATE OF CALIFORNIA, DO HEREBY STATE THAT THE SAID BOARD OF SUPERVISORS HAS APPROVED THE PROVISIONS MADE FOR THE PAYMENT OF TAXES AS PROVIDED IN DIVISION 2 OF TITLE 7 OF THE GOVERNMENT CODE OF THE STATE OF CALIFORNIA.

DATED THIS _____ DAY OF _____, 20____.

JASON T. BRITT
COUNTY ADMINISTRATIVE OFFICER/CLERK OF THE BOARD OF SUPERVISORS

BY: _____ DEPUTY

RECORDER'S STATEMENT

DOCUMENT NO. _____ FEE PAID _____

FILED THIS _____ DAY OF _____, 20____, AT _____ M.,

IN VOLUME _____ OF MAPS, AT PAGE _____ TULARE COUNTY RECORDS, AT THE REQUEST OF 4 CREEKS, INC.

TARA K. FREITAS, CPA, TULARE COUNTY ASSESSOR/CLERK-RECORDER

BY: _____ DEPUTY

PREPARED BY:



4CREEKS

324 S. SANTA FE ST., STE. A
P.O. BOX 7593
VISALIA, CA 93292
TEL: 559.802.3052
FAX: 559.802.3215

BELISSA SUBDIVISION PHASE 1

BEING SITUATED IN A PORTION OF THE SOUTHWEST QUARTER AND SOUTHEAST QUARTER OF THE NORTHEAST QUARTER OF SECTION 14, TOWNSHIP 18 SOUTH, RANGE 24 EAST, MOUNT DIABLO BASE AND MERIDIAN, IN THE CITY OF VISALIA, COUNTY OF TULARE, STATE OF CALIFORNIA

CURVE TABLE				CURVE TABLE				CURVE TABLE			
CURVE #	LENGTH	RADIUS	DELTA	CURVE #	LENGTH	RADIUS	DELTA	CURVE #	LENGTH	RADIUS	DELTA
C1	78.45'	50.00'	89°53'55"	C27	46.19'	80.00'	33°04'40"	C53	42.00'	1,321.00'	1°49'18"
C2	125.52'	80.00'	89°53'55"	C28	30.25'	110.00'	15°45'28"	C54	42.00'	1,321.00'	1°49'18"
C3	38.31'	80.00'	27°26'23"	C29	27.19'	110.00'	14°09'40"	C55	156.05'	1,271.69'	7°01'51"
C4	27.72'	80.00'	19°50'58"	C30	3.07'	110.00'	1°35'48"	C56	57.33'	1,275.87'	2°34'28"
C5	40.00'	80.00'	28°38'53"	C31	18.92'	1,450.00'	0°44'51"	C57	32.34'	1,271.00'	1°27'29"
C6	19.49'	80.00'	13°57'41"	C32	118.17'	190.00'	35°38'09"	C58	42.64'	46.00'	53°06'19"
C7	24.98'	50.00'	28°37'40"	C33	47.15'	190.00'	14°13'09"	C59	67.82'	162.00'	23°59'11"
C8	39.09'	52.00'	43°03'59"	C34	43.57'	190.00'	13°08'23"	C60	123.64'	192.00'	36°53'41"
C9	99.65'	470.00'	12°08'54"	C35	27.45'	190.00'	8°16'37"	C61	99.01'	222.00'	25°33'14"
C10	49.21'	500.00'	5°38'20"	C36	137.06'	222.00'	35°22'23"	C62	55.60'	222.00'	14°20'55"
C11	37.37'	510.00'	4°11'53"	C37	24.88'	222.00'	6°25'13"	C63	43.42'	222.00'	11°12'19"
C12	88.84'	1,852.00'	2°44'54"	C38	112.18'	222.00'	28°57'10"	C64	15.79'	218.00'	4°09'02"
C13	86.05'	1,852.00'	2°39'44"	C39	164.61'	1,420.00'	6°38'31"	C65	13.62'	188.00'	4°09'02"
C14	2.79'	1,852.00'	0°05'10"	C40	60.20'	1,420.00'	2°25'45"	C66	94.42'	180.00'	30°03'21"
C15	42.99'	1,842.00'	1°20'14"	C41	104.41'	1,420.00'	4°12'46"	C67	33.64'	180.00'	10°42'24"
C16	90.55'	480.00'	10°48'32"	C42	161.14'	1,390.00'	6°38'31"	C68	42.89'	180.00'	13°39'04"
C17	39.60'	480.00'	4°43'37"	C43	44.20'	1,390.00'	1°49'18"	C69	17.90'	180.00'	5°41'53"
C18	50.95'	480.00'	6°04'56"	C44	44.20'	1,390.00'	1°49'18"	C70	96.59'	150.00'	36°53'41"
C19	249.91'	450.00'	31°49'12"	C45	47.44'	1,390.00'	1°57'19"	C71	55.77'	120.00'	26°37'48"
C20	107.90'	450.00'	13°44'18"	C46	1.15'	1,390.00'	0°02'51"	C72	23.87'	50.00'	27°21'26"
C21	142.01'	450.00'	18°04'55"	C47	80.37'	252.00'	18°16'22"	C73	131.48'	52.00'	144°52'15"
C22	94.97'	420.00'	12°57'18"	C48	40.71'	252.00'	9°15'20"	C74	27.40'	52.00'	30°11'17"
C23	54.21'	420.00'	7°23'44"	C49	39.66'	252.00'	9°01'02"	C75	52.73'	52.00'	58°05'58"
C24	58.08'	420.00'	7°55'25"	C50	162.19'	1,321.00'	7°02'05"	C76	37.80'	52.00'	41°38'53"
C25	54.15'	480.00'	6°27'49"	C51	36.18'	1,321.00'	1°34'10"	C77	13.55'	52.00'	14°56'06"
C26	54.86'	1,450.00'	2°10'03"	C52	42.00'	1,321.00'	1°49'18"	C78	23.87'	50.00'	27°21'26"

LEGEND

- △ FOUND MONUMENT AND ACCEPTED AS DESCRIBED

() WILD HORSE RANCH NO. 1 RECORDED IN BOOK 41, OF MAPS, PAGE 84, TCR

[] WILD HORSE RANCH NO. 2 RECORDED IN BOOK 41, OF MAPS, PAGE 85, TCR

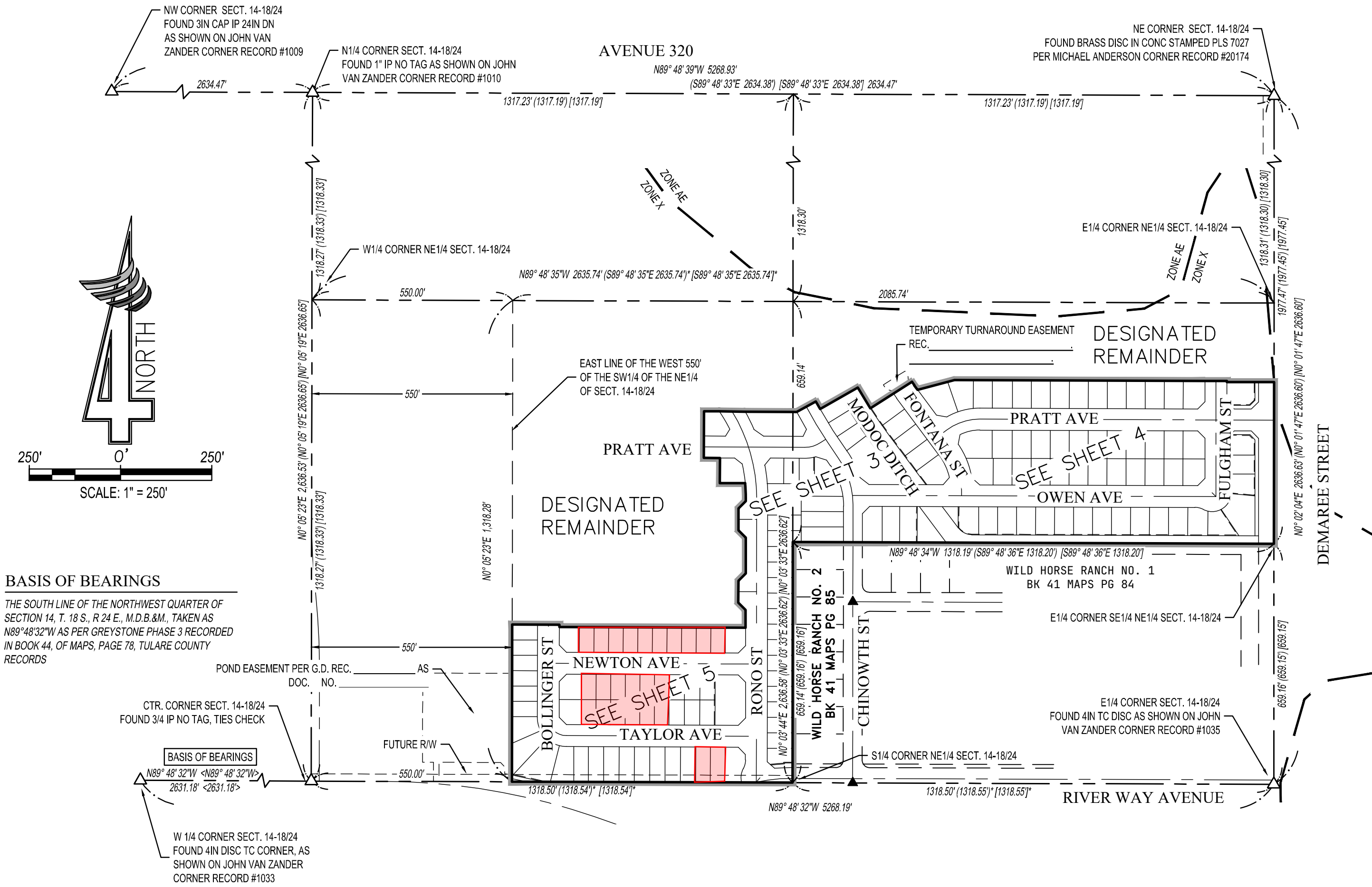
< > GREYSTONE PHASE 3, RECORDED IN BOOK 44, OF MAPS, PAGE 78, TCR

▲ FOUND A BRASS DISC FLUSH IN CONCRETE PER WILD HORSE RANCH NO. 2 RECORDED IN BOOK 41, OF MAPS, PAGE 85, TCR,
- SHADED LINE INDICATES SUBDIVISION BOUNDARY

* CALCULATED FROM RECORD

TC TULARE COUNTY RECORDS

RADIALS		RADIALS		RADIALS		RADIALS	
#	BEARING	#	BEARING	#	BEARING	#	BEARING
R1	N89° 54' 37"W	R10	N71° 58' 49"E	R19	S54° 41' 03"W	R28	N0° 11' 26"E
R2	S0° 11' 28"W	R11	S58° 14' 31"W	R20	S32° 53' 12"E	R29	N89° 57' 56"W
R3	S89° 56' 16"E	R12	N60° 31' 01"E	R21	S59° 09' 31"W	R30	N62° 40' 38"E
R4	S61° 18' 36"E	R13	S0° 11' 28"W	R22	S53° 17' 45"W	R31	S27° 32' 53"W
R5	S75° 37' 24"W	R14	S15° 33' 59"E	R23	S89° 48' 34"E	R32	N0° 11' 26"E
R6	N11° 57' 26"W	R15	S13° 58' 11"E	R24	N53° 17' 45"E	R33	S0° 11' 26"W
R7	S0° 11' 28"W	R16	N54° 25' 17"E	R25	S53° 17' 45"W	R34	S53° 17' 45"W
R8	N5° 27' 33"W	R17	N83° 38' 14"E	R26	N36° 42' 15"W		
R9	S89° 56' 16"E	R18	S89° 56' 34"E	R27	N26° 26' 22"W		



BASIS OF BEARINGS

THE SOUTH LINE OF THE NORTHWEST QUARTER OF SECTION 14, T. 18 S., R. 24 E., M.D.B.&M., TAKEN AS N89°48'32"W AS PER GREYSTONE PHASE 3 RECORDED IN BOOK 44, OF MAPS, PAGE 78, TULARE COUNTY RECORDS

PREPARED BY:



4CREEKS

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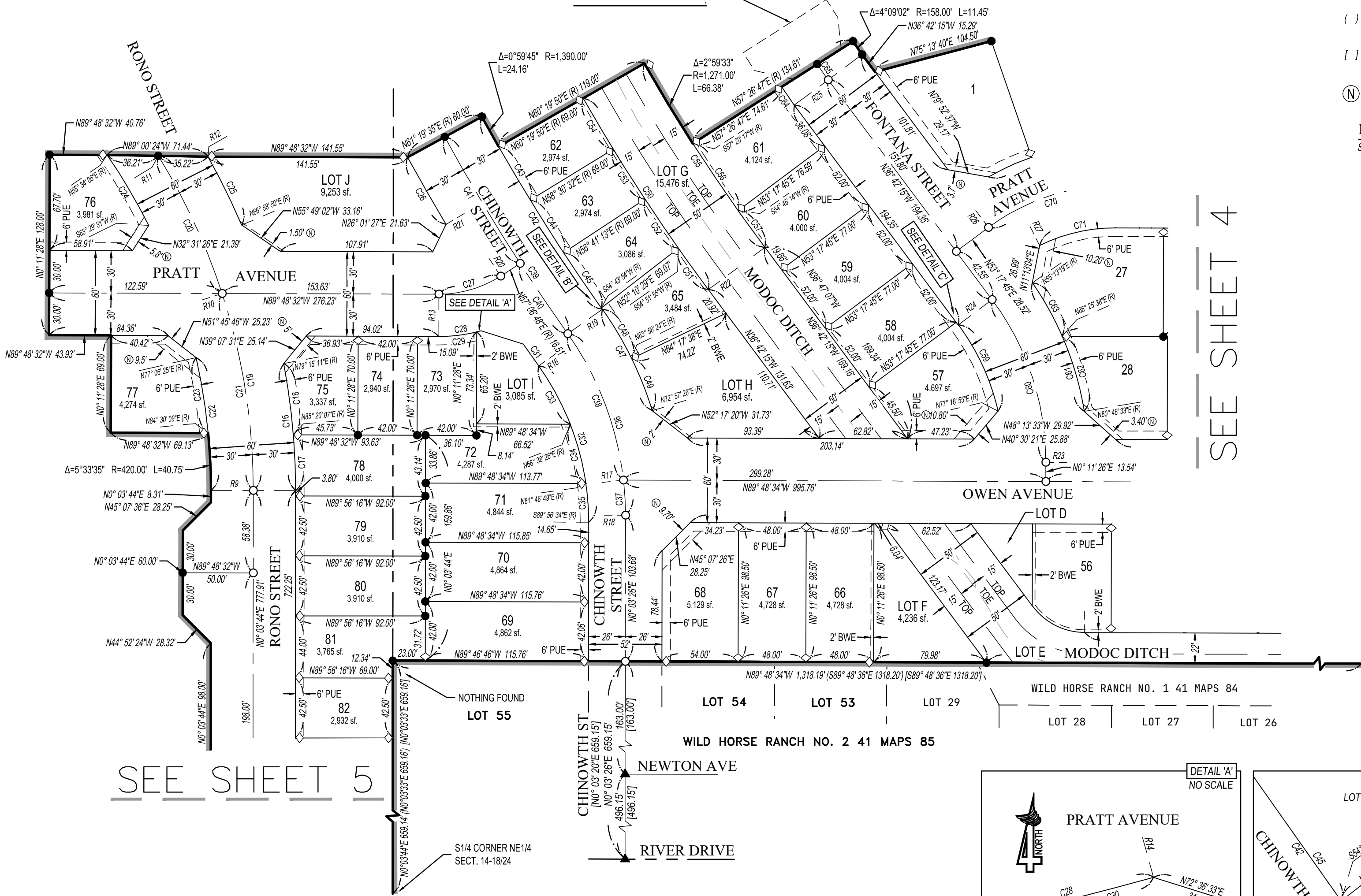
BELISSA SUBDIVISION PHASE 1

TSM 5587

BEING SITUATED IN A PORTION OF THE SOUTHWEST QUARTER AND SOUTHEAST QUARTER OF THE NORTHEAST QUARTER OF SECTION 14, TOWNSHIP 18 SOUTH, RANGE 24 EAST, MOUNT DIABLO BASE AND MERIDIAN, IN THE CITY OF VISALIA, COUNTY OF TULARE, STATE OF CALIFORNIA

DESIGNATED REMAINDER

TEMPORARY TURNAROUND EASEMENT
REC. _____

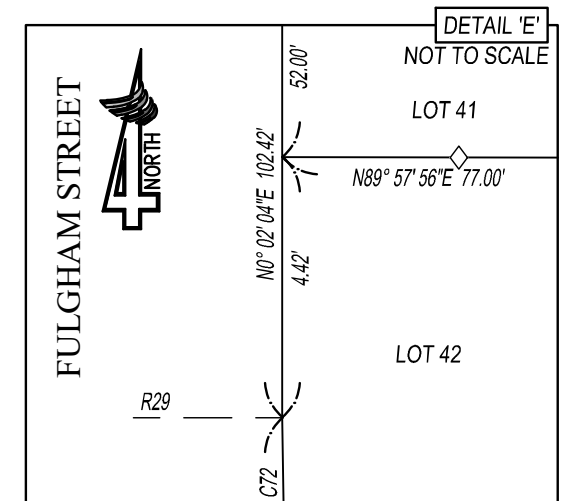
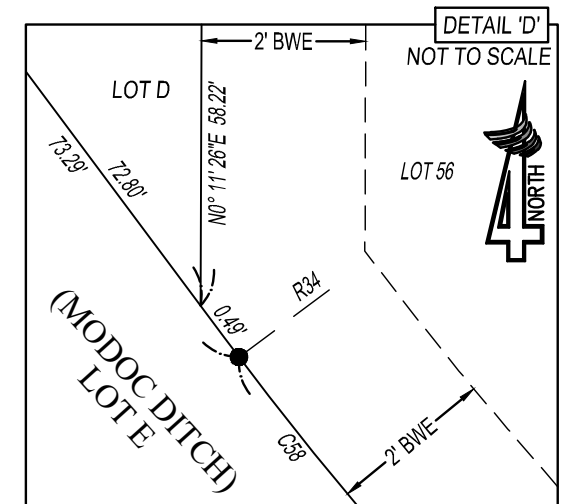
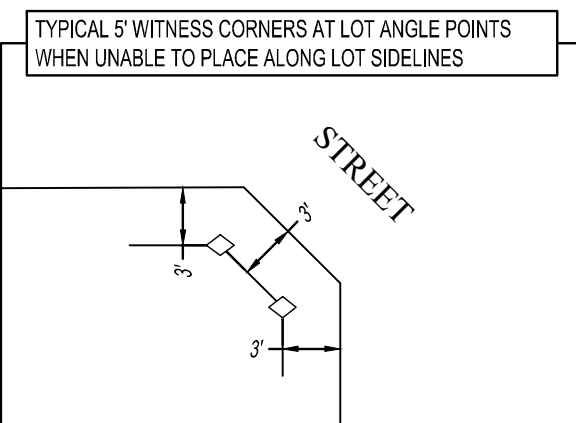
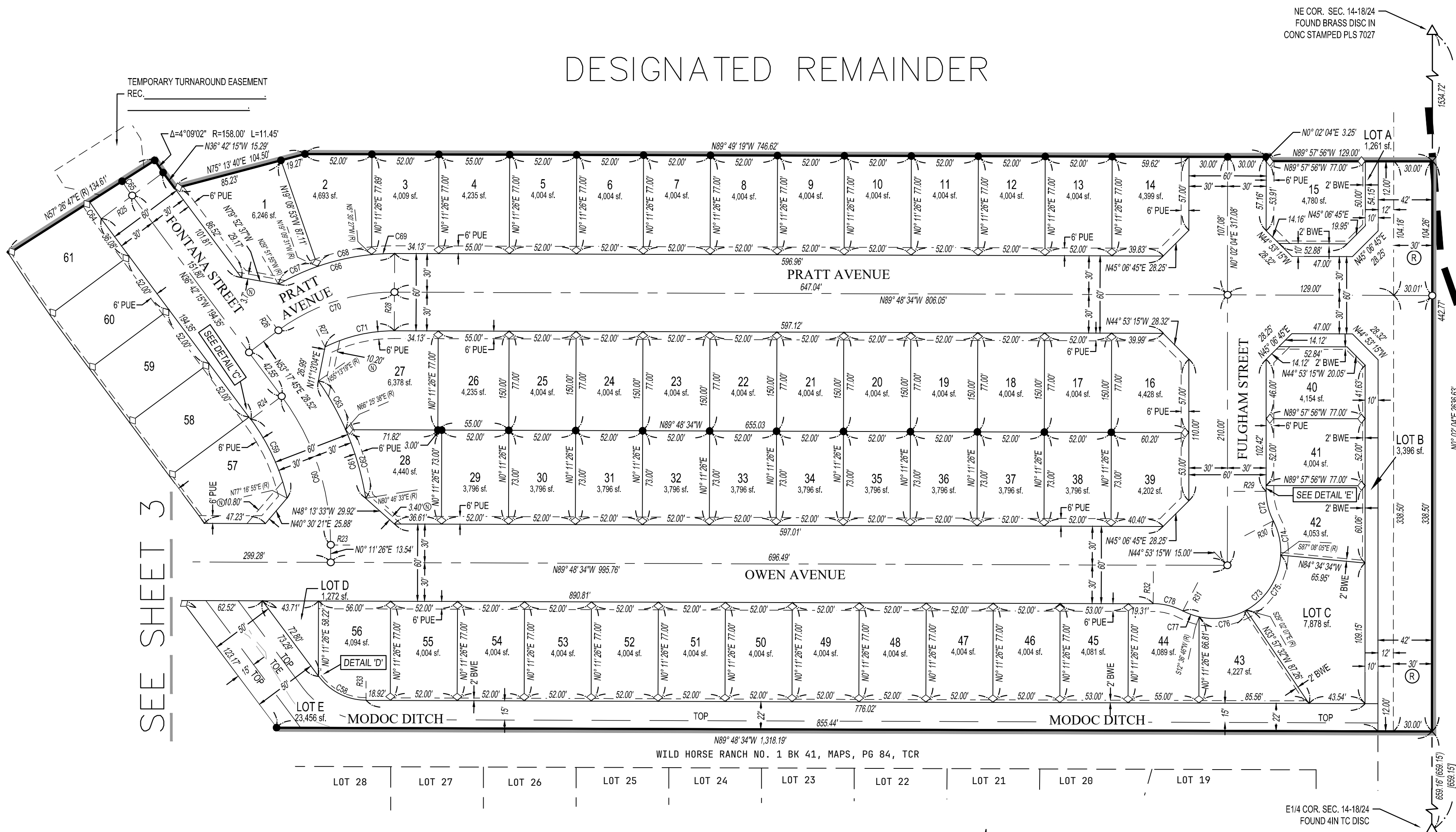


BELISSA SUBDIVISION PHASE 1

BEING SITUATED IN A PORTION OF THE SOUTHWEST QUARTER AND SOUTHEAST QUARTER OF THE NORTHEAST QUARTER OF SECTION 14, TOWNSHIP 18 SOUTH, RANGE 24 EAST, MOUNT DIABLO BASE AND MERIDIAN, IN THE CITY OF VISALIA, COUNTY OF TULARE, STATE OF CALIFORNIA

TSM 5587

DESIGNATED REMAINDER



- LEGEND**
- △ FOUND MONUMENT AND ACCEPTED AS DESCRIBED
 - SET 3/4" IRON PIPE TAGGED "PLS 9849" DOWN 6IN
 - SET BRASS DISC FLUSH IN CONC. TAGGED "PLS 9849"
 - ◇ SET 3/4" IRON PIPE TAGGED "PLS 9849" 3.00 FEET FROM TRUE CORNER ALONG PROPERTY LINE
 - () WILD HORSE RANCH NO. 1 RECORDED IN BOOK 41, OF MAPS, PAGE 84, TCR
 - [] WILD HORSE RANCH NO. 2 RECORDED IN BOOK 41, OF MAPS, PAGE 85, TCR
 - (N) NO BUILD ZONE PER THIS MAP

- SHADED LINE INDICATES SUBDIVISION BOUNDARY
- PUE PUBLIC UTILITY EASEMENT
- BWE BLOCK WALL EASEMENT
- TCR TULARE COUNTY RECORDS
- OR OFFICIAL RECORDS
- (R) RADIAL BEARING
- * CALCULATED FROM RECORD
- 30.00 RIGHT OF WAY PER ASSESSORS BOOK 77, PAGE 5, NO DOCUMENT INFORMATION WAS FOUND TULARE COUNTY ROAD PLAT ABSTRACT BOOK FOR THIS PORTION (NO RECORD AVAILABLE), SHOWN HEREON

NOTE:
SEE SHEET 2 FOR RADIAL AND CURVE TABLES

BASIS OF BEARINGS
THE SOUTH LINE OF THE NORTHWEST QUARTER OF SECTION 14, T. 18 S., R. 24 E., M.D.B.&M., TAKEN AS N89°48'32"W AS PER GREYSTONE PHASE 3 RECORDED IN BOOK 44, OF MAPS, PAGE 78, TULARE COUNTY RECORDS



PREPARED BY:



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4CREEKS SHEET 4 OF 5

BELISSA SUBDIVISION PHASE 1

TSM 5587

BEING SITUATED IN A PORTION OF THE SOUTHWEST QUARTER AND SOUTHEAST QUARTER OF THE NORTHEAST QUARTER OF SECTION 14, TOWNSHIP 18 SOUTH, RANGE 24 EAST, MOUNT DIABLO BASE AND MERIDIAN, IN THE CITY OF VISALIA, COUNTY OF TULARE, STATE OF CALIFORNIA

LEGEND

- △ FOUND MONUMENT AND ACCEPTED AS DESCRIBED
- SET 3/4" IRON PIPE TAGGED "PLS 9849" DOWN 6IN
- SET BRASS DISC FLUSH IN CONC. TAGGED "PLS 9849"
- ◇ SET 3/4" IRON PIPE TAGGED "PLS 9849" 3.00 FEET FROM TRUE CORNER ALONG PROPERTY LINE
- () WILD HORSE RANCH NO. 1 RECORDED IN BOOK 41, OF MAPS, PAGE 84, TCR
- [] WILD HORSE RANCH NO. 2 RECORDED IN BOOK 41, OF MAPS, PAGE 85, TCR
- ▲ OFFERED FOR DEDICATION IN FEE FOR PUBLIC STREET AND UTILITY PURPOSES
- SHADED LINE INDICATES SUBDIVISION BOUNDARY
- PUE PUBLIC UTILITY EASEMENT
- PAE PEDESTRIAN ACCESS EASEMENT
- BWE BLOCK WALL EASEMENT
- TCR TULARE COUNTY RECORDS
- OR OFFICIAL RECORDS
- (R) RADIAL BEARING
- CALCULATED FROM RECORD

BASIS OF BEARINGS

THE SOUTH LINE OF THE NORTHWEST QUARTER OF SECTION 14, T. 18 S., R. 24 E., M.D.B.&M., TAKEN AS N89°48'32"W AS PER GREYSTONE PHASE 3 RECORDED IN BOOK 44, OF MAPS, PAGE 78, TULARE COUNTY RECORDS

NOTE:

SEE SHEET 2 FOR RADIAL AND CURVE TABLES

- (A) 20' RIGHT OF WAY FOR ROAD PURPOSES TO THE COUNTY OF TULARE RECORDED IN BOOK 2, OF RIGHTS OF WAYS, PAGE 610 TO BE ABANDONED PER THIS MAP
- (D) IRREVOCABLE OFFER OF DEDICATION IN FEE TO THE CITY OF VISALIA PER THIS MAP
- (N) NO BUILD ZONE PER THIS MAP

DESIGNATED REMAINDER

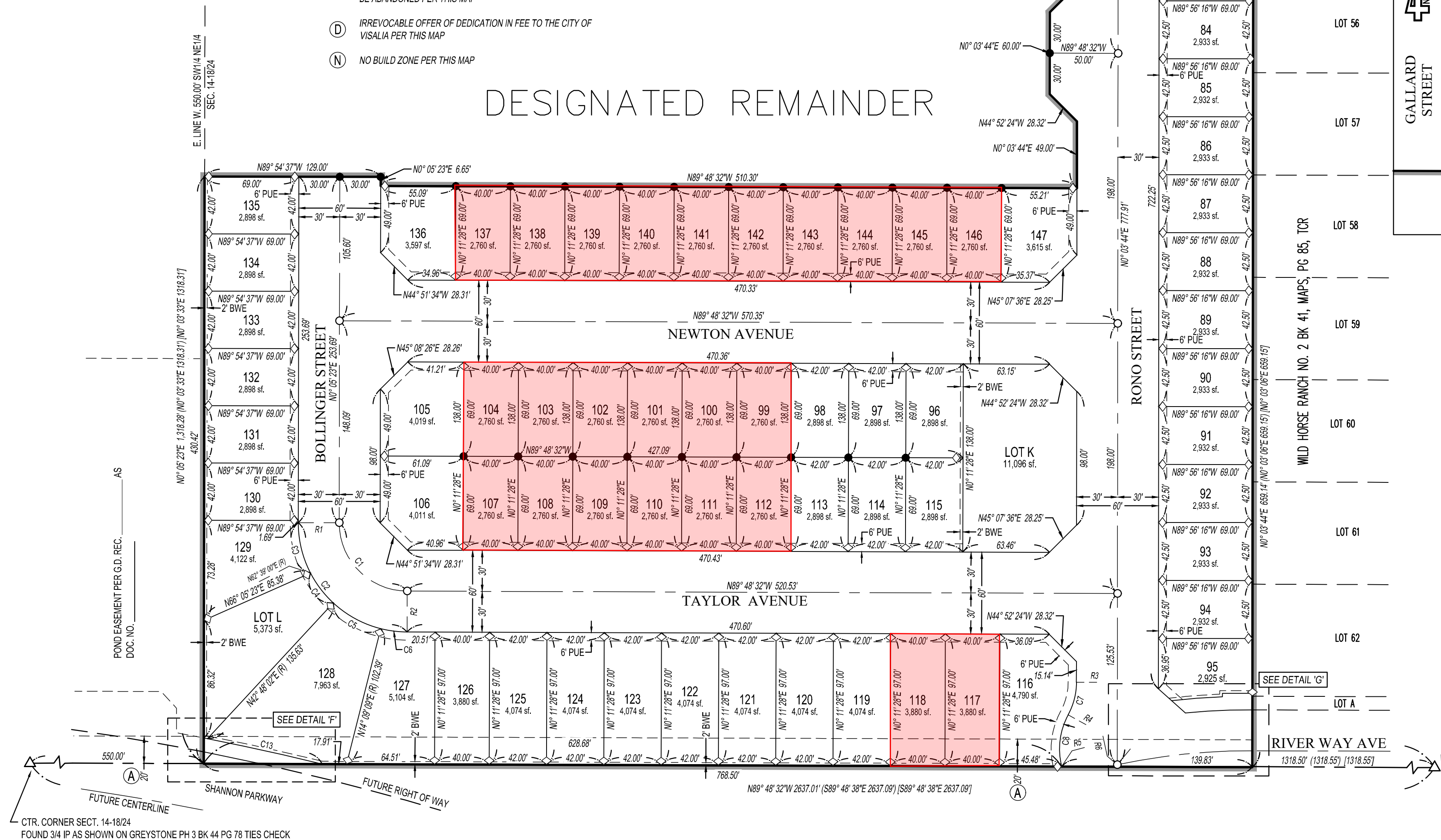
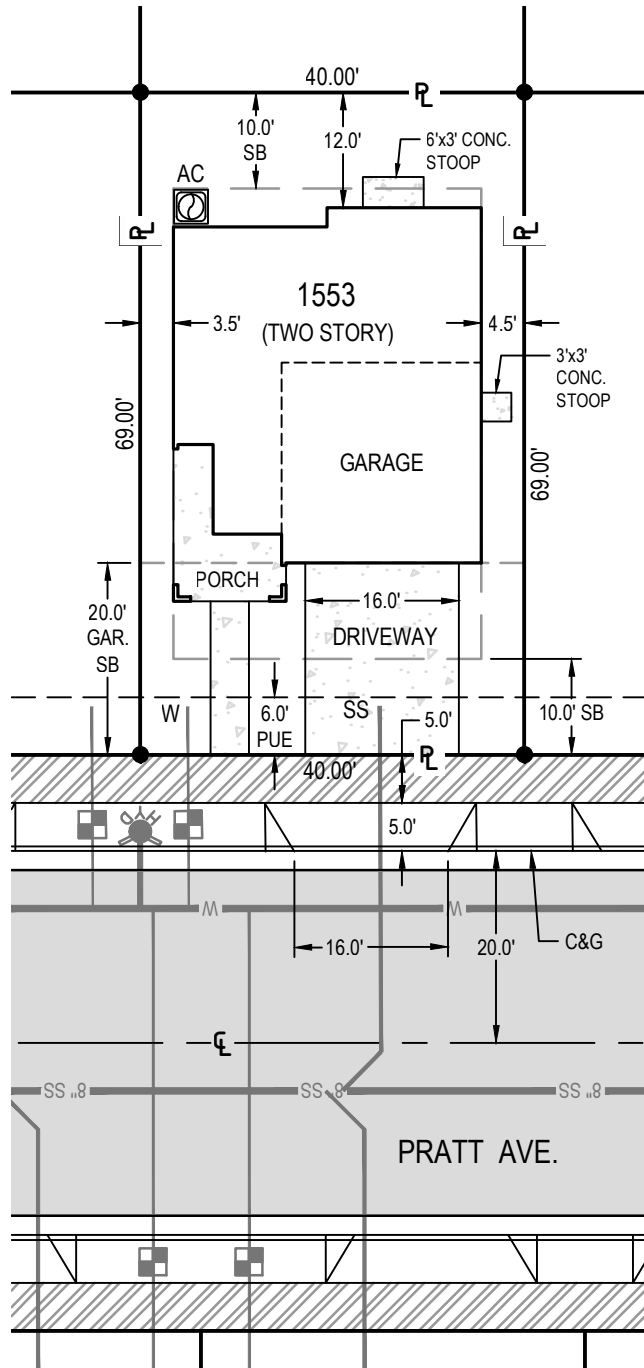


EXHIBIT C

- CL Center Line
- PL Property Line
- SB Building Setback
- LE Landscape Easement
- PE Pedestrian Easement
- PGE PG&E Easement
- PUE Public Utility Easement
- WM Water Meter Location
- SD Storm Drain
- SS Sewer Lateral
- W Water Lateral
- Fire Hydrant
- Street Light
- Pad Mounted Elec. Trans. (Above Ground)
- Electric Trans. Vault (Flush Mount)
- Electric Splice Box (Flush Mount)
- Electric Splice Box (Flush Mount)
- Phone Splice Box (Flush Mount)
- Phone Splice Box (Above Ground)
- Phone Pedestal (Above Ground)
- Phone Fiber Vault (Flush Mount)
- Cable TV Pedestal (Above Ground)
- Cable TV Box (Above Ground)
- Cable Splice Box (Flush Mount)
- ZONE AE

SETBACKS

FRONT: 10'
GARAGE: 20'
REAR: 10'
SIDE: 3.5' HOUSE
4.5' GARAGE



GENERAL NOTES:

FLAT WORK SCORE LINES WILL VARY DEPENDING ON ACTUAL FIELD CONDITIONS.

MAILBOX FOR THIS LOT IS PROVIDED BY A COMMUNITY MAILBOX WHOSE LOCATION IS PENDING.

A STREET TREE SHALL BE PLANTED AND REMAIN AND IT'S LOCATION IS TO BE DETERMINED AT TIME OF CONSTRUCTION.

EXACT LOCATION OF STREET TREES MAY VARY BASED ON ACTUAL FIELD CONDITIONS.

THERE WILL BE 0-5 STEPS AT FRONT WALKWAY. NUMBER OF STEPS, IF ANY, WILL VARY BASED ON FIELD CONDITIONS.

IT IS ANTICIPATED THAT EVERY HOME WILL HAVE ONE OR MORE UTILITY BOXES ON OR NEAR THEIR PROPERTY. GREEN AT&T SERVICE UNITS MAY OR MAY NOT BE LOCATED ON THE PROPERTY DEPENDING ON UTILITY REQUIREMENTS.

THE LOCATION OF THESE UTILITY BOXES ARE SHOWN FOR REFERENCE ONLY AND ARE NOT IN THE FINAL LOCATION OR CONFIGURATION.

(INITIAL)

*PLACEMENT OF HOUSE, STREETLIGHTS, FIRE HYDRANTS, SIDEWALK, TRANSFORMERS, MAILBOXES, ETC., ARE SUBJECT TO CHANGE DUE TO SITE CONDITIONS. UTILITY BOXES (CABLE, TELEPHONE, AND ELECTRIC) ARE NOT SHOWN IN THEIR FINAL LOCATION ON THE PLOT PLAN. STREETLIGHTS MAY BE RELOCATED BASED ON FINAL DRAWINGS.

(INITIAL)



0" 1" 1" = 20'

SITE PLAN

FLOORPLAN 1553 TYPICAL PLOT PLAN

		A		B		C		D		E		F		G	
		1ST FLOOR LIVING AREA		GARAGE AREA		COVERED PORCH / PATIO AREA		A + B + C FOOTPRINT AREA		LOT COVERAGE (%)		2ND FLOOR LIVING AREA		A + E TOTAL LIVING AREA	
LOT AREA (SF)	PLAN - OPTION	PLAN NO.	ELEVATION	(SF)	(SF)	(SF)	(SF)	(SF)	(SF)	(%)	(SF)	(SF)	(SF)	(SF)	(SF)
2760	-	1553	-	662	421	119	1202	44	891	662	1553				

DRAWN: JULY 17, 2025



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4-CREEKS.COM
INFO@4-CREEKS.COM

VISALIA OAKS SUBDIVISION VISALIA, CA

LOT NO.: 100
PLAN NO.: 1553
TSM: 5587
ELEVATION: -

14

BUYER'S SIGNATURE

DATE

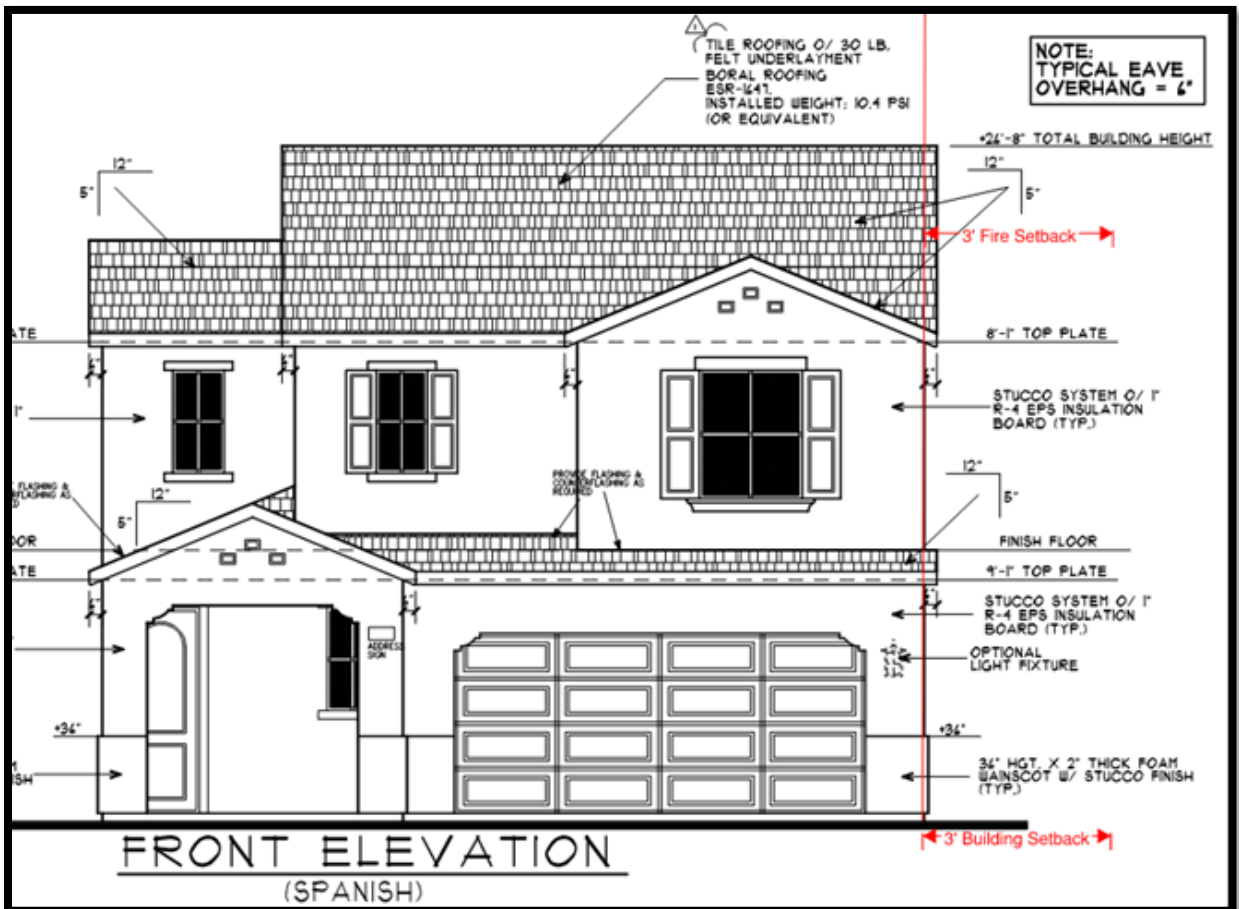
APPROVED BY:

DATE:

2505 ALLUVIAL AVE.
CLOVIS, CA 93611
559.432.8181



Residence
with 6" eaves.



**Residence
without 6" eaves.**



BELISSA RESIDENTIAL
COMMUNITY
TENTATIVE SUBDIVISION MAP
CONDITIONAL USE PERMIT (PUD)
ANNEXATION

A PORTION OF LOT 2 OF SHANNON RANCH CENTRAL SUBDIVISION, RECORDED IN VOL. 40 OF MAPS, AT PAGE 99, TCR, LOCATED IN THE SE 1/4 OF SECTION 14, TOWNSHIP 18 SOUTH, 24 EAST, MDB&M, IN THE CITY OF VISALIA, COUNTY OF TULARE, STATE OF CALIFORNIA

REQUESTING CUP FOR DENSITY SPREAD AND LOT SIZES THAT DO NOT MEET THE R-1 AND RM ZONING STANDARDS.

APN:	077-050-004, 077-050-006
TOTAL AREA:	59.84 AC. (GROSS) ±
EXISTING ZONING:	AE-40 (COUNTY)
PROPOSED ZONING:	R-1-5 (PD)
EXISTING USE:	VACANT
PROPOSED USE:	RESIDENTIAL
GENERAL PLAN DESIGNATION:	LOW RESIDENTIAL MED DENSITY HIGH DENSITY NEIGHBORHOOD COMMERCIAL AE and X TULARE COUNTY - TO BE ANNEXED TIER 2
FLOOD ZONE:	
JURISDICTION:	
VISALIA UDB TIER:	

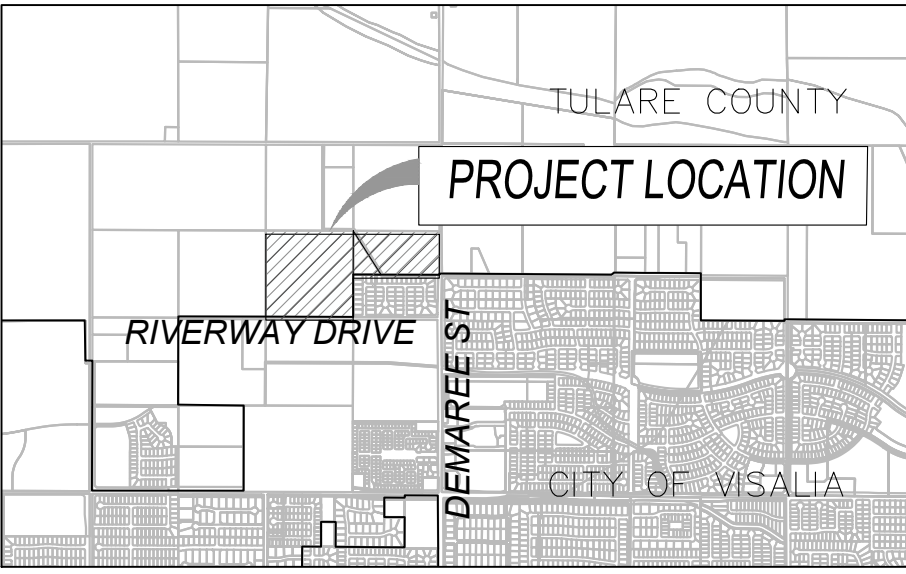
LAND USE TOTALS:	AREA	DU	NET DENSITY
LOW DENSITY RESIDENTIAL:	14.11 AC	159	11.27 DU/AC
MEDIUM DENSITY RESIDENTIAL:	10.85 AC	150	13.76 DU/AC
HIGH DENSITY RESIDENTIAL:	5.74 AC	168	29.24 DU/AC
NEIGHBORHOOD COMMERCIAL:	7.50 AC		
PARKS/OPEN SPACE:	2.57 AC		
MODOC DITCH (LOTS Q & R)	1.20		
LOCAL STREETS	14.65 AC		
COLLECTOR/ARTERIAL STREETS:	2.97 AC		
LANDSCAPE LOTS:	0.25 AC		
TOTAL	59.84 AC	477	

VMC TITLE 18 - AGRICULTURAL PRESERVATION ORDINANCE	
TOTAL PRIME FARMLAND:	59.84 ACRES
EXCLUSIONS (PER VMC 18.04.060 (C):	20.19 ACRES
REQUIRED AGRICULTURAL LAND PRESERVATION:	39.65 ACRES

GROSS DENSITY CALCS:	GROSS AREA	DU	GROSS DENSITY
LDR:	27.9 AC	159	5.7 DU/AC
MDR:	15.0 AC	150	10.0 DU/AC
HDR:	7.6 AC	168	22.1 DU/AC

PARK/OPEN SPACE: 2.57 AC
LOT C: 0.03 AC; LOT D: 0.10 AC; LOT G: 0.25 AC; LOT H: 0.24 AC; LOT I: 0.10 AC; LOT J: 0.17 AC; LOT K: 0.22 AC; LOT L: 0.70 AC; LOT N: 0.18 AC; LOT O: 0.18 AC; LOT P: 0.05 AC; MFR PARKSPACE: 0.36 AC
MIN. REQUIRED (5% OF RESIDENTIAL AREA): 2.52 AC

- NOTES
- LOTS A - P TO BE PART OF A LANDSCAPE & LIGHTING DISTRICT AND DEDICATED TO CITY OF VISALIA WITH THIS MAP.
 - PHASE 1 MDR LOTS SHALL BE NOTIFIED THAT PHASE 2 HDR SITE MAY CONSTRUCT 2 AND/OR 3 STORY DEVELOPMENT ADJACENT TO THEM.
 - 20-FT REAR YARD SETBACK REQUIRED FOR LOTS 1-3 & 130-143.
 - ALL OFF-SITES TO BE INSTALLED WITH PHASE 1.
 - SANITARY SEWER AND WATER UTILITIES TO TIE INTO EXISTING LINES ALONG RIVERWAY DRIVE AND DEMAREE STREET
 - ALL LOTS TO CONNECT TO REQUIRED TEMPORARY STORMWATER BASIN. POTENTIAL CONNECTION TO EXISTING SD SYSTEM TBD DURING CIVIL DESIGN.



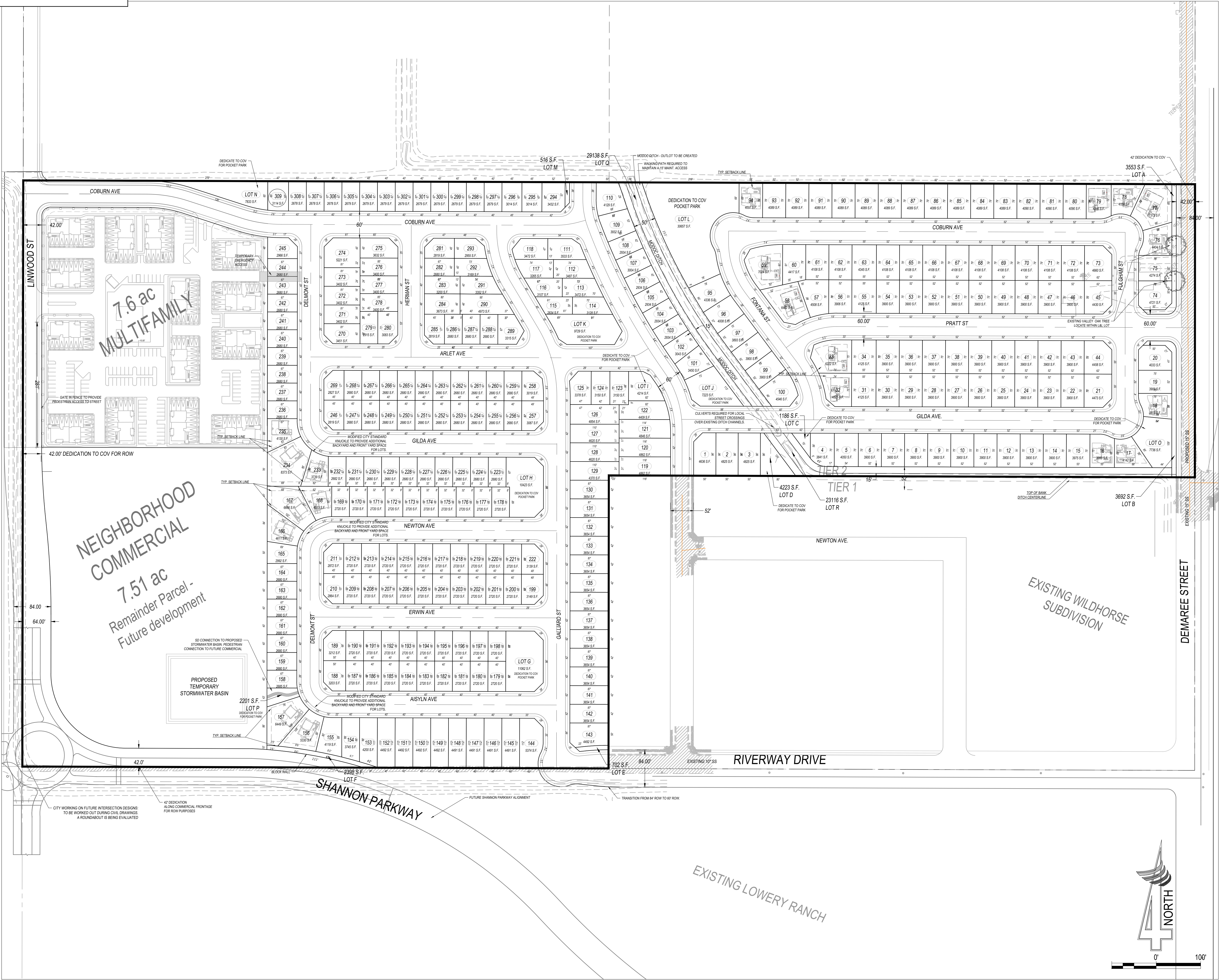
VICINITY MAP

PREPARED BY:



4CREEKS

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TEL: 559.802.2052
FAX: 559.802.3215
www.4creeks.com





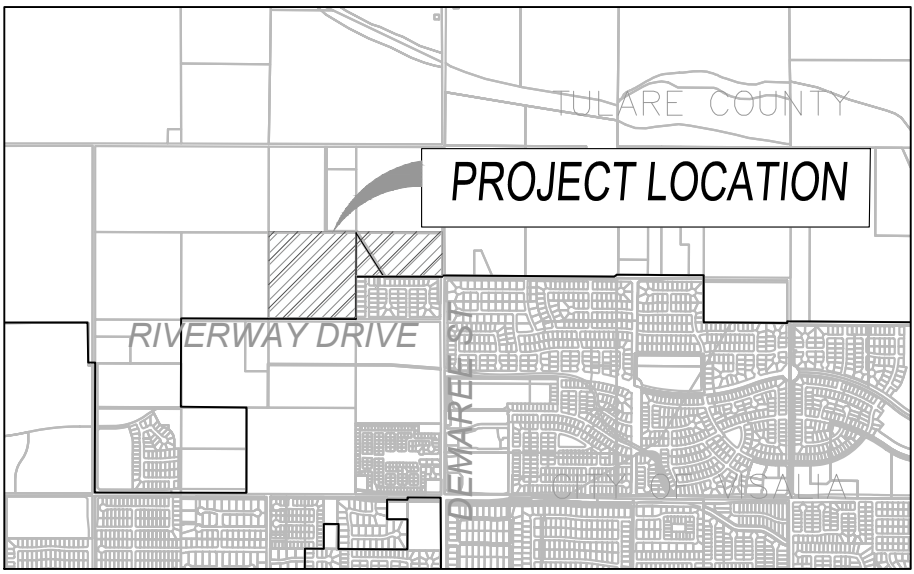
BELISSA RESIDENTIAL
COMMUNITY
PHASING PLAN
CONDITIONAL USE PERMIT (PUD)
ANNEXATION

A PORTION OF LOT 2 OF SHANNON RANCH CENTRAL SUBDIVISION, RECORDED IN VOL. 40
OF MAPS, AT PAGE 99, TCR, LOCATED IN THE SE 1/4 OF SECTION 14, TOWNSHIP 18
SOUTH, 24 EAST, MDB&M, IN THE CITY OF VISALIA, COUNTY OF TULARE, STATE OF
CALIFORNIA

REQUESTING CUP FOR DENSITY SPREAD AND LOT SIZES THAT DO NOT MEET THE
R-1 AND RM ZONING STANDARDS.

PHASING PLAN:

- PHASE 1: SINGLE-FAMILY RESIDENTIAL (146 UNITS), DEMAREE STREET IMPROVEMENTS ALONG PHASE 1 BOUNDARY
- PHASE 2: SINGLE-FAMILY RESIDENTIAL (109 UNITS), DEMAREE STREET IMPROVEMENTS ALONG PHASE 2 BOUNDARY
- PHASE 3: SINGLE FAMILY RESIDENTIAL (54 UNITS)
- PHASE 4: MULTIFAMILY RESIDENTIAL, LINWOOD STREET IMPROVEMENTS ALONG PHASE 4 BOUNDARY
- PHASE 5: NEIGHBORHOOD COMMERCIAL, SHANNON PARKWAY AND LINWOOD STREET IMPROVEMENTS ALONG PHASE 5 BOUNDARY.



VICINITY MAP

PREPARED BY:



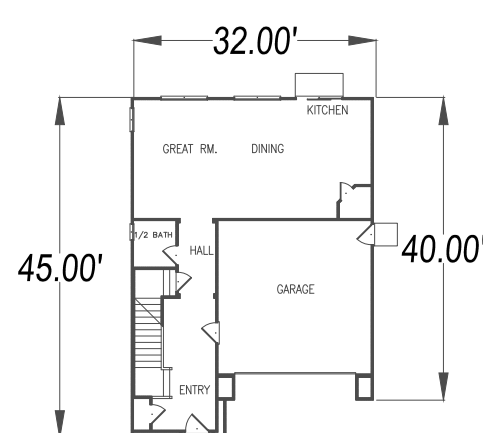
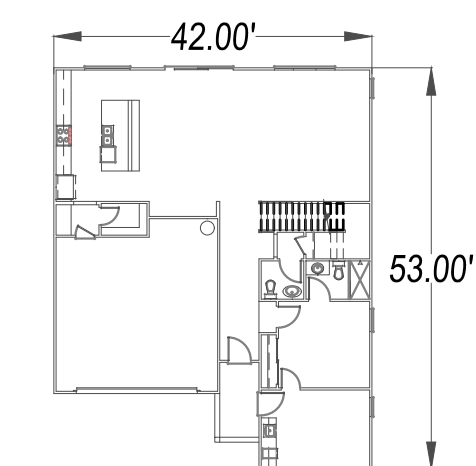
4CREEKS

324 S. SANTA FE, STE. A
VISALIA, CA 93292
TEL: 559.802.3052
FAX: 559.802.3215
www.4creeks.com

SETBACKS, PARKING, FOOTPRINTS, AND TRASH CAN EXHIBIT

REQUESTING CUP FOR DENSITY SPREAD AND LOT SIZES THAT DO NOT MEET THE R-1 AND RM ZONING STANDARDS.

- ARIETTE LOTS SHALL PROVIDE 3' AND 5' SIDE YARD SETBACKS. THE 5' SETBACK SHALL BE PROVIDED ON THE SIDE YARD ADJACENT TO THE GARAGE FOR TRASH RECEPTACLE STORAGE.
- PATIOS SHALL NOT ENCROACH ON SETBACK AREAS AND SHALL BE REMOVED IF ENCROACHMENT WILL OCCUR.
- TYP. REAR YARD OPEN SPACE WILL RANGE FROM 400 SF - 600 SF



Spanish



Brio

1,553 Sq. Ft.

Ariette
AT WESTERRA

Craftsman



Cottage



wchomes.com/westerra
559.554.0004

Optional features shown

Spanish



Canon

1,908 Sq. Ft.

Ariette
AT WESTERRA

Cottage



Tuscan



wchomes.com/westerra
559.554.0004

Optional features shown

**WATHEN
CASTANOS**
HOMES

Spanish



Dorian

1,806 Sq. Ft.

Ariette
AT WESTERRA

Craftsman



Farmhouse



wchomes.com/westerra
559.554.0004

Optional features shown

**WATHEN
CASTANOS
HOMES**

Spanish



Lydian

1,955 Sq. Ft.

Ariette
AT WESTERRA

Cottage



Farmhouse



wchomes.com/westerra
559.554.0004

Optional features shown

Spanish



Toccata

2,044 Sq. Ft.

Ariette
AT WESTERRA



Cottage



Tuscan

wchomes.com/westerra
559.554.0004

Optional features shown

**WATHEN
CASTANOS
HOMES**

RESOLUTION NO 2022-12

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF VISALIA APPROVING TENTATIVE SUBDIVISION MAP NO. 5587, A REQUEST BY 4CREEKS, INC. TO SUBDIVIDE A 59.84-ACRE PARCEL INTO THE FOLLOWING: 159 LOW-DENSITY RESIDENTIAL LOTS ON APPROXIMATELY 27.9 ACRES; 150 MEDIUM-DENSITY RESIDENTIAL LOTS ON APPROXIMATELY 15 ACRES; AN APPROXIMATELY 7.6-ACRE HIGH-DENSITY RESIDENTIAL LOT THAT WILL BE DEVELOPED WITH A 168-UNIT MULTI-FAMILY RESIDENTIAL COMPLEX; AND AN APPROXIMATELY 7.88-ACRE NEIGHBORHOOD COMMERCIAL LOT WHICH WILL BE DEVELOPED IN THE FUTURE, UPON ANNEXATION INTO THE CITY OF VISALIA. THE PROJECT SITE IS LOCATED AT THE NORTHWEST CORNER OF NORTH DEMAREE STREET AND WEST PRATT AVENUE WITHIN THE JURISDICTION OF THE COUNTY OF TULARE (APN: 077-050-018, 019).

WHEREAS, Belissa Tentative Subdivision Map No. 5587 is a request by 4Creeks, Inc. to subdivide a 59.84-acre parcel into the following: 159 low-density residential lots on approximately 27.9 acres; 150 medium-density residential lots on approximately 15 acres; an approximately 7.6-acre high-density residential lot that will be developed with a 168-unit multi-family residential complex; and an approximately 7.88-acre Neighborhood Commercial lot which will be developed in the future. The project is pre-zoned to R-1-5 (Single Family Residential, 5,000 sq. ft. minimum), R-M-2 (Multi-Family Residential, 3,000 sq. ft. minimum site area per dwelling), R-M-3 (Multi-Family Residential, 1,200 sq. ft. minimum site area per dwelling), and C-N (Commercial Neighborhood) and is located at the northwest corner of North Demaree Street and West Pratt Avenue within the jurisdiction of the County of Tulare (APN: 077-050-018, 019); and

WHEREAS, the Planning Commission of the City of Visalia, after duly published notice, held a public hearing before said Commission on November 13, 2023; and

WHEREAS, the Planning Commission of the City of Visalia finds the Belissa Tentative Subdivision Map No. 5587 in accordance with Chapter 16.16 of the Subdivision Ordinance of the City of Visalia, based on the evidence contained in the staff report and testimony presented at the public hearing; and

WHEREAS, an Initial Study was prepared which disclosed that environmental impacts are determined to be less than significant with the incorporation of mitigation to address significant impacts; and

NOW, THEREFORE, BE IT RESOLVED that Mitigated Negative Declaration No. 2022-18 was prepared for Annexation No. 2022-02, Belissa Tentative Subdivision Map No. 5587, Conditional Use Permit No. 2022-05, and Conditional Use Permit No. 2023-22, consistent with the California Environmental Quality Act and City of Visalia Environmental Guidelines.

NOW, THEREFORE, BE IT FURTHER RESOLVED that the Planning Commission of the City of Visalia makes the following specific findings based on the evidence presented:

1. That the proposed location and layout of the Belissa Tentative Subdivision Map No. 5587, its improvements and design, and the conditions under which it will be maintained are consistent with the policies and intent of the General Plan, Zoning Ordinance, and Subdivision Ordinance. The 59.84-acre project site, which is the site of the proposed 309-lot single-family residential subdivision, 168-unit multi-family complex, and 7.51-acre Neighborhood Commercial remainder, is consistent with Land Use Policy LU-P-21 of the General Plan. Policy LU-P-21 allows for the “annexation and development of residential, commercial, regional retail, and industrial land to occur within the Urban Development Boundary (Tier II) consistent with the City’s Land Use Diagram”.
2. That the proposed Belissa Tentative Subdivision Map No. 5587, its improvements and design, and the conditions under which it will be maintained will not be detrimental to the public health, safety, or welfare, nor materially injurious to properties or improvements in the vicinity, nor is it likely to cause serious public health problems. The proposed tentative subdivision map will be compatible with adjacent land uses. The project site is bordered by existing residential development, and arterial/collector streets.
3. That the site is physically suitable for the proposed tentative subdivision map. The Belissa Tentative Subdivision Map No. 5587 is consistent with the intent of the General Plan, Zoning Ordinance, and Subdivision Ordinance, and is not detrimental to the public health, safety, or welfare or materially injurious to properties or improvements in the vicinity. The project site is adjacent to land zoned for residential development, and the subdivision establishes an arterial, collector, and local street pattern that will serve the subject site and the future development of vacant parcels located to the north, east, and west of the subject site.
4. That the site is physically suitable for the proposed tentative subdivision map and the project’s density, which is consistent with the underlying Residential Low Density, Residential Medium Density, Residential High Density, and Commercial Neighborhood General Plan Land Use Designations. The proposed location and layout of the Belissa Tentative Subdivision Map No. 5587, its improvement and design, and the conditions under which it will be maintained is consistent with the policies and intent of the General Plan, Zoning Ordinance, and Subdivision Ordinance. The 59.84-acre project site, which is the site of the proposed 309-lot single-family residential subdivision, 168-unit multi-family development, and 7.51-acre Neighborhood Commercial remainder, is consistent with Land Use Policy LU-P-21.
5. That the proposed Belissa Tentative Subdivision Map No. 5587, the design of the subdivision or the type of improvements proposed will not conflict with easements, acquired by the public at large, for access through or use of, property within the proposed subdivision. The 309-lot subdivision and 168-unit multi-family complex are designed to comply with the City’s Engineering Improvement Standards for major

streets. The development of the site with a 309-lot subdivision and 168-unit multi-family complex will improve arterial and collector streets (North Demaree Street, North Linwood Street, and West Riverway Avenue), and extend local streets, infrastructure improvements, utilities, right-of-way improvements and a residential lot pattern consistent with existing residential development found in the area.

6. The proposed location of the tentative subdivision map is in accordance with the Visalia General Plan and the objectives of the Zoning and Subdivision Ordinances. The proposed location of the subdivision is in accordance with the objectives of the Zoning Ordinance and the purposes of the zones in which the site is located. Multiple General Plan policies identify the implementation of development standards to ensure that new single-family residential development will contribute to positive land use compatibility. The size of the property combined with the number of residential lots proposed is consistent and compatible with existing surrounding residential development.

The proposed project will result in the creation of 159 single-family lots within the Low-Density Residential/R-1-5 portion of the project site, comprising a density of 5.7 dwelling units per acre, the creation of 150 single-family lots within the Medium-Density Residential/R-M-2 portion of the project site comprising a density of 10 dwelling units per acre, and the creation of 168 multi-family units within the High-Density Residential/R-M-3 portion of the project site comprising 22 dwelling units per acre, and one 7.51 acre remainder lot, which are all consistent with General Plan land use designations of Residential Low Density, Residential Medium Density, Residential High Density, Neighborhood Commercial, and their corresponding zonings designations of R-1-5, R-M-2, R-M-3, and C-N that will be applied to the site when annexed into the city limits.

7. The Housing Accountability Act (GC section 66589.5) requires local agencies to approve housing developments that are consistent with applicable, objective general plan, zoning, and subdivision standards in effect at the time that the housing development project's application is determined to be complete. A local agency cannot disapprove a project or lower its density unless it finds by a preponderance of the evidence that the project would have a specific, adverse impact on public health or safety, and there is no feasible way to mitigate or avoid the impact. There is no evidence that the project would cause quantifiable significant unavoidable impacts on public health and safety. The project is consistent, compliant, and in conformity with the General Plan, Zoning Ordinance, and development standards.
8. That an Initial Study was prepared for this project, consistent with CEQA, which disclosed that environmental impacts are determined to be not significant and that Mitigated Negative Declaration No. 2022-39, is hereby adopted. Furthermore, the design of the subdivision or the proposed improvements are not likely to cause substantial environmental damage nor substantially and avoidably injure fish or wildlife or their habitat.

BE IT FURTHER RESOLVED that the Planning Commission hereby approves the tentative subdivision map on the real property herein above described in accordance with

the terms of this resolution under the provisions of Section 16.16.110 of the Ordinance Code of the City of Visalia, subject to the following conditions:

1. That the subdivision map be developed in substantial compliance with the comments and conditions of the Site Plan Review Committee as set forth under Site Plan Review No. 2021-116 and Site Plan Review No. 2021-141, incorporated herein by reference.
2. That the Belissa Tentative Subdivision Map No. 5587 be prepared in substantial compliance with the subdivision map in Exhibit "A".
3. That setbacks for the Belissa Tentative Subdivision Map No 5587 shall be as follows:

SETBACK STANDARDS (MADISON COLLECTION, LOTS 1 - 100)					
	Front Yard	Side Yard	Street Side Yard	Rear Yard	Garage
EXISTING R-1-5 SETBACKS	15	5	10	25	22
PROPOSED SETBACKS	10	5	10	10	20

SETBACK STANDARDS (ARIETTE COLLECTION, LOTS 101 - 309)					
	Front Yard	Side Yard	Street Side Yard	Rear Yard	Garage
EXISTING R-M-2 SETBACKS	15	5	10	25	22
PROPOSED SETBACKS	10	3 and 5, with larger side yard to be adjacent to garage for trash receptable storage.	10	10	20

4. That the block walls located within the Landscape and Lighting District lots shall transition to three-foot height within the 15-foot front yard setback areas of the adjoining residential lots of the Belissa Tentative Subdivision Map No. 5587 (Exhibit "A").
5. That approval of the Belissa Tentative Subdivision Map No. 5587 shall not become effective unless Annexation No. 2022-02, placing the project site within the corporate limits of the City of Visalia, is approved by the Tulare County Local Agency Formation Commission (LAFCO), and is fully executed to include all conditions contained in the Pre-Annexation Agreement for Annexation No. 2022-02.
6. That prior to the issuance of any residential building permit on the site, the applicant / developer shall obtain and provide the City with a valid Will Serve Letter from the California Water Service Company.
7. That the mitigation measures found within the Mitigation Monitoring Plan for Mitigated Negative Declaration No. 2022-39 are hereby incorporated as conditions of the Belissa Tentative Subdivision Map No. 5587.
8. That the project be developed in substantial compliance with all improvements depicted and described in Exhibits "A" through "J".
9. That a secondary emergency access shall be provided at Lots 238 and 239 of the subdivision if the multi-family development will not contain fire sprinklers.

10. That the local streets within Belissa Tentative Subdivision Map No. 5587 shall be kept free and clear of vehicles on trash pick-up days. Signage shall be placed throughout the subdivision informing residents of this requirement.
11. That the curvilinear non-standard roadway knuckles within the small lot portion of Belissa Tentative Subdivision Map No. 5587 shall be painted red to prevent on-street parking of vehicles.
12. That all applicable federal, state, regional, and city policies and ordinances be met.

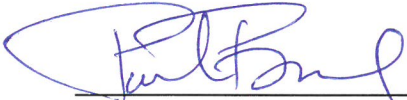
Commissioner Davis offered the motion to this resolution. Commissioner Tavaréz seconded the motion and it carried by the following vote:

AYES: Commissioners Davis, Tavaréz, Hansen, Beatie, Peck
NOES:
ABSTAINED:
ABSENT:

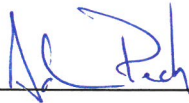
STATE OF CALIFORNIA)
COUNTY OF TULARE) ss
CITY OF VISALIA)

ATTEST: Paul Bernal, Community Development Director

I, Paul Bernal, Secretary of the Visalia Planning Commission, certify the foregoing is the full and true Resolution No. 2022-12, passed and adopted by the Planning Commission of the City of Visalia at a regular meeting held on November 13, 2023.



Paul Bernal, Community Development Director



Adam Peck, Chairperson

RESOLUTION NO. 2022-13

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF VISALIA APPROVING CONDITIONAL USE PERMIT NO. 2022-05: A REQUEST BY 4CREEKS, INC. FOR A PLANNED DEVELOPMENT CONSISTING OF 159 LOW-DENSITY RESIDENTIAL LOTS ON APPROXIMATELY 27.9 ACRES AND 150 MEDIUM-DENSITY RESIDENTIAL LOTS ON APPROXIMATELY 15 ACRES. THE PROPOSAL WILL INCLUDE NON-STANDARD LOTS THAT WILL BE LESS THAN 5,000 SQUARE FEET IN SIZE, WITH MODIFIED SETBACKS, AND NON-STANDARD ROADWAY KNUCKLES, TO BE LOCATED WITHIN THE R-1-5 (SINGLE FAMILY RESIDENTIAL, 5,000 SQ. FT. MINIMUM) AND R-M-2 (MULTI-FAMILY RESIDENTIAL, 3,000 SQ. FT. MINIMUM SITE AREA PER DWELLING) ZONES. THE PROJECT SITE IS LOCATED AT THE NORTHWEST CORNER OF NORTH DEMAREE STREET AND WEST PRATT AVENUE WITHIN THE JURISDICTION OF THE COUNTY OF TULARE (APN: 077-050-018, 019).

WHEREAS, Conditional Use Permit No. 2022-05 is a request by 4Creeks, Inc. for a Planned Development consisting of 159 low-density residential lots on approximately 27.9 acres and 150 medium-density residential lots on approximately 15 acres. The proposal will include non-standard lots that will be less than 5,000 square feet in size, with modified setbacks, and non-standard roadway knuckles, to be located within the R-1-5 (Single Family Residential, 5,000 sq. ft. minimum) and R-M-2 (Multi-Family Residential, 3,000 sq. ft. minimum site area per dwelling) zones. The project site is located at the northwest corner of North Demaree Street and West Pratt Avenue within the jurisdiction of the County of Tulare (APN: 077-050-018, 019); and

WHEREAS, the Planning Commission of the City of Visalia, after duly published notice did hold a public hearing before said Commission on November 13, 2023; and,

WHEREAS, the Planning Commission of the City of Visalia finds the Conditional Use Permit No. 2022-05, as conditioned, to be in accordance with Chapter 17.26.10 of the Zoning Ordinance of the City of Visalia, based on the evidence contained in the staff report and testimony presented at the public hearing; and,

WHEREAS, an Initial Study was prepared, which disclosed that environmental impacts are determined to be less than significant with the incorporation of mitigation to address significant impacts; and

NOW, THEREFORE, BE IT RESOLVED that Mitigated Negative Declaration No. 2022-18 was prepared for Annexation No. 2022-02, Belissa Tentative Subdivision Map No. 5587, Conditional Use Permit No. 2022-05, and Conditional Use Permit No. 2023-22, consistent with the California Environmental Quality Act and City of Visalia Environmental Guidelines.

NOW, THEREFORE, BE IT FURTHER RESOLVED that the Planning Commission of the City of Visalia makes the following specific findings based on the evidence presented:

1. That the proposed project, as conditioned, will not be detrimental to the public health, safety, or welfare, or materially injurious to properties or improvements in the vicinity.

2. That the proposed conditional use permit is consistent with the policies and intent of the General Plan and Zoning Ordinance. Specifically, the project is consistent with the required findings of Zoning Ordinance Section 17.38.110:
 - a. The proposed location of the conditional use is in accordance with the objectives of the Zoning Ordinance and the purposes of the zone in which the site is located. The proposed modifications to the R-1-5 and R-M-3 zone standards result in buildable lots, as conditioned, that will be fully functional without undue intrusion or conflict with adjacent residences, and which are consistent with the development pattern and residential density of the surrounding area. The 5.7 units per acre density range of the project site within the Low Density Residential land use designation, the 10 units per acre density range of the project site within the Medium Density Residential land use designation, and the 22 unit per acre density range of the project within the High Density Residential land use designation, are all in keeping with the respective Low, Medium, and High Density Residential land use designations and assist in maximizing the lands usage. Setback reductions maintain typical residential standards and dwelling sizes and are offset by the inclusion of pocket parks with amenities placed throughout the subdivision. Furthermore, local streets and infrastructure to be installed shall maintain adequate circulation throughout the site, providing access to amenities within and outside of the development.
 - b. The proposed location of the conditional use and the conditions under which it would be operated or maintained will not be detrimental to the public health, safety, or welfare, nor materially injurious to properties or improvements in the vicinity. The proposed tentative subdivision map and multi-family complex will be compatible with adjacent residential land uses and will improve circulation in the area via improvements to adjacent arterial and collector streets.
 - c. That the proposed project is consistent with the policies and intent of the General Plan, Zoning Ordinance, and Subdivision Ordinance. The project specifically supports General Plan Land Use policies related to efficient land use absorption (Policy LU-P-21, LU-P-55, LU-P-56, LU-P-57, and LU-P-67).
3. That an Initial Study was prepared for this project, consistent with CEQA, which disclosed that environmental impacts are determined to be not significant and that Mitigated Negative Declaration No. 2022-39, is hereby adopted. Furthermore, the design of the subdivision, multi-family development, and the proposed improvements are not likely to cause substantial environmental damage nor substantially and avoidably injure fish or wildlife or their habitat.

BE IT FURTHER RESOLVED that the Planning Commission hereby approves the Conditional Use Permit on the real property here described in accordance with the terms of this resolution under the provisions of Section 17.26.10 of the Ordinance Code of the City of Visalia, subject to the following conditions:

1. That the planned residential development be prepared in substantial compliance with Exhibit "A", which incorporates a total of 309 single-family residential units and related public and private infrastructure.
2. That the subdivision map be developed in substantial compliance with the comments and conditions of the Site Plan Review Committee as set forth under Site Plan Review No. 2021-116 and Site Plan Review No. 2021-141, incorporated herein by reference.

3. That the project be developed in substantial compliance with all improvements depicted and described in Exhibits "A" through "J".
4. That Belissa Tentative Subdivision Map No. 5587 shall be approved, and that requirements of the use permit which relate to this map shall be fulfilled.
5. That the timeline for the lapse of this Conditional Use Permit shall be tied to the timeline for the Belissa Tentative Subdivision Map No. 5587.
6. That setbacks for the Belissa Tentative Subdivision Map No 5587 shall be as follows:

SETBACK STANDARDS (MADISON COLLECTION, LOTS 1 - 100)					
	Front Yard	Side Yard	Street Side Yard	Rear Yard	Garage
EXISTING R-1-5 SETBACKS	15	5	10	25	22
PROPOSED SETBACKS	10	5	10	10	20

SETBACK STANDARDS (ARIETTE COLLECTION, LOTS 101 - 309)					
	Front Yard	Side Yard	Street Side Yard	Rear Yard	Garage
EXISTING R-M-2 SETBACKS	15	5	10	25	22
PROPOSED SETBACKS	10	3 and 5, with larger side yard to be adjacent to garage for trash receptable storage.	10	10	20

7. That prior to the issuance of any residential building permit on the site, the applicant / developer shall obtain and provide the City with a valid Will Serve Letter from the California Water Service Company.
8. That the mitigation measures found within the Mitigation Monitoring Plan for Mitigated Negative Declaration No. 2022-39 are hereby incorporated as conditions of the Belissa Tentative Subdivision Map No. 5587.
9. That the Madison units (Lots 1 through 100) included additional exterior ornamentation on the rear and side yards of all two-story units.
10. That all applicable federal, state, regional, and city policies and ordinances be met.

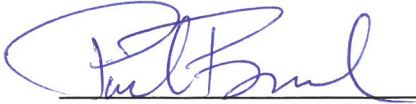
Commissioner Beatie offered the motion to this resolution. Commissioner Davis seconded the motion and it carried by the following vote:

AYES: Commissioners Beatie, Davis, Tavarez, Hansen, Peck
 NOES:
 ABSTAINED:
 ABSENT:

STATE OF CALIFORNIA)
COUNTY OF TULARE) ss
CITY OF VISALIA)

ATTEST: Paul Bernal, Community Development Director

I, Paul Bernal, Secretary of the Visalia Planning Commission, certify the foregoing is the full and true Resolution No. 2022-13, passed and adopted by the Planning Commission of the City of Visalia at a regular meeting held on November 13, 2023.

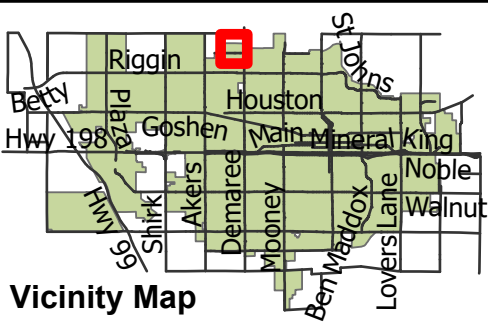
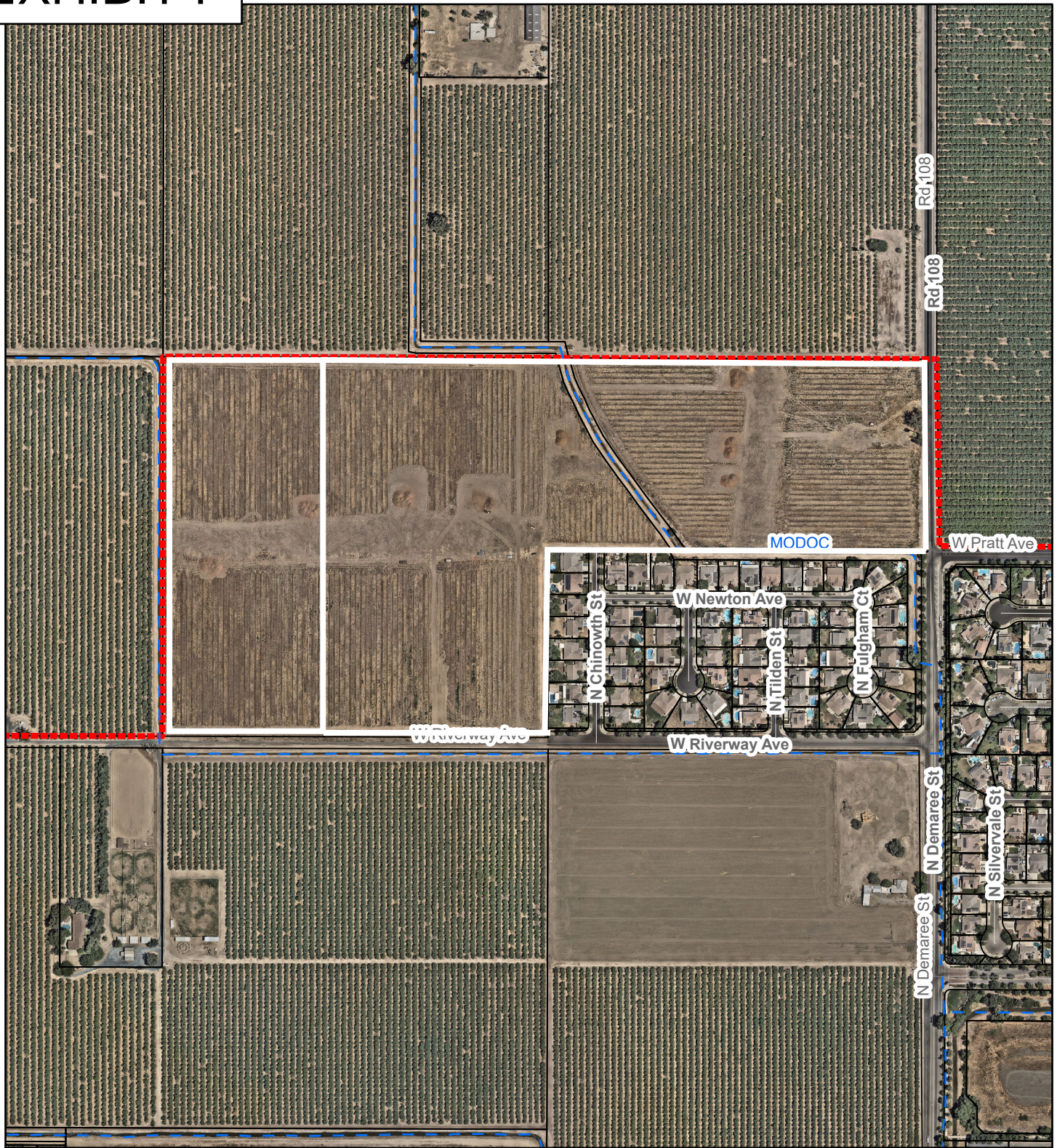


Paul Bernal, Community Development Director



Adam Peck, Chairperson

EXHIBIT F



Aerial Map

0 0.05 0.1 0.2 Miles





REPORT TO CITY OF VISALIA PLANNING COMMISSION

HEARING DATE: August 25, 2025

PROJECT PLANNER: Josh Dan, Senior Planner
Phone No.: (559) 713-4003
E-mail: josh.dan@visalia.city

SUBJECT: Tentative Parcel Map No. 2025-06: A request by Richard Bueno to subdivide a 1.41-acre parcel into two parcels measuring 0.95 acres and 0.46 acres in the C-N (Neighborhood Commercial) and R-M-2 (Multi-Family Residential) zones.

Conditional Use Permit No. 2025-13: A request by Richard Bueno to create parcels that will be less than the minimum acreage in the C-N and R-M-2 zone and to allow a single-family dwelling in the multi-family zone.

Project Location: The project site is located at 1810 East Houston Avenue (APN: 098-200-012).

STAFF RECOMMENDATION

Staff recommends approval of Tentative Parcel Map No. 2025-06 based upon the findings and conditions in Resolution No. 2025-47. Staff's recommendation is based on the project's consistency with the City's General Plan, and Subdivision Ordinance.

Staff recommends approval of Conditional Use Permit No. 2025-13 based upon the findings and conditions in Resolution No. 2025-46. Staff's recommendation is based on the project's consistency with the City's General Plan, and Zoning Ordinance.

RECOMMENDED MOTION

I move to approve Tentative Parcel Map No. 2025-06 based on the findings and conditions in Resolution No. 2025-47.

I move to approve Conditional Use Permit No. 2025-13 based on the findings and conditions in Resolution No. 2025-46.

PROJECT DESCRIPTION

Tentative Parcel Map No. 2025-06 is a request to subdivide an existing 1.41-acre parcel located at 1810 East Houston Avenue into two new parcels (see Exhibit "A"). During Site Plan Review, the applicant identified that the request is to facilitate the future construction of one new single-family dwelling on the proposed parcel fronting East Harold Avenue, Parcel 1, that could also be sold at a future date. The entire project site has two zoning designations. The southern end of the site, fronting East Houston Avenue, is zoned C-N (Neighborhood Commercial) and is approximately 0.48-acres. The remaining 0.93-acres is zoned R-M-2 (Multi-Family Residential). The requested division of land will occur entirely within the R-M-2 (Multi-Family Residential) zoned area.

of the subject site. This is due to several existing residential structures that are located on the property and will be retained.

Conditional Use Permit No. 2025-13 is required for the placement of a single-family home in the R-M-2 (Multi-Family Residential 3,000 square foot minimum site area per dwelling) zone and for the proposal to divide the subject site resulting in parcels less than the two-acre site area minimum identified in VMC Section 17.16.050 for multi-family parcels and less than five acres for Parcel 2 which is zoned Neighborhood Commercial (VMC Section 17.18.060).

The proposed parcel sizes for the newly created parcels will be as follows:

- Parcel 1 -- 0.48 acres (20,908 square feet).
- Parcel 2 -- 0.98 acres (42,688 square feet). The existing residences which will remain onsite consist of a mobile home and two separate single-family residences.

BACKGROUND INFORMATION

General Plan Land Use Designation	Neighborhood Commercial, Residential Medium Density
Zoning	C-N (Neighborhood Commercial), R-M-2 (Multi-Family Residential – 3,000 square foot minimum site area)
Surrounding Zoning and Land Use	North: R-1-5 (Single-Family Residential – 5,000 square foot minimum site area) South: C-MU/ R-M-3 (Mixed-Use Commercial/ Multi-Family Residential – 1,200 square foot minimum site area) – Commercial building East: R-M-3 (Multi-Family-Residential – 1,200 square foot minimum site area) West: C-N/ R-M-2 (Neighborhood Commercial/ Multi-Family Residential – 3,000 square foot minimum site area)
Environmental Review	Categorical Exemption No. 2025-34
Site Plan	2025-033

PROJECT EVALUATION

Staff recommends approval of Tentative Parcel Map No. 2025-06 and Conditional Use Permit No. 2025-13, as conditioned, based on the project's consistency with the General Plan Land Use Element, Subdivision Ordinance, and Zoning Ordinance.

Consistency with General Plan, Zoning and Subdivision Ordinances

Policy LU-P-45 of the Land Use Element encourages the City to promote development of vacant, underdeveloped, and/or re-developable land within the City limits where urban services are available and facilitate infill development in order to reduce the need for annexation and conversion of prime agricultural land, while achieving objectives of compact development as established in the General Plan. Staff supports the project because it meets the overall intent of this policy.

Furthermore, staff finds that the proposal fulfills the land use objective, LU-O-22 of the Land Use Element, which has the scope of creating inclusive, compact neighborhoods with well-integrated single-family and multi-family residential development and activity nodes featuring schools, neighborhood parks, and neighborhood commercial areas. The division of the site, to promote additional residential lots, maximizes the potential use of the land by providing an additional single-family residential parcel to the City's housing inventory. The proposed subdivision and lot configuration is also consistent with the existing development pattern of the surrounding neighborhood which includes single-family and multi-family development types, while also being within close proximity (300-ft) of a commercial node and other resources.

The establishment of a parcel with an area less than two acres in the R-M-2 (Multi-Family Residential – 3,000 square foot minimum site area) zone is conditionally permitted with approval of a Conditional Use Permit, pursuant to VMC 17.16.050 (Site Area Configuration). Additionally, VMC 17.16.040(O) allows for the construction of a new one-family dwelling in the R-M zones when consistent with General Plan density standards.

The surrounding area is similarly zoned and developed with primarily residential uses, providing a compatible context for the proposed subdivision. Directly east and north of the proposed Parcel 1, is an R-1-5 (Single-Family Residential – 5,000 square foot minimum site area) zoned parcel. The creation of Parcel 1 not only reflects the existing development pattern but also provides an opportunity to establish a single-family dwelling consistent with both the General Plan Land Use Element and the R-M-2 zoning designation. The proposed division and associated Conditional Use Permit are consistent with the intent of the General Plan, Zoning Ordinance, and Subdivision Ordinance.

Improvements to Right-of-Ways

All outstanding frontage improvements will be required at time of improvement and/or redevelopment/intensification of the sites. Frontage improvements (i.e.: sidewalk, park strip landscaping, curb, gutter, etc.) are standards requirements for any residential development in the City of Visalia.

Subdivision Map Act Findings

California Government Code Section 66474 lists seven findings for which a legislative body of a city or county shall deny approval of a tentative map if it is able to make any of these findings. Staff has reviewed the seven findings for a cause of denial and finds that none of the findings can be made for the proposed project. The seven findings and staff's analysis are below. Recommended findings in response to this Government Code

section are included in the recommended findings for the approval of the tentative parcel map.

<u>GC Section 66474 Finding</u>	<u>Analysis</u>
(a) That the proposed map is not consistent with applicable general and specific plans as specified in Section 65451.	The proposed map has been found to be consistent with the City's General Plan. This is included as recommended Finding No. 1 of the Tentative Parcel Map. There are no specific plans applicable to the proposed map.
(b) That the design or improvement of the proposed subdivision is not consistent with applicable general and specific plans.	The proposed design and improvement of the map has been found to be consistent with the City's General Plan. This is included as recommended Finding No. 1 of the Tentative Parcel Map.
(c) That the site is not physically suitable for the type of development.	The site is physically suitable for the proposed map, which is designated as Neighborhood Commercial and Residential Medium Density land use. This is included as recommended Finding No. 3 of the Tentative Parcel Map.
(d) That the site is not physically suitable for the proposed density of development.	The site is physically suitable for the proposed density of development in the Neighborhood Commercial and Residential Medium Density land use designation and zone. This is included as recommended Finding No. 4 of the Tentative Parcel Map.
(e) That the design of the subdivision or the proposed improvements are likely to cause substantial environmental damage or substantially and avoidably injure fish or wildlife or their habitat.	The proposed design and improvement of the map has not been found likely to cause environmental damage or substantially and avoidably injure fish or wildlife or their habitat. This finding is further supported by the project's determination of no new effects under the Guidelines for the Implementation of the California Environmental Quality Act (CEQA), included as recommended Finding No. 6 of the Tentative Parcel Map.
(f) That the design of the subdivision or type of improvements is likely to cause serious public health problems.	The proposed design of the map has been found to not cause serious public health problems. This is included as recommended Finding No. 2 of the Tentative Parcel Map.
(g) That the design of the subdivision or the type of improvements will conflict with easements, acquired by the public at large, for access through or use of property within the proposed subdivision.	The proposed design of the map does not conflict with any existing or proposed easements located on or adjacent to the subject property. This is included as recommended Finding No. 5 of the Tentative Parcel Map.

Environmental Review

The project is Categorically Exempt under Section 15315 of the Guidelines for the Implementation of the California Environmental Quality Act (CEQA) for the subdivision of certain properties in urban areas into four or fewer parcels, Categorical Exemption No. 2025-34.

RECOMMENDED FINDINGS

Tentative Parcel Map No. 2025-06

1. That the proposed location and layout of the tentative parcel map, its improvement and design, and the conditions under which it will be maintained are consistent with the policies and intent of the General Plan, Zoning Ordinance, and Subdivision Ordinance.
2. That the proposed tentative parcel map will not be detrimental to the public health, safety, or welfare, or materially injurious to properties or improvements in the vicinity, nor is it likely to cause serious public health problems.
3. That the proposed location, layout and parcel sizes resulting from the tentative parcel map are consistent with the policies and intent of the General Plan, Zoning Ordinance and Subdivision Ordinance.
4. That the site is physically suitable for the proposed tentative parcel map and the project's density, which is consistent with the underlying Neighborhood Commercial and Medium Density Residential General Plan Land Use Designations.
5. That the site is physically suitable for the proposed tentative parcel map and is compatible with adjacent land uses and the proposed design of the map does not conflict with any existing or proposed easements located on or adjacent to the subject property.
6. That the project is considered Categorically Exempt under Section 15315 of the Guidelines for the Implementation of the California Environmental Quality Act (CEQA), Categorical Exemption No. 2025-34. Furthermore, the design of the subdivision or the proposed improvements is not likely to either cause substantial environmental damage or substantially and avoidably injure fish or wildlife or their habitat.

Conditional Use Permit No. 2025-13

1. That the proposed project will not be detrimental to the public health, safety, or welfare, or materially injurious to properties or improvements within the vicinity.
2. That the proposed conditional use permit is consistent with the policies and intent of the General Plan and Zoning Ordinance.
3. The proposed location of the conditional use and the conditions under which it would be operated or maintained will not be detrimental to the public health, safety, or welfare, nor materially injurious to properties or improvements in the vicinity. The site is bordered by similar commercial uses.

4. The project is considered Categorically Exempt under Section 15315 of the Guidelines for the Implementation of the California Environmental Quality Act (CEQA), Categorical Exemption No. 2025-34.

RECOMMENDED CONDITIONS OF APPROVAL

Tentative Parcel Map No. 2025-01

1. That the tentative parcel map shall be developed consistent with the comments and conditions of the Site Plan Review No. 2025-033, incorporated herein by reference.
2. That the tentative parcel map be in substantial compliance with the dimensions as shown on Exhibit "A".
3. That all other federal, state and city laws, codes and ordinances be complied with.

Conditional Use Permit No. 2025-03

1. That the project be developed consistent with the comments and conditions of the Site Plan Review No. 2025-033.
2. Prior to any development, the applicant shall submit building permits.
3. That all other federal, state, and city codes, ordinances and laws be met.

APPEAL INFORMATION

According to the City of Visalia Zoning Ordinance Section 17.02.145, an appeal to the City Council may be submitted within ten days following the date of a decision by the Planning Commission. An appeal form with applicable fees shall be filed with the City Clerk at 220 N. Santa Fe Street, Visalia, CA. The appeal shall specify errors or abuses of discretion by the Planning Commission, or decisions not supported by the evidence in the record. The appeal form can be found on the city's website www.visalia.city or from the City Clerk.

Attachments:

- Related Plans and Policies
- Resolution No. 2025-47 – Tentative Parcel Map No. 2025-06
- Resolution No. 2025-46 – Conditional Use Permit No. 2025-13
- Exhibit "A" – Tentative Parcel Map No. 2025-06
- Site Plan Review Comments No. 2025-033
- General Plan Land Use Map
- Zoning Map
- Aerial Photo
- Vicinity Map

RELATED PLANS AND POLICIES

Visalia Municipal Code Title 16 Subdivisions

Chapter 16.04 General Provisions

16.04.010 Authority for local regulations.

This title is enacted pursuant to the provisions of Division 2 of Title 7 of the Government Code of the State of California, referred to herein as the Subdivision Map Act. (Ord. 2017-01 (part), 2017: prior code § 9000)

16.04.020 Purpose and scope.

A. The subdivision ordinance is adopted to preserve, protect and promote the public health, safety, and general welfare. More specifically, the subdivision ordinance is adopted in order to achieve the following objectives:

1. To aid in the implementation of the general plan of the city, and elements thereof, as adopted by the City Council;
2. To provide lots of sufficient size and appropriate design for the purposes for which they are to be used;
3. To provide streets of adequate capacity for the anticipated traffic that would utilize them and to ensure that they are designed to promote a safe vehicular and pedestrian traffic circulation system;
4. To accommodate new development in a manner that will preserve and enhance the city's living environment and create new beauty through skilled subdivision design;
5. To provide for water supply, sewage disposal, storm drainage, solid waste collection and other utilities and facilities that are required by conditions of an urban environment;
6. To ensure that the costs of providing rights-of-way, street improvements, utilities and public areas and facilities needed to service new developments are borne fairly and equitably by the subdivider rather than by property owners of the city at large.

B. The subdivision ordinance is enacted for the purpose of regulating subdivision of land in accordance with the Subdivision Map Act of the state of California and any future amendments thereto and repeals all other regulations of the city in conflict with this title; provided, however, that such repeal shall not affect any agreement, contract, or bond executed pursuant to such regulations or any rights of action accruing thereunder. The regulations hereinafter in this title contained shall apply to all subdivisions and parcel maps or parts of subdivisions and parcel maps hereafter made entirely or partially within the city. The provisions of this title shall be in addition to and shall be considered as supplemental to the provisions of the Subdivision Map Act of the state of California, as now in effect or hereinafter amended. (Ord. 2017-01 (part), 2017: prior code § 9005)

16.04.030 Responsibilities.

A. City Attorney. The city attorney shall be responsible for approving as to form all subdivision improvement agreements and subdivision improvements securities.

B. City Council. The City Council shall have final jurisdiction in the approval of final maps if the acceptance of land and improvements is proposed for dedication to the city.

C. City Engineer. The city engineer or his/her designee shall be responsible for:

1. Establishing design and construction details, standards and specifications;
2. Determining if proposed subdivision improvements comply with the provisions of this title and the Subdivision Map Act and for reporting the findings together with any recommendations for approval, or conditional approval, of the tentative map to the city planner;
3. The processing and checking of final maps, parcel maps, reversion to acreage maps, amended maps, subdivision improvement plans, lot line adjustment maps, mergers and certificates of compliance;
4. The inspection and approval of subdivision improvements;
5. The approval of private improvements (improvements not to be maintained by the city).

D. Planning Commission. The Planning Commission is the designated official body charged with the duty of conducting public hearings, making investigations and reports on the design and improvement of proposed divisions of real property, the imposing of requirements or conditions thereon, and shall approve, conditionally approve or disapprove maps.

E. City Planner. The city planner shall be responsible for:

1. Investigating proposed subdivisions and parcel maps for conformity to the general plan, specific plans, and zoning ordinances of the city and reporting his finding together with recommendations for approval, conditional approval, or disapproval to the Planning

Commission;

2. Examining and certifying that final maps are in substantial conformance to the approved or conditionally approved tentative map.

F. Site Plan Review Committee. The Site Plan Review Committee shall be responsible for the review of tentative parcel maps, tentative subdivision maps, vesting tentative subdivision maps, and vesting tentative parcel maps and shall provide the subdivider and the Planning Commission with the committee's comments, and requirements for conformance to city ordinances and policies.

G. Subdivider. The subdivider shall prepare maps consistent with the standards contained herein, design public improvements consistent with the public improvement standards of the city, and shall process said maps in accordance with the regulations set forth herein. (Ord. 2017-01 (part), 2017: Ord. 9605 § 32 (part), 1996: prior code § 9010)

16.04.040 Appeals.

A. The subdivider or any interested person adversely affected may, upon payment of an appeal fee as may be established by resolution of the City Council, appeal any decision, determination, or requirement of the Planning Commission by filing a notice thereof in writing with the city clerk, setting forth in detail the action and the grounds upon which the appeal is based within ten (10) days after the action that is the subject of the appeal. Such notice shall state specifically where it is claimed there was an error or abuse of discretion by the Planning Commission.

B. Upon the filing of an appeal, the City Council shall set the matter for hearing. Such hearings shall be held within thirty (30) days after the date of filing the appeal or receipt of council member request. City clerk shall give notice of the hearing according to the procedure required for the initial action by the Planning Commission, except that the timing of such notice shall be no less than ten (10) days before the hearing date.

C. In holding the hearing on the matter, the council may receive any and all information pertinent to the matter, regardless of whether such information was first presented to the Planning Commission. In the case of decisions by the Planning Commission that followed a public hearing, the City Council shall hold a new public hearing on the matter.

D. Upon the close of the hearing, the Council shall vote to either confirm the decision of the Planning Commission, overturn the decision, or confirm the decision with modifications, and the Council may continue the item to the next meeting if necessary to direct staff to prepare a conforming resolution with findings, which shall be considered by the Council at the next scheduled Council meeting. In the case of tentative maps, the Council may also take any action identified in Section 16.16.120. Planning Commission. (Ord. 2017-01 (part), 2017: Ord. 2010-02 § 1, 2010: Ord. 2006-18 § 2 (part), 2007: prior code § 9015)

16.04.050 Exceptions.

A. Petition. The Planning Commission may authorize conditional exceptions to any of the requirements and regulations set forth in this title. Application for any such exception shall be made by a petition of the subdivider stating fully the ground of the application and the facts relied upon by the petitioner. Such petition shall be filed with the tentative map of the subdivision and shall be on a form provided by the city. The application shall be accompanied by a fee as set forth from time to time by resolution of the City Council.

B. Findings.

1. In order for the property referred to in the petition to come within the provision of this section, it shall be necessary that the Planning Commission make the following findings:

a. That there are special circumstances and conditions affecting this property;

b. That the exception is necessary for the preservation and enjoyment of a substantial property right of the petitioner;

c. That the granting of the exception will not be detrimental to the public welfare or injurious to other property in the territory in which said property is situated.

2. In approving such exceptions the Planning Commission shall secure substantially the objectives of the regulations to which exceptions are requested, and shall act to protect the public health, safety, convenience and general welfare.

3. In approving any exception under the provisions of this section, the Planning Commission shall report its findings with respect thereto and all facts in connection therewith, and shall specifically and fully set forth the exception recommended and conditions designated. (Ord. 2017-01 (part), 2017: prior code § 9020)

16.04.060 Merger and reversion to acreage.

Subdivided real property may be merged or reverted to acreage pursuant to provisions of Chapter 6, Article 1 of the state Subdivision Map Act. (Ord. 2017-01 (part), 2017: prior code § 9315)

16.04.070 Certificates of compliance.

Any eligible person may apply for a certificate of compliance pursuant to the provisions of Section 66499.34 of the Government Code of the state of California. (Ord. 2017-01 (part), 2017: prior code § 9320)

16.04.080 Planned unit developments.

Where, in accordance with provisions of the zoning ordinance, a use permit has been granted authorizing a planned unit development on the land or a portion of the land proposed to be subdivided, the plan of the subdivision shall conform with the plan of the planned unit development as approved by the Planning Commission and City Council. Exceptions to the subdivision regulations that are necessary to execute the planned unit development as approved by the Planning Commission and City Council may be authorized by the Planning Commission in accordance with the provisions of Section 16.04.050. (Ord. 2017-01 (part), 2017: prior code § 9325)

16.04.085 School site dedications and reservations.

A. In considering the approval or the conditions of approval of a parcel map or subdivision map, as those terms are defined in the Subdivision Map Act, the City Council or the Planning Commission may require the reservation or dedication of school sites in a manner that is consistent with the provisions of Government Code sections 66478 and 66479, provided that the council or the commission, as the case may be, is able to determine that the conditions enumerated in those sections, as they may from time to time be amended, are applicable to the proposed subdivision map or parcel map.

B. The planning director, in cooperation with the official designated by the Visalia Unified School District, shall develop and keep in place a policy establishing the manner in which this section shall be implemented by the City Planner and his or her designees. Such policy shall be established at the discretion of the City Planner, provided the policy is consistent with the Government Code sections 66478 and 66479. (Ord. 2017-01 (part), 2017: Ord. 2006-01 § 5, 2006)

16.04.090 Penalties.

Any person, firm, corporation, partnership, or co-partnership who willfully violates any of the provisions or fails to comply with any of the mandatory requirements of this title is guilty of a misdemeanor, pursuant to the provisions of Chapter 7, Article 1 of the Subdivision Map Act. (Ord. 2017-01 (part), 2017: prior code § 9030)

16.04.100 Ordinances repealed.

All ordinances and parts of ordinances of the city, in conflict herewith to the extent of such conflict and not further, are hereby repealed. (Ord. 2017-01 (part), 2017: prior code § 9035)
16.04.110

16.04.110 Severability.

If any section, subsection, sentence, clause or phrase of this title is for any reason held to be invalid or unconstitutional by the decision of any court of competent jurisdiction, such decisions shall not affect the validity of the remaining portions of this title. The City Council declares that it would have passed this title in each section, subsection, sentence, clause or phrase thereof, irrespective of the fact that any one or more sections, subsections, sentences, clauses, or phrases be declared invalid or unconstitutional. (Ord. 2017-01 (part), 2017: prior code § 9025)

Visalia Municipal Code Title 17.16 Multi-Family Residential Zones

17.16.010 Purpose and intent.

In the R-M multi-family residential zones, the purpose and intent is to provide living areas within the two multi-family residential zones (one medium density and one high density) with housing facilities where development is permitted with a relatively high concentration of dwelling units, and still preserve the desirable characteristics and amenities of a low density atmosphere. (Ord. 2017-01 (part), 2017: Ord. 9717 § 2 (part), 1997: prior code § 7290)

17.16.015 Applicability.

The requirements in this chapter shall apply to all property within R-M zone districts. (Ord. 2017-01 (part), 2017)

17.16.020 Permitted uses.

In the R-M multi-family residential zones, the following uses are permitted by right:

- A. Existing one-family dwellings;
- B. Multi-family dwellings up to eighty (80) dwelling units per site;
- C. Fruit, vegetable and horticultural husbandry;
- D. Swimming pools used only by residents on the site and their guests, provided that no swimming pool or accessory mechanical equipment shall be located in a required front yard or in a required side yard;
- E. Temporary subdivision sales offices;
- F. Licensed day care for a maximum of fourteen (14) children in addition to the residing family, situated within an existing single-family dwelling;
- G. Twenty-four (24) hour care facilities or foster homes for a maximum of six individuals in addition to the residing family;
- H. Signs subject to the provision of [Chapter 17.48](#);
- I. The keeping of household pets, subject to the definition of household pets set forth in Section [17.04.030](#);
- J. Adult day care for a maximum of twelve (12) individuals in addition to the residing family, situated within an existing single-family dwelling;
- K. Other uses similar in nature and intensity as determined by the city planner;
- L. Transitional housing or supportive housing as those terms are defined in Section [17.04.030](#);
- M. Single-room occupancy (SRO), as follows:
 - 1. Up to fifteen (15) units per gross acre in the R-M-2 zone district;
 - 2. Up to thirty-five (35) units per gross acre in the R-M-3 zone district.
- N. Senior citizen residential developments, meeting city standards and having a density in the Medium Density Residential range of ten (10) to fifteen (15) housing units per acre in the R-M-2 zone district or having a density in the High Density Residential range of fifteen (15) to thirty-five (35) housing units per acre in the R-M-3 zone district;
- O. Employee housing as defined in California Health and Safety Code Section 17008.

(Ord. 2020-09 (part), 2020; Ord. 2017-13 (part), 2017; Ord. 2017-01 (part), 2017; Ord. 2012-02, 2012; Ord. 9717 § 2 (part), 1997; Ord. 9605 § 30, 1996: prior code § 7291)

17.16.030 Accessory uses.

In the R-M multi-family residential zone, accessory uses include:

- A. Home occupations subject to the provisions of Section [17.32.030](#);
- B. Accessory buildings subject to the provisions of Section [17.16.090B](#);
- C. Cottage food operations that meet all the requirements contained in Health and Safety Code Section 113758 and those stated in Section [17.32.035](#);
- D. Accessory dwelling units as specified in Sections [17.12.140](#) through [17.12.200](#).

(Ord. 2020-09 (part), 2020; Ord. 2017-01 (part), 2017; Ord. 2001-13 § 4 (part), 2001; Ord. 9717 § 2 (part), 1997: prior code § 7292)

17.16.040 Conditional uses.

In the R-M multi-family residential zone, the following conditional uses may be permitted in accordance with the provisions of [Chapter 17.38](#):

- A. Public and quasi-public uses of an educational or religious type including public and parochial elementary schools, junior high schools, high schools and colleges; nursery schools, licensed day care facilities for more than fourteen (14) children; churches, parsonages and other religious institutions;
- B. Public and private charitable institutions; general hospitals, sanitariums, nursing and convalescent homes, and hospices; including specialized hospitals, sanitariums, or nursing, rest and convalescent homes including care for acute psychiatric, drug addiction or alcoholism cases;
- C. Public uses of an administrative, recreational, public service or cultural type including city, county, state or federal administrative centers and courts, libraries, museums, art galleries, police and fire stations and other public buildings, structures and facilities; public playgrounds, parks and community centers;
- D. In the R-M-3 zone only, an open air public or private parking lot, subject to all provisions of Section [17.34.030](#), excluding trucks over 3/4 ton;
- E. Electric distribution substations;
- F. Gas regulator stations;
- G. Public service pumping stations and/or elevated or underground tanks;
- H. Communication equipment buildings;
- I. Mobile home parks, meeting regulations specified in Section [17.32.040](#) and having a density in the Medium Density Residential range of ten (10) to fifteen (15) housing units per acre in the R-M-2 zone district or having a density in the High Density Residential range of fifteen (15) to thirty-five (35) housing units per acre in the R-M-3 zone district;
- J. More than eighty (80) units per site;
- K. Boarding houses and residential motels;
- L. Twenty-four (24) hour residential care facilities or foster homes for more than six (6) individuals in addition to the residing family;

- M. Adult day care in excess of twelve (12) individuals;
- N. Planned developments may utilize the provisions of [Chapter 17.26](#);
- O. New one-family dwelling, meeting density identified in the general plan land use element designations;
- P. Other uses similar in nature and intensity as determined by the city planner;
- Q. Residential developments utilizing private streets in which the net lot area (lot area not including street area) meets or exceeds the site area prescribed by this chapter and in which the private streets are designed and constructed to meet or exceed public street standards;
- R. Residential structures up to four stories in height in the R-M-3 Zone District when the proposed structure is adjacent to an R-1 Zone District.

(Ord. 2024-07 § 6, 2024: Ord. 2020-09 (part), 2020; Ord. 2017-13 (part), 2017: Ord. 2017-01 (part), 2017: Ord. 2012-02, 2012: amended during 10/97 supplement: Ord. 9717 § 2 (part), 1997: Ord. 9605 § 30 (part), 1996: prior code § 7293)

17.16.050 Site area and configuration.

A. The division of (R-M) multi-family residential property less than two (2) acres shall be approved as part of a conditional use permit. (Ord. 2017-01 (part), 2017: Ord. 9717 § 2 (part), 1997: prior code § 7294)

17.16.060 Site area per dwelling unit and per structure.

The minimum site area per dwelling unit shall be three thousand (3,000) square feet in the R-M-2 zone and one thousand two hundred (1,200) square feet in the R-M-3 zone. (Ord. 2017-01 (part), 2017: Ord. 9717 § 2 (part), 1997: prior code § 7295)

17.16.070 Front yard.

A. The minimum front yard shall be as follows:

Zone	Minimum Front Yard
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R-M-2	15 feet
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R-M-3	15 feet
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B. On a site situated between sites improved with buildings, the minimum front yard may be the average depth of the front yards on the improved site adjoining the side lines of the site but need not exceed the minimum front yard specified above.

C. All garage doors facing the front property line shall be a minimum of twenty-two (22) feet from the nearest public improvement or sidewalk. (Ord. 2017-01 (part), 2017: Ord. 2004-20 (part), 2004: Ord. 9717 § 2 (part), 1997: prior code § 7297)

17.16.080 Side yards.

A. The minimum side yard for a permitted or conditional use shall be five feet subject to the exception that on the street side of a corner lot the side yard shall be not less than ten feet.

B. Side yard providing access to more than one dwelling unit shall be not less than ten feet.

C. On corner lots, all garage doors shall be a minimum of twenty-two (22) feet from the nearest public improvement or sidewalk.

(Ord. 2017-13 (part), 2017: Ord. 2017-01 (part), 2017: Ord. 2001-13 § 4 (part), 2001: Ord. 9717 § 2 (part), 1997: prior code § 7298)

17.16.090 Rear yard.

The minimum rear yard for a permitted use shall be fifteen (15) feet in the R-M-3 zone and twenty-five (25) feet in the R-M-2 zone, subject to the following exceptions:

17.16.090

A. On a corner or reverse corner lot in R-M-2 zone the rear yard shall be twenty-five (25) feet on the narrow side or twenty (20) feet on the long side of the lot. The decision as to whether the short side or long side is used as the rear yard area shall be left to the applicant's discretion, as long as a minimum area of one thousand five hundred (1,500) square feet of usable rear yard area is maintained.

B. Accessory structures not exceeding twelve (12) feet in height may be located in the required rear yard, but not closer than three feet to any lot line; provided, that on a reversed corner lot an accessory structure shall be located not closer to the rear property line than the required side yard on the adjoining key lot and not closer to the side property line adjoining the street than the required front yard on the adjoining key lot. In placing accessory structures in a required rear yard a usable, open, rear yard area of at least one thousand two hundred (1,200) square feet shall be maintained.

C. Exceptions to the rear yard setback can be granted for multiple family units that have their rear yard abutting an alley. The exception may be granted if the rear yard area is to be used for parking. Through the site plan review process, consistency with this section may be determined for permitting purposes subject to the provisions of Section 17.28.050.

(Ord. 2017-13 (part), 2017: Ord. 2017-01 (part), 2017: Ord. 2001-13 § 4 (part), 2001: Ord. 9717 § 2 (part), 1997: prior code § 7299)

17.16.100 Height of structures.

The maximum height of structures shall be thirty-five (35) feet or three (3) stories whichever is taller in the R-M-2 zone. The maximum height shall be four (4) stories in the R-M-3 zone. Where an R-M-2 or R-M-3 site adjoins an R-1 site, the second and subsequent stories shall be designed to limit visibility from the second and third story to the R-1 site. Structures specified under Section 17.16.090(B) shall be exempt.

(Ord. 2017-13 (part), 2017: Ord. 2017-01 (part), 2017: Ord. 2012-02, 2012: Ord. 2006-07 § 2 (part), 2006: Ord. 9717 § 2 (part), 1997: prior code § 7300)

17.16.110 Off-street parking.

Off-street parking shall be subject to the provisions of Chapter 17.34. (Ord. 2017-01 (part), 2017: Ord. 9717 § 2 (part), 1997: prior code § 7301)

17.16.120 Fences, walls and hedges.

Fences, walls and hedges shall be subject to the provisions of Section 17.36.040. (Ord. 2017-01 (part), 2017: Ord. 9717 § 2 (part), 1997: prior code § 7302)

17.16.130 Trash enclosures.

Enclosures for trash receptacles are permitted that comply with the specifications and requirements of Section 17.32.010 and that are approved by the site plan review staff. Enclosures within the front yard setback are permitted for multiple family dwelling units when deemed necessary by city staff because no other appropriate location for an enclosure exists on the property.

(Ord. 2024-07 § 3 (part), 2024: Ord. 2017-01 (part), 2017: Ord. 9717 § 2 (part), 1997: prior code § 7303)

17.16.140 Site plan review.

A site plan review permit must be obtained for all developments other than a single-family residence in R-M zones, subject to the requirements and procedures of [Chapter 17.28](#). (Ord. 2017-01 (part), 2017)

17.16.150 Open space and recreational areas.

Any multiple family project approved under a conditional use permit or site plan review permit shall dedicate at least five (5) percent of the site to open, common, usable space and/or recreational facilities for use by tenants as a part of that plan. The calculated space shall not include setback areas adjacent to a street. Shared open space could include parks, playgrounds, sports courts, swimming pools, gardens, and covered patios or gazebos open on at least three (3) sides. Further, the calculated space shall not include enclosed meeting or community rooms. The specific size, location and use shall be approved as a part of the conditional use permit. (Ord. 2017-01 (part), 2017: Ord. 9717 § 2 (part), 1997: prior code § 7305)

17.16.160 Screening.

All parking areas adjacent to public streets and R-1 sites shall be screened from view subject to the requirements and procedures of [Chapter 17.28](#). (Ord. 2017-01 (part), 2017: Ord. 9717 § 2 (part), 1997: prior code § 7306)

17.16.170 Screening fence.

Where a multiple family site adjoins an R-1 site, a screening block wall or wood fence not less than six feet in height shall be located along the property line; except in a required front yard, or the street side of a corner lot and suitably maintained. (Ord. 2017-01 (part), 2017: Ord. 9717 § 2 (part), 1997: prior code § 7307)

17.16.180 Landscaping.

All multiple family developments shall have landscaping including plants, and ground cover to be consistent with surrounding landscaping in the vicinity. Landscape plans to be approved by city staff prior to installation and occupancy of use and such landscaping to be permanently maintained. (Ord. 2017-01 (part), 2017: Ord. 9717 § 2 (part), 1997: prior code § 7308)

17.16.190 Model good neighbor policies.

Before issuance of building permits, project proponents of multi-family residential developments in the R-M zones that are subject to approval by the Site Plan Review Staff or the Planning Commission, shall enter into an operational management plan (Plan), in a form approved by the City for the long term maintenance and management of the development. The Plan shall include but not be limited to: The maintenance of landscaping for the associated properties; the maintenance of private drives and open space parking; the maintenance of the fences, on-site lighting and other improvements that are not along the public street frontages; enforcing all provisions covered by covenants, conditions and restrictions that are placed on the property; and, enforcing all provisions of the model Good Neighbor Policies as specified by Resolution of the Planning Commission, and as may be amended by resolution.

(Ord. 2024-07 § 3 (part), 2024: Ord. 2017-01 (part), 2017: Ord. 2006-11 § 1, 2006)

17.16.200 Signs.

Signs shall be placed in conformance with [Chapter 17.48](#). (Ord. 2017-01 (part), 2017)

RESOLUTION NO. 2025-46

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF VISALIA APPROVING CONDITIONAL USE PERMIT NO. 2025-13, A REQUEST BY RICHARD BUENO TO CREATE PARCELS THAT WILL BE LESS THAN THE MINIMUM ACREAGE IN THE R-M-2 AND C-N ZONES AND TO ALLOW A SINGLE-FAMILY DWELLING IN THE MULTI-FAMILY ZONE. THE PROJECT SITE IS LOCATED AT 1810 EAST HOUSTON AVENUE (APN: 098-200-012)

WHEREAS, Conditional Use Permit No. 2025-13, is a request by Richard Bueno to create parcels that will be less than the minimum acreage in the C-N and R-M-2 zones and to allow a single-family dwelling in the multi-family zone. The project site is located at 1810 East Houston Avenue (APN: 098-200-012); and

WHEREAS, the Planning Commission of the City of Visalia, after duly published notice scheduled a public hearing before said commission on August 25, 2025; and

WHEREAS, the Planning Commission of the City of Visalia finds Conditional Use Permit No. 2025-13, as conditioned, in accordance with Section 17.38.110 of the Zoning Ordinance of the City of Visalia based on the evidence contained in the staff report and testimony presented at the public hearing; and

WHEREAS, the project is considered Categorically Exempt under Section 15315 of the Guidelines for the Implementation of the California Environmental Quality Act (CEQA), Categorical Exemption No. 2025-34.

NOW, THEREFORE, BE IT RESOLVED, that Categorical Exemption No. 2025-34 was prepared finding the project exempt under CEQA Section 15315 of the Guidelines for the Implementation of the California Environmental Quality Act (CEQA), as amended.

NOW, THEREFORE, BE IT FURTHER RESOLVED that the Planning Commission of the City of Visalia makes the following specific finding based on the evidence presented:

1. That the proposed project will not be detrimental to the public health, safety, or welfare, or materially injurious to properties or improvements within the vicinity.
2. That the proposed conditional use permit is consistent with the policies and intent of the General Plan and Zoning Ordinance.
3. The proposed location of the conditional use and the conditions under which it would be operated or maintained will not be detrimental to the public health, safety, or welfare, nor materially injurious to properties or improvements in the vicinity. The site is bordered by similar commercial uses.
4. The project is considered Categorically Exempt under Section 15315 of the Guidelines for the Implementation of the California Environmental Quality Act (CEQA), Categorical Exemption No. 2025-34.

BE IT FURTHER RESOLVED that the Planning Commission hereby approved the parcel map on the real property herein above described in accordance with the terms of this resolution under the provision of Section 17.26 of the Ordinance Code of the City of Visalia, subject to the following conditions:

1. That the project be developed consistent with the comments and conditions of the Site Plan Review No. 2025-033.
2. Prior to any development, the applicant shall submit building permits.
3. That all other federal, state, and city codes, ordinances and laws be met.

RESOLUTION NO. 2025-47

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF VISALIA APPROVING TENTATIVE PARCEL MAP NO. 2025-06, A REQUEST BY RICHARD BUENO TO SUBDIVIDE A 1.41-ACRE PARCEL INTO TWO PARCELS MEASURING 0.95 ACRES AND 0.46 ACRES IN THE C-N (NEIGHBORHOOD COMMERCIAL) AND R-M-2 (MULTI-FAMILY RESIDENTIAL) ZONE LOCATED AT 1810 EAST HOUSTON AVENUE (APN: 098-200-012)

WHEREAS, Tentative Parcel Map No. 2025-06, is a request by Richard Bueno to divide a 1.41-acre parcel into two parcels measuring 0.95 acres and 0.46 acres in the C-N (Neighborhood Commercial) and R-M-2 (Multi-Family Residential) zones. The project site is located at 1810 East Houston Avenue (APN: 098-200-012); and

WHEREAS, the Planning Commission of the City of Visalia, after duly published notice scheduled a public hearing before said commission on August 25, 2025; and

WHEREAS, the Planning Commission of the City of Visalia finds Tentative Parcel Map No. 2025-06, as conditioned, in accordance with Section 16.28.070 of the Ordinance Code of the City of Visalia based on the evidence contained in the staff report and testimony presented at the public hearing; and,

WHEREAS, the project is considered Categorically Exempt under Section 15315 of the Guidelines for the Implementation of the California Environmental Quality Act (CEQA), Categorical Exemption No. 2025-34.

NOW, THEREFORE, BE IT RESOLVED, that Categorical Exemption No. 2025-34 was prepared finding the project exempt under CEQA Section 15315 of the Guidelines for the Implementation of the California Environmental Quality Act (CEQA), as amended.

NOW, THEREFORE, BE IT FURTHER RESOLVED that the Planning Commission of the City of Visalia makes the following specific finding based on the evidence presented:

1. That the proposed location and layout of the tentative parcel map, its improvement and design, and the conditions under which it will be maintained are consistent with the policies and intent of the General Plan, Zoning Ordinance, and Subdivision Ordinance.
2. That the proposed tentative parcel map will not be detrimental to the public health, safety, or welfare, or materially injurious to properties or improvements in the vicinity, nor is it likely to cause serious public health problems.
3. That the proposed location, layout and parcel sizes resulting from the tentative parcel map are consistent with the policies and intent of the General Plan, Zoning Ordinance and Subdivision Ordinance.

4. That the site is physically suitable for the proposed tentative parcel map and the project's density, which is consistent with the underlying Neighborhood Commercial and Medium Density Residential General Plan Land Use Designations.
5. That the site is physically suitable for the proposed tentative parcel map and is compatible with adjacent land uses and the proposed design of the map does not conflict with any existing or proposed easements located on or adjacent to the subject property.
6. That the project is considered Categorically Exempt under Section 15315 of the Guidelines for the Implementation of the California Environmental Quality Act (CEQA), Categorical Exemption No. 2025-34. Furthermore, the design of the subdivision or the proposed improvements is not likely to either cause substantial environmental damage or substantially and avoidably injure fish or wildlife or their habitat.

BE IT FURTHER RESOLVED that the Planning Commission hereby approved the parcel map on the real property herein above described in accordance with the terms of this resolution under the provision of Section 17.26 of the Ordinance Code of the City of Visalia, subject to the following conditions:

1. That the tentative parcel map shall be developed consistent with the comments and conditions of the Site Plan Review No. 2025-033, incorporated herein by reference.
2. That the tentative parcel map be in substantial compliance with the dimensions as shown on Exhibit A.
3. That all other federal, state and city laws, codes and ordinances be complied with.

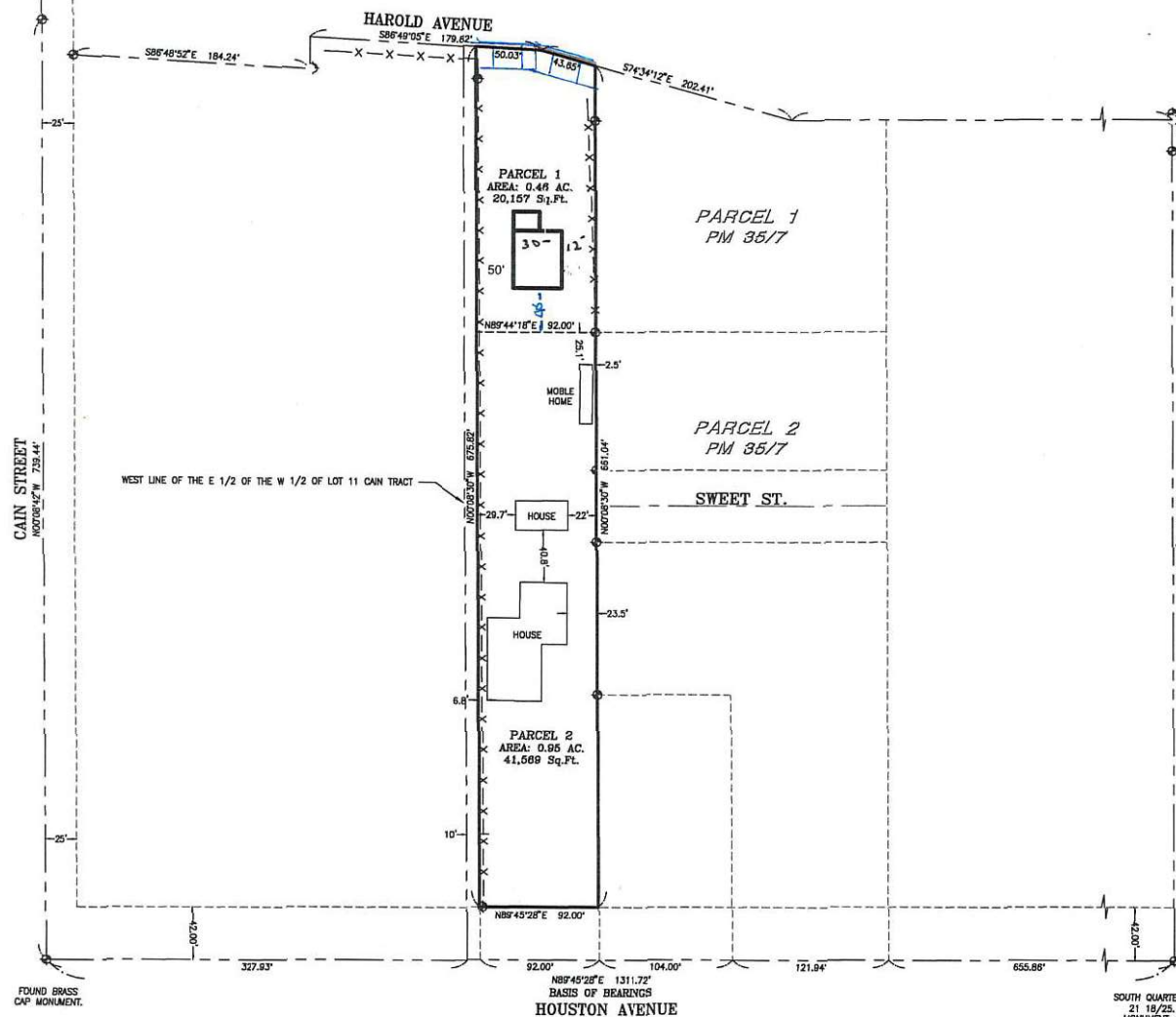
Exhibit A

PRELIMINARY COPY ONLY - SUBJECT TO REVISION

TENTATIVE PARCEL MAP

CITY OF VISALIA - COUNTY OF TULARE
STATE OF CALIFORNIA

A PORTION OF LOT 10 AND 11 OF THE CAIN TRACT, AS PER THE MAP
RECORDED IN BOOK 2 AT PAGE 99 OF MAPS, TULARE COUNTY
RECORDS. BEING LOCATED IN THE THE SOUTHEAST QUARTER OF
THE SOUTHWEST QUARTER OF SECTION 21, TOWNSHIP 18 SOUTH,
RANGE 25 EAST, MOUNT DIABLO BASE AND MERIDIAN
(CONSISTING OF ONE SHU-3)



BASIS OF BEARINGS:

THE SOUTH LINE OF SECTION 21, TOWNSHIP 18 SOUTH, RANGE 25 EAST, MOUNT DIABLO BASE & MERIDIAN, TAKEN TO BE N89°45'28"E AS PER CROSS OBSERVATION.

LEGEND:

- ⊙ SET 3/4" X 30" IRON PIPE TAGGED "L.S. 7777", DOWN 6" UNLESS OTHERWISE NOTED.
- ⊕ MONUMENTS FOUND AND ACCEPTED UNLESS OTHERWISE NOTED.
- Z/- TIES ON FILE WITH THE TULARE COUNTY SURVEYOR.
- - - - - INDICATES SUBJECT PARCEL BOUNDARY.
- - - - - DISTANCES NOT MONUMENTED ARE CALCULATED.

PARCEL No.	1	2
PROPOSED USE:	MULTI-FAM	MULTI-FAM
PRESENT USE:	VACANT	MULTI-FAM
ZONING:	R-M-2	R-M-2/C-N
WATER:	PROPOSED CITY	CITY
SEWER:	PROPOSED CITY	CITY

FEMA FLOOD ZONE SHADED ZONE X

ADDITIONAL NOTES:

PROPOSED METHOD OF SOLID WASTE WITH BE THE CITY OF VISALIA.

THERE ARE NO PROPOSED PUBLIC BUS STOPS OR TURNOUTS.



M & L
LAND SURVEYING
3949 N. CONDOR CT.
SANGER, CA 93807
Tel. (559) 631-0673
Email: MLWEYANT@CLOUD.COM

DATE OF SURVEY	06/19/23
JOB No.	2321 HOUSTON PM
DRAWN BY	M.R. WEYANT
DRAWING NAME	2321 HOUSTON PM
REVISION DATE	



February 20, 2025

Site Plan Review No. 2025:033

Pursuant to Zoning Ordinance Chapter 17.28 the Site Plan Review process has found that your application complies with the general plan, municipal code, policies, and improvement standards of the city. A copy of each Departments/Divisions comments that were discussed with you at the Site Plan Review meeting are attached to this document.

Based upon Zoning Ordinance Section 17.28.070, this is your Site Plan Review determination. However, your project requires a Conditional Use Permit and Tentative Parcel Map which is stated on the attached Site Plan Review comments. You may now proceed with filing your permit to the Planning Division.

This is your Site Plan Review Permit; your Site Plan Review became effective **February 5, 2025**. A site plan review permit shall lapse and become null and void one year following the date of approval unless, prior to the expiration of one year, a building permit is issued by the building official, and construction is commenced and diligently pursued toward completion.

If you have any questions regarding this action, please call the Community Development Department at (559) 713-4359.

Respectfully,

A handwritten signature in blue ink, appearing to read "Paul Bernal".

Paul Bernal
Planning and Community Preservation Director
315 E. Acequia Ave.
Visalia, CA 93291

Attachment(s):

- Site Plan Review Comments



MEETING DATE February 5, 2025
SITE PLAN NO. 2025-033
PARCEL MAP NO.
SUBDIVISION
LOT LINE ADJUSTMENT NO.

Enclosed for your review are the comments and decisions of the Site Plan Review committee. Please review all comments since they may impact your project.

☐ **RESUBMIT** Major changes to your plans are required. Prior to accepting construction drawings for building permit, your project must return to the Site Plan Review Committee for review of the revised plans.

☐ During site plan design/policy concerns were identified, schedule a meeting with

☐ Planning

☐ Engineering prior to resubmittal plans for Site Plan Review.

☐ Solid Waste

☐ Parks and Recreation

☐ Fire Dept.

☒ **REVISE AND PROCEED** (see below)

☐ A revised plan addressing the Committee comments and revisions must be submitted for Off-Agenda Review and approval prior to submitting for building permits or discretionary actions.

☐ Submit plans for a building permit between the hours of 7:30 a.m. and 5:00 p.m., Monday through Thursday, offices closed on Fridays.

☒ Your plans must be reviewed by:

☐ CITY COUNCIL

☐ REDEVELOPMENT

☒ PLANNING COMMISSION

☐ PARK/RECREATION

☒ CUP & TPM

☐ HISTORIC PRESERVATION

☐ OTHER:

☐ ADDITIONAL COMMENTS:

If you have any questions or comments, please call the Site Plan Review Hotline at (559) 713-4440
Site Plan Review Committee

SITE PLAN REVIEW COMMENTS

Colleen A. Moreno, Planning Division, 559-713-4031; colleen.moreno@visalia.city

Date: February 5, 2025

SITE PLAN NO: 2025-033
PROJECT: Richard Bueno
APPLICANT: RICHARD BUENO – APPLICANT
DESCRIPTION: SINGLE LOT LINE SPLIT
LOCATION TITLE: 1810 E. HOUSTON AVE.
APN TITLE: 098-200-012
ZONING: C-N (Neighborhood Commercial) / R-M-2 (Multi-Family Residential)

Planning Division Recommendation:

- ☒ Revise and Proceed
☐ Resubmit

See SPR24086
for related comments

Project Requirements

- Tentative Parcel Map (TPM)
- Conditional Use Permit (CUP)

PROJECT SPECIFIC INFORMATION: February 5, 2025

1. The site is zoned C-N (Neighborhood Commercial) therefore, splitting the lot shall require the applicant to submit a Tentative Parcel Map (TPM).
2. A Conditional Use Permit (CUP) shall also be submitted as the lot split will create an R-M-2 parcel, less than two (2) acres and for single family dwellings on a multi-family zone.
3. With TPM and CUP submittal, applicant shall include an operational statement and development plan indicating all existing structures and proposed including setbacks.
4. Frontage improvements are required at the time of development.
5. Joint access agreement off of Harold shall be required.
6. A building permit shall be required.
7. Comply with other codes, comments, and ordinances.
8. Fees shall be required for filing of the Tentative Parcel Map, Conditional Use Permit and Final Map.

Notes:


1. The applicant shall contact the San Joaquin Valley Air Pollution Control District to verify whether additional permits are required to conduct the proposed use.
2. Prior to completion of a final building inspection for a project, a signed MWELO Certificate of Compliance shall be submitted indicating that all landscaping has been installed to MWELO standards.

Applicable sections of the Visalia Municipal Code, Title 17 (Zoning):

- 17.16 Multi-Family Residential Zones
- 17.30 Development Standards
- 17.34 Off-street parking and loading facilities
- 17.36 Fences Walls and Hedges

Accessible at <https://codelibrary.amlegal.com/codes/visalia/latest/overview>

NOTE: Staff recommendations contained in this document are not to be considered support for a particular action or project unless otherwise stated in the comments. The comments found on this document pertain to the site plan submitted for review on the above referenced date. Any changes made to the plan submitted must be submitted for additional review.



Signature: _____



City of Visalia
Building: Site Plan
Review Comments

SPR 25033
RICHARD BUENO
09820012

NOTE: These are general comments and DO NOT constitute a complete plan check for your specific project
Please refer to the applicable California Code & local ordinance for additional requirements.

- ☐ A building permit will be required. *For information call (559) 713-4444*
- ☐ Submit 1 digital set of professionally prepared plans and 1 set of calculations. (Small Tenant Improvements)
- ☐ Submit 1 digital set of plans prepared by an architect or engineer. Must comply with 2016 California Building Cod Sec. 2308 for conventional light-frame construction or submit 1 digital set of engineered calculations.
- ☐ Indicate abandoned wells, septic systems and excavations on construction plans.
- You are responsible to ensure compliance with the following checked items:
- ☐ Meet State and Federal requirements for accessibility for persons with disabilities.
- ☐ A path of travel, parking and common area must comply with requirements for access for persons with disabilities.
- ☐ All accessible units required to be adaptable for persons with disabilities.
- ☐ Maintain sound transmission control between units minimum of 50 STC.
- ☐ Maintain fire-resistive requirements at property lines.
- ☐ A demolition permit & deposit is required. *For information call (559) 713-4444*
- ☐ Obtain required permits from San Joaquin Valley Air Pollution Board. *For information call (661) 392-5500*
- ☐ Plans must be approved by the Tulare County Health Department. *For information call (559) 624-8011*
- ☐ Project is located in flood zone _____ * ☐ Hazardous materials report.
- ☐ Arrange for an on-site inspection. (Fee for inspection \$157.00) *For information call (559) 713-4444*
- ☐ School Development fees.
- ☐ Park Development fee \$ _____, per unit collected with building permits.
- ☐ Additional address may be required for each structure located on the site. *For information call (559) 713-4320*
- ☐ Acceptable as submitted
- ☒ No comments at this time

Additional comments: _____

VAL GARCIA 2/5/25
Signature

**Site Plan Comments**

Visalia Fire Department
Corbin Reed, Fire Marshal
420 N. Burke
Visalia CA 93292
559-713-4272 office
prevention.division@visalia.city

Date	February 5, 2025
Item #	1
Site Plan #	25033
APN:	098200012

- The Site Plan Review comments are issued as **general overview** of your project. With further details, additional requirements will be enforced at the Plan Review stage. Please refer to the 2022 California Fire Code (CFC), 2022 California Building Codes (CBC) and City of Visalia Municipal Codes.
- Fire protection items are not required to be installed for **parcel map or lot line adjustment** at this time; however, any developments taking place on these parcels will be subject to fire & life safety requirements including fire protection systems and fire hydrants in accordance with all applicable sections of the California Fire Code and City of Visalia Municipal Code.



Corbin Reed
Fire Marshal



City of Visalia
Police Department
303 S. Johnson St.
Visalia, CA 93292
(559) 713-4370

Date: 02/05/25
Item: 1
Site Plan: SPR25033
Name: Robert Avalos

Site Plan Review Comments

- ☒ No Comment at this time.
- ☐ Request opportunity to comment or make recommendations as to safety issues as plans are developed.
- ☐ Public Safety Impact Fee:
Ordinance No. 2001-11 Chapter 16.48 of Title 16 of the Visalia Municipal Code
Effective date - August 17, 2001.
- ☐ Impact fees shall be imposed by the City pursuant to this Ordinance as a condition of or in conjunction with the approval of a development project. "New Development or Development Project" means any new building, structure or improvement of any parcels of land, upon which no like building, structure of improvement previously existed. *Refer to Engineering Site Plan comments for fee estimation.
- ☐ Not enough information provided. Please provide additional information pertaining to:
- ☐ Territorial Reinforcement: Define property lines (private/public space).

- ☐ Access Controlled/ Restricted etc.

- ☐ Lighting Concerns:

- ☐ Traffic Concerns:

- ☐ Surveillance Issues:

- ☐ Line of Sight Issues:

- ☐ Other Concerns:

SITE PLAN REVIEW COMMENT

CITY OF VISALIA TRAFFIC SAFETY DIVISION

February 5, 2025

ITEM NO: 1 Added to Agenda

MEETING TIME: 09:00

SITE PLAN NO: [SPR25033](#)

ASSIGNED TO: Colleen Moreno Colleen.Moreno@visalia.city

PROJECT TITLE: RICHARD BUENO

DESCRIPTION: SINGLE LOT LINE SPLIT

APPLICANT: Richard Bueno - Applicant

APN: 098200012

ADDRESS: 1810 E HOUSTON AVE UNIT 1

THE TRAFFIC DIVISION WILL PROHIBIT ON-STREET PARKING AS DEEMED NECESSARY

- ☐ No Comments
- ☐ See Previous Site Plan Comments
- ☒ Install Street Light(s) per City Standards at time of development.
- ☐ Install Street Name Blades at Locations at time of development.
- ☐ Install Stop Signs at **local road intersection with collector/arterial** Locations.
- ☐ Construct parking per City Standards PK-1 through PK-4 at time of development.
- ☒ Construct drive approach per City Standards at time of development.
- ☐ Traffic Impact Analysis required (CUP)
 - ☐ Provide more traffic information such as . Depending on development size, characteristics, etc., a TIA may be required.

- ☐ Additional traffic information required (Non Discretionary)
 - ☐ Trip Generation - Provide documentation as to concurrence with General Plan.
 - ☐ Site Specific - Evaluate access points and provide documentation of conformance with COV standards.
If noncomplying, provide explanation.
 - ☐ Traffic Impact Fee (TIF) Program - Identify improvements needed in concurrence with TIF.

Additional Comments:

•

Leslie Blair

Leslie Blair

CITY OF VISALIA
SOLID WASTE DIVISION
336 N. BEN MADDOX
VISALIA CA. 93291
713 - 4532
COMMERCIAL BIN SERVICE

25033

February 5, 2025

- ☒ No comments.
- ☐ See comments below
- ☐ Revisions required prior to submitting final plans. See comments below.
- ☐ Resubmittal required. See comments below.
- ☐ Customer responsible for all cardboard and other bulky recyclables to be broken down before disposing of in recycle containers
- ☐ ALL refuse enclosures must be city standard R-1 OR R-2 & R-3 OR R-4
- ☐ Customer must provide combination or keys for access to locked gates/bins
- ☐ Type of refuse service not indicated.
- ☐ Location of bin enclosure not acceptable. See comments below.
- ☐ Bin enclosure insufficient to comply with state recycling mandates. See comments for suggestions.
- ☐ Inadequate number of bins to provide sufficient service. See comments below.
- ☐ Drive approach too narrow for refuse trucks access. See comments below.
- ☐ Area not adequate for allowing refuse truck turning radius of : Commercial 50 ft. outside 36 ft. inside; Residential 35 ft. outside, 20 ft. inside.
- ☐ Paved areas should be engineered to withstand a 55,000 lb. refuse truck.
- ☐ Bin enclosure gates are required
- ☐ Hammerhead turnaround must be built per city standards.
- ☐ Cul - de - sac must be built per city standards.
- ☐ Bin enclosures are for city refuse containers only. Grease drums or any other items are not allowed to be stored inside bin enclosures.
- ☐ Area in front of refuse enclosure must be marked off indicating no parking
- ☐ Enclosure will have to be designed and located for a STAB service (DIRECT ACCESS) with no less than 38' clear space in front of the bin, included the front concrete pad.
- ☐ Customer will be required to roll container out to curb for service.
- ☐ Must be a concrete slab in front of enclosure as per city standards, the width of the enclosure by ten(10) feet, minimum of six(6) inches in depth.
- ☐ Roll off compactor's must have a clearance of 3 feet from any wall on both sides and there must be a minimum of 53 feet clearance in front of the compactor to allow the truck enough room to provide service.
- ☐ City ordinance 8.28.120-130 (effective 07/19/18) requires contractor to contract with City for removal of construction debris unless transported in equipment owned by contractor or unless contracting with a franchise permittee for removal of debris utilizing roll-off boxes.

Comment Solid Waste has no comments regarding the proposed parcel split.

Jason Serpa, Solid Waste Manager, 559-713-4533
Edward Zuniga, Solid Waste Supervisor, 559-713-4338

Nathan Garza, Solid Waste, 559-713-4532

Hello ,

I've attached my comments and packets for site plan review.

- SPR25033- Richard Bueno – no comments
- SPR25034- Feliciano Madrigal – Lot Split- no comments
- SPR25035- MD Investments TC., LLC. – no comments
- SPR25036- Vanessa G Sanches - no comments
- **SPR25037- Demaree and Pratt Subdivision – FORM ATTACHMENT**
- SPR25038- Subdivide Duplex Lots- no Comments
- SPR25309- Mission Oaks 3- No Comments
- SPR25040- Daniel Morales- No Comments
- **SPR25041- Pratt Family Ranch – no NEW comments – FORM ATTACHMENT**
- **SPR25043- Lowery ranch TSM – no NEW comments- FORM ATTACHMENT**

Sincerely,

Jennifer Flores

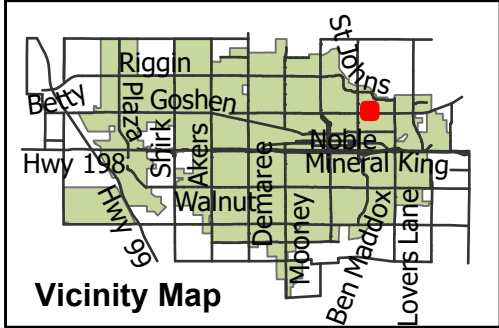
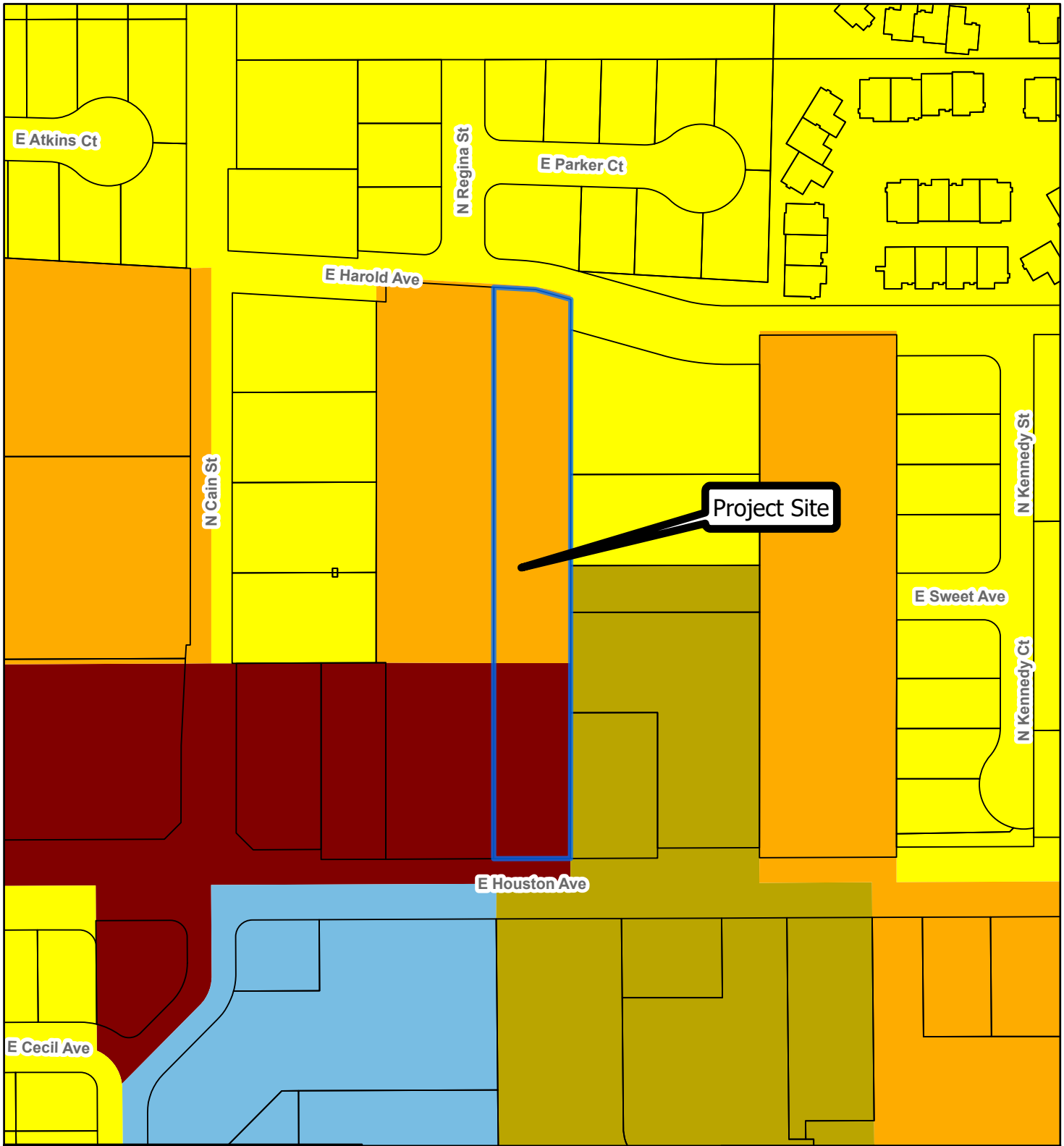
Pretreatment Coordinator

City of Visalia, Waste Water Reclamation

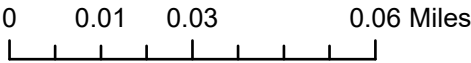
7579 Ave 288, Visalia CA

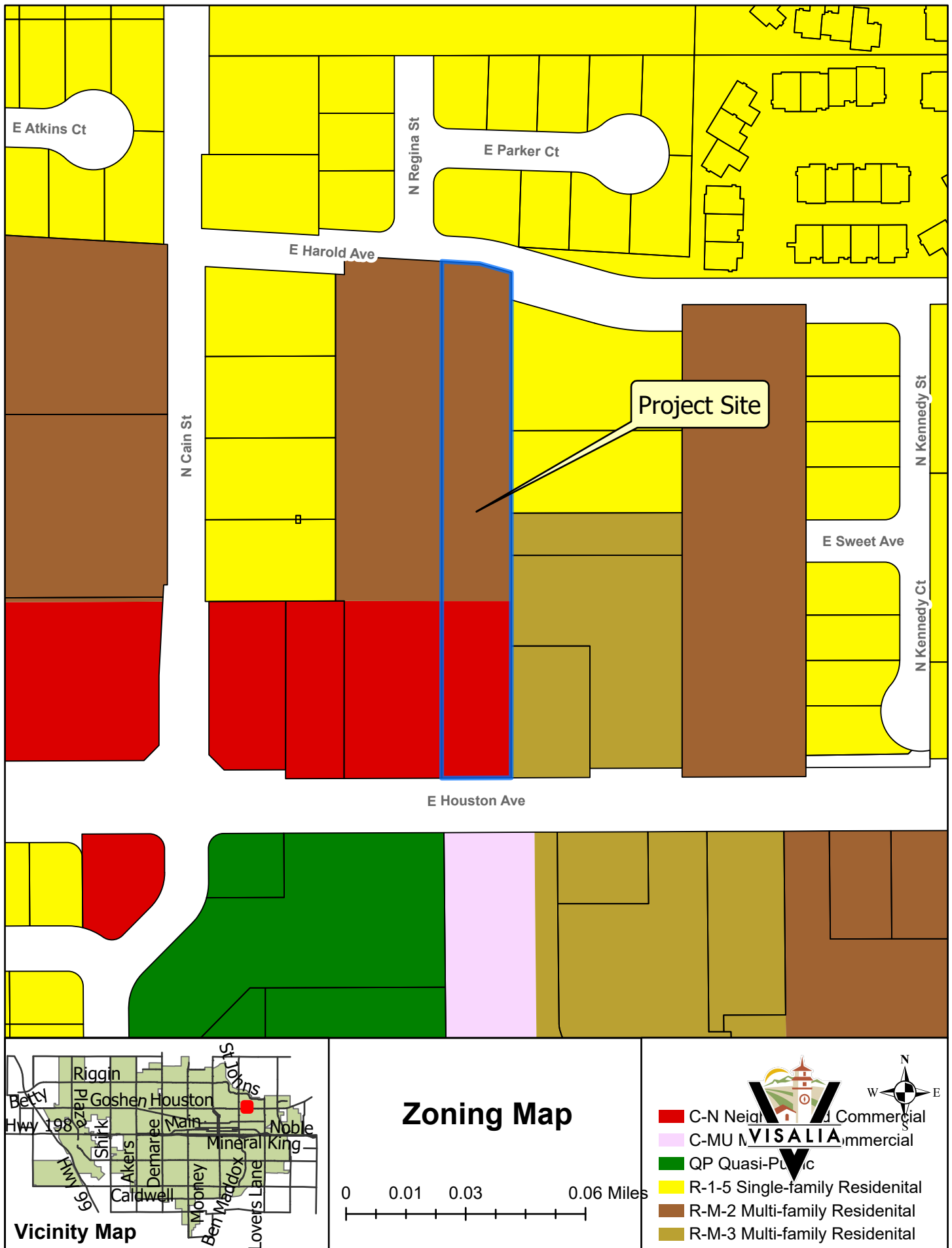
Office phone- (559)713-4463

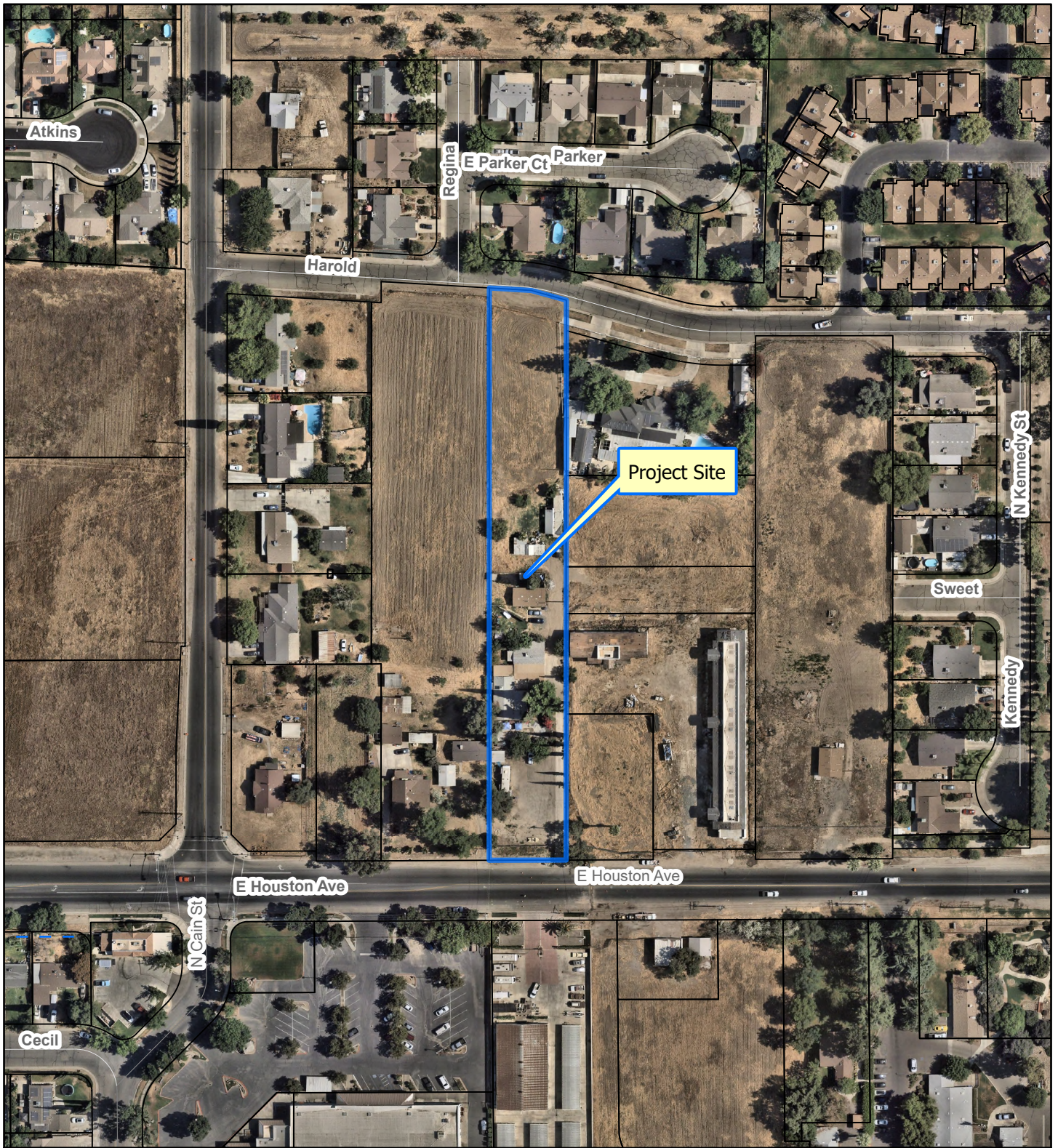
Work cell- (559) 972-9269



General Plan Land Use Map



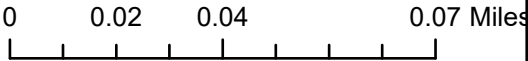




Project Site



Aerial Map







REPORT TO CITY OF VISALIA PLANNING COMMISSION

HEARING DATE: August 25, 2025

PROJECT PLANNER: Josh Dan, Senior Planner
Phone No.: (559) 713-4003
E-mail: josh.dan@visalia.city

SUBJECT: Conditional Use Permit 2025-18: A request by Robert Gaalswyk to permit the use of an existing 20,115 square foot building as an indoor shooting range facility with ancillary retail gun store sales. The site is located in the I (Industrial) zone. The property is located along the east side of North Nevada Street, approximately 194-feet north of West Grove Avenue (Address: 1104 North Nevada Street) (APN: 081-100-075).

STAFF RECOMMENDATION

Staff recommends approval of Conditional Use Permit No. 2025-18, as conditioned, based on the findings and conditions in Resolution No. 2025-39. Staff's recommendation is based upon the conclusion that the project is consistent with the General Plan, the Zoning Ordinance, and the Noise Ordinance.

RECOMMENDED MOTION

I move to approve Conditional Use Permit No. 2025-18 based on the findings and conditions in Resolution No. 2025-39.

PROJECT DESCRIPTION

The applicant is requesting to permit the establishment of an indoor shooting range within an existing 20,115 square foot building. The existing industrial building was previously occupied by a produce ripening company. The described use, per the operational statement in Exhibit "E", details that the proposed indoor shooting range use will also include ancillary retail sales of firearms and firearm accessories. Furthermore, the proposed days and hours of operation are listed as Monday through Friday from 10:00 AM to 7:00 PM, Saturday's from 10:00 AM to 5:00 PM, and closed on Sundays. The use is also expected to employ eight full-time employees and four part-time employees.

The 1.31-acre site is fully improved with a 39-stall parking lot, a loading dock at the south-end of the building, a trash enclosure, and full landscaping and frontage improvements along the North Nevada Street frontage. The proposed indoor shooting range will consist of ancillary firearms sales area, offices, classroom, restrooms, VIP lounge, and nineteen (19) shooting lanes at 25 yards (see Exhibit "C", Floor Plan). Renovations to the existing metal building will require industry approved solid interior block walls and ceiling mounted baffles to limit projectiles. The Operational Statement, see Exhibit "E", details the use of the VIP areas for members to rent the lanes and lounge where they can relax prior to and after shooting. This space can be booked by members for events such as birthdays and corporate team building, and by other groups wishing to use the facility.

A Conditional Use Permit is required for the use as listed in Table 17.25.030, Line R21 lists indoor rifle and pistol ranges as conditionally permitted in the Industrial zone.

BACKGROUND INFORMATION

General Plan Land Use Designation:	I (Heavy Industrial)
Zoning:	I (Industrial)
Surrounding Zoning and Land Use:	North: I (Industrial) – Vacant lot South: I (Industrial) – Fastenal fulfillment East: I (Industrial) – Bimbo bread distribution West: I (Industrial) – (N. Nevada St) Edeniq environmental
Environmental Review:	Initial Study / Negative Declaration No. 2025-29
Special Districts:	N/A
Site Plan:	Site Plan Review: 2025-086

RELATED PLANS AND POLICIES

All related plans and policies are reprinted in the attachment to this staff report entitled “Related Plans and Policies”.

RELATED PROJECTS

The Planning Commission on July 24, 2023, approved Conditional Use Permit No. 2022-20 which was a request to construct a new 25,295 square foot building for use as a retail gun store and indoor shooting range facility within the Village at Willow Creek Specific Plan, in a 4-1 vote.

PROJECT EVALUATION

Staff recommends approval of the requested Conditional Use Permit based on project consistency with the General Plan, the Zoning Ordinance, and the Noise Ordinance.

Land Use Compatibility

The Visalia Zoning Matrix identifies indoor rifle and pistol ranges as conditionally permitted within the Industrial Zone, requiring submittal and approval of a Conditional Use Permit (CUP). Through the CUP process, potential impacts can be addressed thereby ensuring compatibility between the proposed use and existing surrounding uses.

A mixture of industrial and distribution services are currently located within the vicinity of the project site in the Visalia Industrial Park. The proposed use is not expected to produce noise or lighting impacts that would negatively affect adjacent property/businesses. Parking needs for the use will be satisfied by the 39 parking spaces onsite and depicted on the Site Plan in Exhibit “A”. As such, staff concludes that the proposed use will be compatible with the project site and surrounding area.

Parking

The Municipal Code Section 17.34.020 *Schedule of off-street parking space requirements* does not have a specific parking standard for indoor shooting ranges. However, the existing 39 parking stalls can easily satisfy the parking demand for the 19 shooting lanes, and max staffing potential of 12 employees (8 full-time and 4 part-time).

Although the municipal code does not have an explicit parking ratio for indoor shooting ranges, staff applied parking ratios based on the number of shooting lanes and floor area for the retail sales area the building. The 19 shooting lanes are assessed at one parking stall for each lane, given each lane supports one participant. Whereas the retail floor area is calculated at one parking space for each 300 square feet of retail floor area. As such, this would produce an

overall demand of 29 parking stalls, leaving an additional 10 stalls for any of the 8 full-time employees, which may not all be onsite at the same time. Therefore, staff recommends that the Planning Commission approve staff's parking assessment for this use based on the calculations applied to the shooting lanes and retail floor area.

Access and Circulation

The site will be situated east of North Nevada Street, approximately 194-feet north of West Grove Avenue. The use will utilize two existing access points along Nevada Street. The shooting range will be within the north/south oriented building and will not abut another structure.

Acoustical Analysis

An Acoustical Analysis was prepared for the proposed project, addressing the proposed indoor shooting range (See Exhibit "H" - *Acoustical Analysis, Smokin' Barrel Indoor Shooting Range N. Nevada Street, prepared by WJV Acoustics, Inc., May 29, 2025*). The purpose of the study was to determine if noise levels associated with the project will comply with the City's applicable noise level standards, particularly upon the existing industrial uses and distribution facilities to the west, east, and south respectively. The acoustical analysis is intended to determine project-related noise levels for all aspects of the proposed project.

Noise measurements were obtained by the noise consultant (WJV Acoustics, Inc.) at the project site. A site inspection and ambient noise monitoring were conducted on May 20, 2025, to evaluate the acoustical characteristics of the site and quantify existing ambient noise levels within the project area. Existing sources of noise in the project vicinity include vehicle traffic from local roadways, noise associated with nearby industrial land uses, and aircraft overflights associated with arrivals/departures at Visalia Municipal Airport.

WJVA collected 15-minute ambient noise level measurements at four (4) noise monitoring sites, along the adjacent property lines on all sides of the existing building, to document existing (without project) ambient noise levels in the project vicinity. The findings of the noise measurements are provided in Table IV of the study. The project vicinity and ambient noise monitoring site locations are provided as Figure 2 of the acoustical analysis (Exhibit "F").

From the ambient noise level measurements, which are identified in Table IV of the acoustical analysis, it can be determined that existing ambient (without project) noise levels at the monitoring sites were in the range of approximately 53 to 62 dB Leq with maximum noise levels in the range of 65 to 76 dB. The noise levels described in Table IV exceed the City's exterior noise level standards for stationary noise sources in nearly every statistical category at each of the ambient noise measurement sites, which is expected given the project site is located in the Visalia Industrial Park. As described in the analysis, the closest existing sensitive receptors to the project site are located approximately 0.5 miles to the northeast.

Based upon noise levels measured at existing firing range facilities in Clovis and Fresno, review of both facilities' construction components, and based upon the proposed project construction, noise levels associated with firing range activities are generally not expected to be audible at distances of greater than approximately 50-100 feet from the exterior facades, and would not be expected to be audible over existing ambient noise levels at any existing sensitive receptor location in the vicinity of the project site, which is located approximately 0.5 miles to the northeast.

The necessary renovation to the interior of the facility, requiring construction methodology to contain firearm projectiles, is identified in the assessment and exterior noise level determinations of the noise study. Any changes to these construction components may result in

noise levels different than those described and would require a reevaluation of the findings of the noise analysis. These construction requirements are summarized as follows:

- The existing building is an insulated metal building. The indoor shooting ranges will be constructed of 8-inch solid concrete grouted CMU block walls built within the existing building. The ceilings will be constructed with hanging steel baffles and 5/8" gypsum board attached to the ceiling framing.

Staff has included Condition No. 3, which requires that the project limit hours of operation to between 10:00 am to 7:00 PM daily, consistent with the proposed hours of operation. Any changes to the hours of operation outside of the range specified in the condition would require the applicant to produce another noise study demonstrating compliance with the Noise Ordinance and will require the filing of an amendment to the CUP to modify the hours of operation.

Additionally, Condition No. 4 has been added requiring that prior to a building final, the owner/operator of the proposed facility shall verify that use of the indoor shooting range does not exceed Community Noise levels as identified in the attached acoustical analysis. The noise measurement shall be submitted and verified by Community Development staff prior to a building final being issued by City staff. Failure to meet Community Noise requirements as noted in the acoustical analysis shall result in non-operation of the business until noise levels are met.

Environmental Review

An Initial Study and Negative Declaration were prepared for the proposed project. Initial Study and Negative Declaration No. 2025-29 disclosed that environmental impacts are determined to be not significant. Staff concludes that Initial Study and Negative Declaration No. 2025-29 adequately analyzes and addresses the proposed project and reduces environmental impacts to a less than significant level.

RECOMMENDED FINDINGS

1. That the proposed Conditional Use Permit is consistent with the intent, objectives, and policies of the General Plan and Zoning Ordinance.
2. That the proposed location of the Conditional Use Permit is compatible with adjacent land uses.
3. That the proposed Conditional Use Permit is not detrimental to the public health, safety, or welfare, or materially injurious to properties or improvements in the vicinity.
4. That an Initial Study was prepared for this project, consistent with CEQA, which disclosed that environmental impacts are determined to be not significant and that Negative Declaration No. 2025-29, is hereby adopted. Furthermore, the proposed use and the proposed remodel improvements are not likely to cause substantial environmental damage nor substantially and avoidably injure fish, wildlife or their habitat.

RECOMMENDED CONDITIONS OF APPROVAL

1. That the project be developed in substantial compliance with the comments from the approved Site Plan Review No. 2025-086.
2. That the site be developed in substantial compliance with the site plan in Exhibit "A", building elevations in Exhibit "B", floor plan in Exhibit "C", and landscaping plan in Exhibit "D".
3. That the project limit hours consistent with the Operational Statement in Exhibit "E".
4. That prior to a building final, the owner/operator of the proposed facility shall verify that use of the indoor shooting range does not exceed Community Noise levels as identified in the attached acoustical analysis (Acoustical Analysis, Smokin' Barrel Indoor Shooting Range N. Nevada Street, prepared by WJV Acoustics, Inc., May 29, 2025). The applicant/developer shall have their acoustical noise consultant conduct noise measurements as detailed in the acoustical analysis prior to operating. The noise measurement shall be submitted and verified by Community Development staff prior to a building final being issued by City staff. Failure to meet Community Noise requirements as noted in the acoustical analysis shall result in non-operation of the business until noise levels are met.
5. That all signs shall require a separate building permit.
6. That all other federal, state and city codes, ordinances and laws be met.

APPEAL INFORMATION

According to the City of Visalia Zoning Ordinance Section 17.02.145, an appeal to the City Council may be submitted within ten days following the date of a decision by the Planning Commission. An appeal with applicable fees shall be in writing and shall be filed with the City Clerk at 220 N. Santa Fe Street. The appeal shall specify errors or abuses of discretion by the Planning Commission, or decisions not supported by the evidence in the record. The appeal form can be found on the city's website www.visalia.city or from the City Clerk.

Attachments:

- Related Plans and Policies
- Resolution No. 2025-39
- Exhibit "A" – Site Plan
- Exhibit "B" – Building Elevations
- Exhibit "C" – Floor Plan
- Exhibit "D" – Landscaping Plan
- Exhibit "E" – Operational Statement
- Exhibit "F" – Acoustical Analysis
- Initial Study and Negative Declaration
- Site Plan Review Comments
- General Plan Land Use Map
- Zoning Map
- Aerial Photo
- Location Map

Related Plans & Policies
Conditional Use Permits
(Chapter 17.38)

17.38.010 Purposes and powers

In certain zones conditional uses are permitted subject to the granting of a conditional use permit. Because of their unusual characteristics, conditional uses require special consideration so that they may be located properly with respect to the objectives of the zoning ordinance and with respect to their effects on surrounding properties. In order to achieve these purposes and thus give the zone use regulations the flexibility necessary to achieve the objectives of this title, the planning commission is empowered to grant or deny applications for conditional use permits and to impose reasonable conditions upon the granting of such permits. (Prior code § 7525)

17.38.020 Application procedures

- A. Application for a conditional use permit shall be made to the planning commission on a form prescribed by the commission which shall include the following data:
 - 1. Name and address of the applicant;
 - 2. Statement that the applicant is the owner of the property or is the authorized agent of the owner;
 - 3. Address and legal description of the property;
 - 4. The application shall be accompanied by such sketches or drawings as may be necessary by the planning division to clearly show the applicant's proposal;
 - 5. The purposes of the conditional use permit and the general description of the use proposed;
 - 6. Additional information as required by the historic preservation advisory committee.
- B. The application shall be accompanied by a fee set by resolution of the city council sufficient to cover the cost of handling the application. (Prior code § 7526)

17.38.030 Lapse of conditional use permit

A conditional use permit shall lapse and shall become void twenty-four (24) months after the date on which it became effective, unless the conditions of the permit allowed a shorter or greater time limit, or unless prior to the expiration of twenty-four (24) months a building permit is issued by the city and construction is commenced and diligently pursued toward completion on the site which was the subject of the permit. A permit may be renewed for an additional period of one year; provided, that prior to the expiration of twenty-four (24) months from the date the permit originally became effective, an application for renewal is filed with the planning commission. The commission may grant or deny an application for renewal of a conditional use permit. In the case of a planned residential development, the recording of a final map and improvements thereto shall be deemed the same as a building permit in relation to this section. (Ord. 2001-13 § 4 (part), 2001: prior code § 7527)

17.38.040 Revocation

Upon violation of any applicable provision of this title, or, if granted subject to a condition or conditions, upon failure to comply with the condition or conditions, a conditional use permit shall be suspended automatically. The planning commission shall hold a public hearing within sixty (60) days, in accordance with the procedure prescribed in Section 17.38.080, and if not satisfied that the regulation, general provision or condition is being complied with, may revoke the permit or take such action as may be necessary to insure compliance with the regulation, general provision or condition. Appeals of the decision of the planning commission may be made to the city council as provided in Section 17.38.120. (Prior code § 7528)

17.38.050 New application

Following the denial of a conditional use permit application or the revocation of a conditional use permit, no application for a conditional use permit for the same or substantially the same conditional use on the same or substantially the same site shall be filed within one year from the date of denial or revocation of the permit unless such denial was a denial without prejudice by the planning commission or city council. (Prior code § 7530)

17.38.060 Conditional use permit to run with the land

A conditional use permit granted pursuant to the provisions of this chapter shall run with the land and shall continue to be valid upon a change of ownership of the site or structure which was the subject of the permit application subject to the provisions of Section 17.38.065. (Prior code § 7531)

17.38.065 Abandonment of conditional use permit

If the use for which a conditional use permit was approved is discontinued for a period of one hundred eighty (180) days, the use shall be considered abandoned and any future use of the site as a conditional use will require the approval of a new conditional use permit.

17.38.070 Temporary uses or structures

- A. Conditional use permits for temporary uses or structures may be processed as administrative matters by the city planner and/or planning division staff. However, the city planner may, at his/her discretion, refer such application to the planning commission for consideration.
- B. The city planner and/or planning division staff is authorized to review applications and to issue such temporary permits, subject to the following conditions:
 1. Conditional use permits granted pursuant to this section shall be for a fixed period not to exceed thirty (30) days for each temporary use not occupying a structure, including promotional enterprises, or six months for all other uses or structures.
 2. Ingress and egress shall be limited to that designated by the planning division. Appropriate directional signing, barricades, fences or landscaping shall be provided where required. A security officer may be required for promotional events.
 3. Off-street parking facilities shall be provided on the site of each temporary use as prescribed in Section 17.34.020.
 4. Upon termination of the temporary permit, or abandonment of the site, the applicant shall remove all materials and equipment and restore the premises to their original condition.
 5. Opening and closing times for promotional enterprises shall coincide with the hours of operation of the sponsoring commercial establishment. Reasonable time limits for other uses may be set by the city planner and planning division staff.
 6. Applicants for a temporary conditional use permit shall have all applicable licenses and permits prior to issuance of a conditional use permit.
 7. Signing for temporary uses shall be subject to the approval of the city planner.
 8. Notwithstanding underlying zoning, temporary conditional use permits may be granted for fruit and vegetable stands on properties primarily within undeveloped agricultural areas. In reviewing applications for such stands, issues of traffic safety and land use compatibility shall be evaluated and mitigation measures and conditions may be imposed to ensure that the stands are built and are operated consistent with appropriate construction standards, vehicular access and off-street parking. All fruits and vegetables sold at such stands shall be grown by the owner/operator or purchased by said party directly from a grower/farmer.
- C. The applicant may appeal an administrative decision to the planning commission. (Ord. 9605 § 30 (part), 1996: prior code § 7532)

17.38.080 Public hearing--Notice

- A. The planning commission shall hold at least one public hearing on each application for a conditional use permit.
- B. Notice of the public hearing shall be given not less than ten days nor more than thirty (30) days prior to the date of the hearing by mailing a notice of the time and place of the hearing to property owners within three hundred (300) feet of the boundaries of the area occupied or to be occupied by the use which is the subject of the hearing, and by publication in a newspaper of general circulation within the city. (Prior code § 7533)

17.38.090 Investigation and report

The planning staff shall make an investigation of the application and shall prepare a report thereon which shall be submitted to the planning commission. (Prior code § 7534)

17.38.100 Public hearing--Procedure

At the public hearing the planning commission shall review the application and the statement and drawing submitted therewith and shall receive pertinent evidence concerning the proposed use and the proposed conditions under which it would be operated or maintained, particularly with respect to the findings prescribed in Section 17.38.110. The planning commission may continue a public hearing from time to time as it deems necessary. (Prior code § 7535)

17.38.110 Action by planning commission

- A. The planning commission may grant an application for a conditional use permit as requested or in modified form, if, on the basis of the application and the evidence submitted, the commission makes the following findings:
 - 1. That the proposed location of the conditional use is in accordance with the objectives of the zoning ordinance and the purposes of the zone in which the site is located;
 - 2. That the proposed location of the conditional use and the conditions under which it would be operated or maintained will not be detrimental to the public health, safety or welfare, or materially injurious to properties or improvements in the vicinity.
- B. A conditional use permit may be revocable, may be granted for a limited time period, or may be granted subject to such conditions as the commission may prescribe. The commission may grant conditional approval for a permit subject to the effective date of a change of zone or other ordinance amendment.
- C. The commission may deny an application for a conditional use permit. (Prior code § 7536)

17.38.120 Appeal to city council

The decision of the City planning commission on a conditional use permit shall be subject to the appeal provisions of Section 17.02.145. (Prior code § 7537) (Ord. 2006-18 § 6, 2007)

17.38.130 Effective date of conditional use permit

A conditional use permit shall become effective immediately when granted or affirmed by the council, or upon the sixth working day following the granting of the conditional use permit by the planning commission if no appeal has been filed. (Prior code § 7539).

RESOLUTION NO. 2025-39

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF VISALIA APPROVING CONDITIONAL USE PERMIT NO. 2025-18, A REQUEST BY ROBERT GAALSWYK TO PERMIT THE USE OF AN EXISTING 20,115 SQUARE FOOT BUILDING AS AN INDOOR SHOOTING RANGE FACILITY WITH ANCILLARY RETAIL GUN STORE SALES. THE SITE IS LOCATED IN THE I (INDUSTRIAL) ZONE. THE PROPERTY IS LOCATED ALONG THE EAST SIDE OF NORTH NEVADA STREET, APPROXIMATELY 194-FEET NORTH OF WEST GROVE AVENUE (ADDRESS: 1104 NORTH NEVADA STREET) (APN: 081-100-075)

WHEREAS, Conditional Use Permit No. 2025-18, is a request by Robert Gaalswyk to permit the use of an existing 20,115 square foot building as an indoor shooting range facility with ancillary retail gun store sales. The site is located in the I (Industrial) zone. The property is located along the east side of North Nevada Street, approximately 194-feet north of West Grove Avenue (Address: 1104 North Nevada Street) (APN: 081-100-075); and

WHEREAS, the Planning Commission of the City of Visalia, after duly published notice did hold a public hearing before said Commission on August 25, 2025; and

WHEREAS, the Planning Commission of the City of Visalia finds the Conditional Use Permit to be in accordance with Chapter 17.38.110 of the Zoning Ordinance of the City of Visalia based on the evidence contained in the staff report and testimony presented at the public hearing; and

WHEREAS, an Initial Study was prepared, and adopted which disclosed that no significant environmental impacts would result from this project.

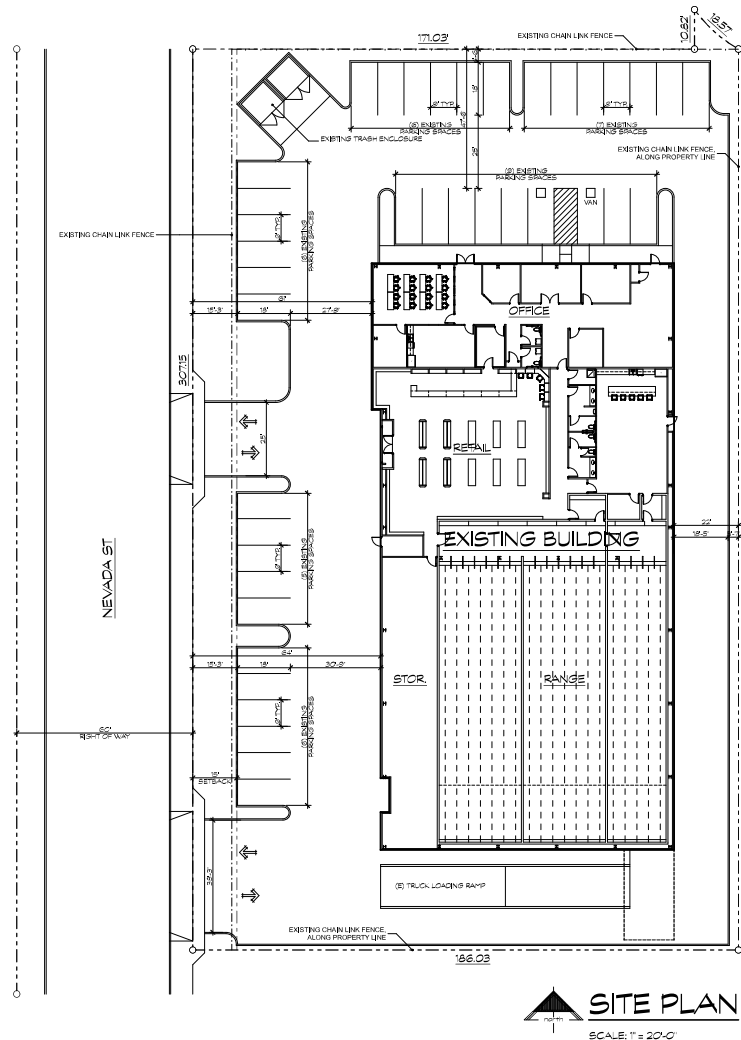
NOW, THEREFORE, BE IT RESOLVED that Negative Declaration No. 2025-29 was prepared consistent with the California Environmental Quality Act and City of Visalia Environmental Guidelines.

NOW, THEREFORE, BE IT FURTHER RESOLVED that the Planning Commission of the City of Visalia makes the following specific findings based on the evidence presented:

1. That the proposed Conditional Use Permit is consistent with the intent, objectives, and policies of the General Plan and Zoning Ordinance.
2. That the proposed location of the Conditional Use Permit is compatible with adjacent land uses.
3. That the proposed Conditional Use Permit is not detrimental to the public health, safety, or welfare, or materially injurious to properties or improvements in the vicinity.
4. That an Initial Study was prepared for this project, consistent with CEQA, which disclosed that environmental impacts are determined to be not significant and that Negative Declaration No. 2025-29, is hereby adopted. Furthermore, the proposed use and the proposed remodel improvements are not likely to cause substantial environmental damage nor substantially and avoidably injure fish, wildlife or their habitat.

BE IT FURTHER RESOLVED that the Planning Commission hereby approves the Conditional Use Permit on the real property here described in accordance with the terms of this resolution under the provisions of Section 17.38.110 of the Ordinance Code of the City of Visalia, subject to the following conditions:

1. That the project be developed in substantial compliance with the comments from the approved Site Plan Review No. 2025-086.
2. That the site be developed in substantial compliance with the site plan in Exhibit "A", building elevations in Exhibit "B", floor plan in Exhibit "C", and landscaping plan in Exhibit "D".
3. That the project limit hours consistent with the Operational Statement in Exhibit "E".
4. That prior to a building final, the owner/operator of the proposed facility shall verify that use of the indoor shooting range does not exceed Community Noise levels as identified in the attached acoustical analysis (Acoustical Analysis, Smokin' Barrel Indoor Shooting Range N. Nevada Street, prepared by WJV Acoustics, Inc., May 29, 2025). The applicant/developer shall have their acoustical noise consultant conduct noise measurements as detailed in the acoustical analysis prior to operating. The noise measurement shall be submitted and verified by Community Development staff prior to a building final being issued by City staff. Failure to meet Community Noise requirements as noted in the acoustical analysis shall result in non-operation of the business until noise levels are met.
5. That all signs shall require a separate building permit.
6. That all other federal, state and city codes, ordinances and laws be met.



SITE INFORMATION

APN:	081400075
PROJECT ADDRESS:	104 N NEVADA ST VISALIA, CA 93291
PARCEL:	1.754 ACRES
ZONE:	INDUSTRIAL
OCCUPANCY:	INDUSTRIAL USE - B, M, S, I (PERMITTED)
USE:	INDOOR SHOOTING RANGE, RETAIL, VEHICLE REPAIRS
(S) CONSTRUCTION:	2018 S.F.
(S) BUILDING AREA:	2018 S.F.
ALLOWED:	B: 3,000 S.F. (45,000 S.F. MAX. ALLOWED - CBC 906.2.2) M: 3,000 S.F. (45,000 S.F. MAX. ALLOWED - CBC 906.2.2) S: 11,488 S.F. (45,000 S.F. MAX. ALLOWED - CBC 906.2.2) OCCUPANCY (S): B: (3600 S.F. / 1) + M: (3000 S.F. / 1) + S: (1488 S.F. / 1) = 1

PARKING REQUIREMENTS

EXISTING PARKING:	1
STANDARD:	1
ACCESSIBLE (STANDARD):	1
ACCESSIBLE (VAN):	1
TOTAL EXISTING PARKING:	1

LANDSCAPE / PARKING

EXISTING LANDSCAPE:	6,885 SQ. FT. 10% OF LANDSCAPE TO SITE AREA
EXISTING PARKING:	6,485 SQ. FT.
PERCENTAGE OF LANDSCAPE TO PARKING AREA:	10%

PROJECT NARRATIVE

This is a proposed tenant improvement of an existing 20,000 square foot building for an indoor shooting range and retail facility. Customers will enter the facility through the 4,000 square foot retail shop. This project will be an expanded version of their existing store offering indoor shooting ranges as well as paint, rifle, ammunition, and accessory sales.

There are two indoor shooting ranges, a 14 lane - 25 yard range and a 5 lane - 25 yard range for the VP Range.

The shooting ranges are where the public can practice firearm proficiency or try new models or types of firearms. Each range will have range safety officer to assist shooters and maintain a safe environment. The ranges will have special mechanical ventilation to remove noise and provide clean air for patrons.

Off the main sales floor there are classrooms for meetings and where gun safety classes will be taught. The facility also has a VIP lounge and a 1 lane shooting range. This area will provide members with an area where they can relax prior to and after shooting. This space can be booked by members for events such as birthdays and corporate team building, and by other groups wishing to use the facility.

In addition to the shooting ranges, the facility also has offices, an employee break room, restrooms, and storage space.

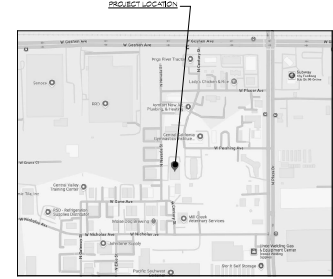
It is anticipated there will be 8 fulltime and 4 part time employees. Hours of operation will be Monday thru Friday 10am to 7pm, Saturday 10am to 5pm and closed on Sunday.

UTILITIES

ELECTRIC:	SOUTHERN CALIFORNIA Edison
GAS:	SO CAL GAS COMPANY
WATER:	CAL WATER COMPANY
SEWER:	CITY OF VISALIA

SETBACKS

FRONT:	15'-0"
REAR:	0'-0"
SIDE:	0'-0"



VICINITY MAP
SCALE: N.T.S.

**DESIGN GROUP
INCORPORATED
ARCHITECTS**

4412 W. FERGUSON
VISALIA, CA 93291
(558) 732-4236
FAX: 732-4236

4412 W. FERGUSON
VISALIA, CA 93291
(558) 732-4236
FAX: 732-4236

A TENANT IMPROVEMENT FOR:
SMOKIN' BARREL
104 N NEVADA ST, VISALIA, CA 93291

Sheet:
A-1

Exhibit B



4412 W. FERGUSON
 VISALIA, CA 93291
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 FAX: 732-4236

SCALE: AS SHOWN
 DATE: 12-20-04

A TENANT IMPROVEMENT FOR:

SMOKIN' BARREL

1104 N NEVADA ST, VISALIA, CA 93291

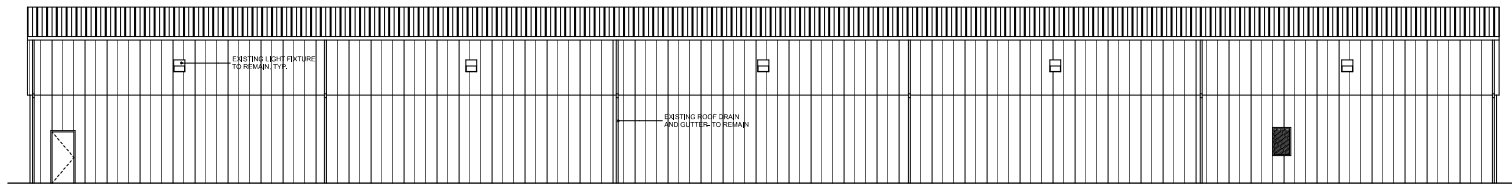
DATE: 12-20-04

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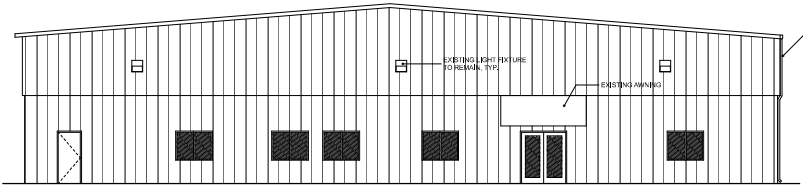
Sheet:

A-3

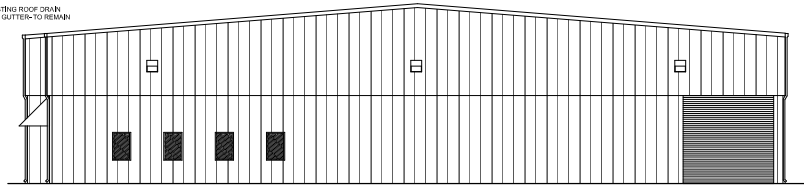
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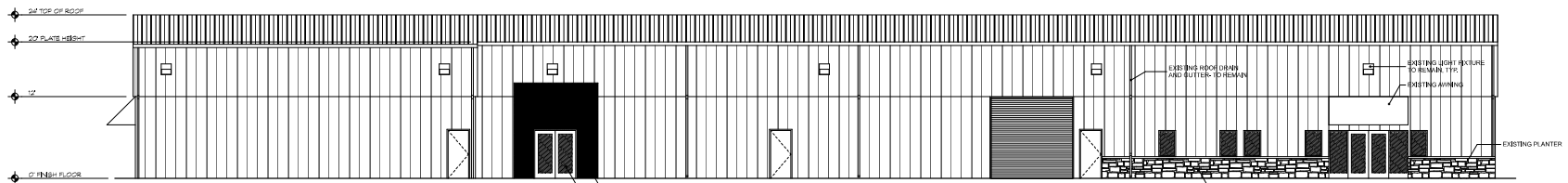
EAST
 SCALE: 1/8" = 1'-0"



NORTH
 SCALE: 1/8" = 1'-0"

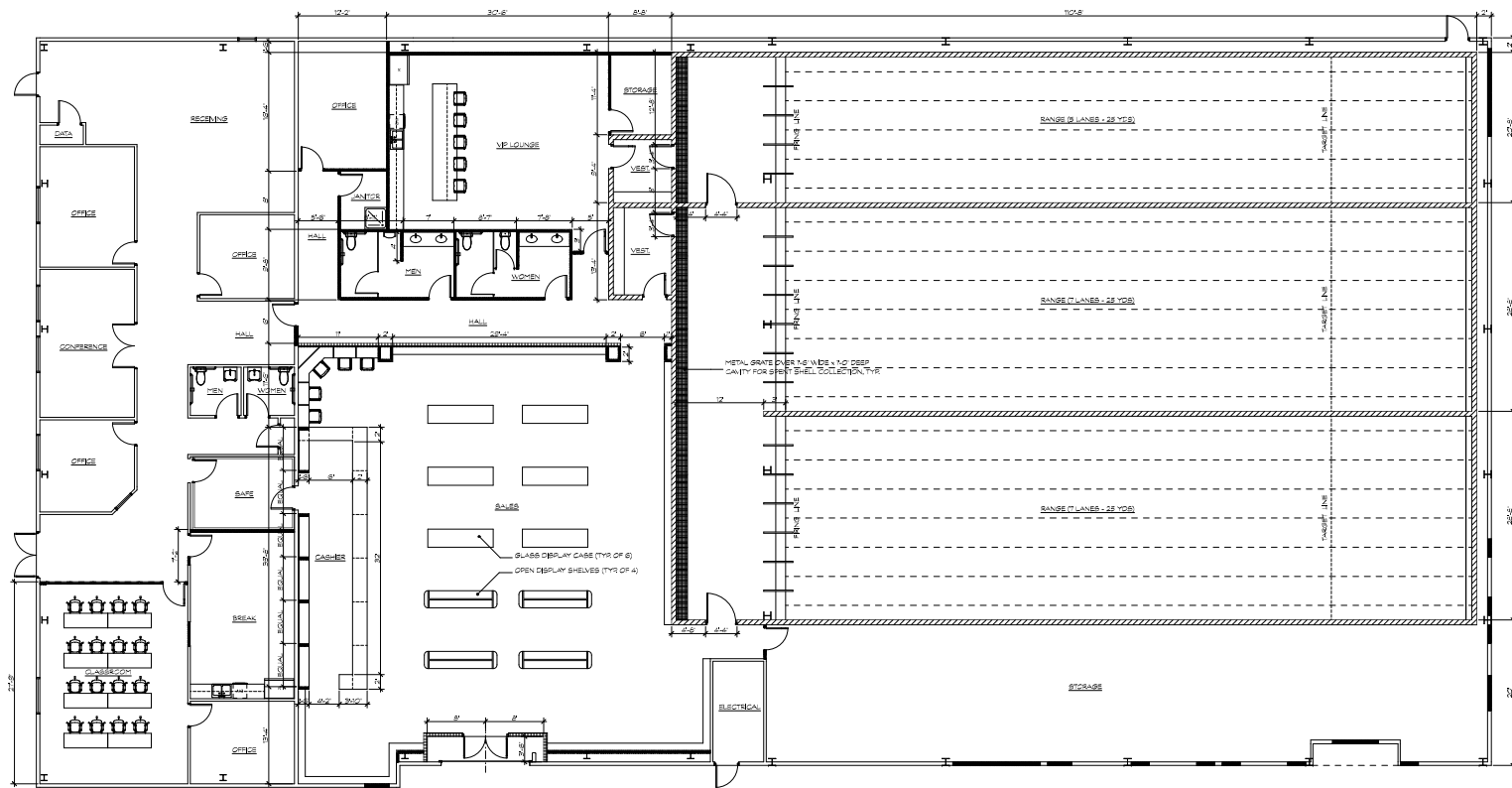


SOUTH
 SCALE: 1/8" = 1'-0"



WEST
 SCALE: 1/8" = 1'-0"

Exhibit C



FLOOR PLAN LEGEND	
	4\"/>
	8\"/>
	4\"/>
	WINDOW MARKER - SEE WINDOW SCHEDULE
	DOOR MARKER - SEE DOOR SCHEDULE
	INTERIOR ELEVATION MARKER - SEE INTERIOR ELEVATIONS

FLOOR PLAN
SCALE: 1/8" = 1'-0"

**DESIGN GROUP
INCORPORATED
ARCHITECTS**

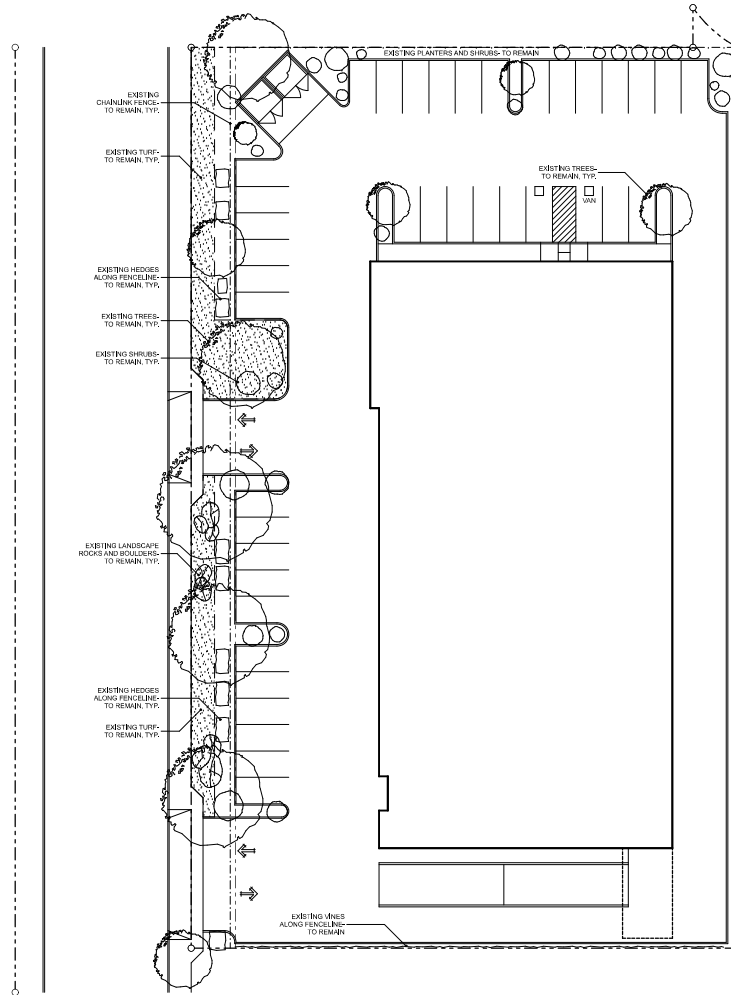
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A TENANT IMPROVEMENT FOR:
SMOKIN' BARREL
1104 N. NEVADA ST., VISALIA, CA 93291

Sheet:
A-2

Exhibit D



LANDSCAPE PLAN
SCALE: 1" = 20'-0"

* NOTE:
THIS IS A ±20 YEAR OLD FACILITY WITH MATURE TREES AND LANDSCAPE.
ALL EXISTING TREES, HEDGES AND SHRUBS WILL BE MAINTAINED AND
TRIMMED.

ERM
DESIGN GROUP
INCORPORATED
ARCHITECTS



4412 W. FERGUSON
VISALIA, CA 93291
(558) 732-4236
FAX: 732-4236

SCALE: 1" = 20'-0"
DATE: 11-20-08

A TENANT IMPROVEMENT FOR:
SMOKIN' BARREL
1104 N NEVADA ST, VISALIA, CA 93291

DATE: 11-20-08
BY: [Signature]
CHECKED: [Signature]
APPROVED: [Signature]

Sheet:
L-1

5/30/08

Exhibit E

Smokin' Barrel Operational Statement

This is a proposed tenant improvement of an existing $\pm 20,000$ square foot building for an indoor shooting range and retail facility. Customers will enter the facility through the $\pm 3,000$ square foot retail shop. This project will be an expanded version of their existing store offering indoor shooting ranges as well as pistol, rifle, ammunition, and accessory sales.

There are two indoor shooting ranges, a 14 lane – 25 yard range and a 5 lane – 25 yard range for the VIP lounge.

The shooting ranges are where the public can practice firearm proficiency or try new models or types of firearms. Each range will have range safety officer to assist shooters and maintain a safe environment. The ranges will have special mechanical ventilation to remove odors and provide clean air for patrons.

Off the main sales floor there are classrooms for meetings and where gun safety classes will be taught. The facility also has a VIP lounge and a 5 lane shooting range. This area will provide members with an area where they can relax prior to and after shooting. This space can be booked by members for events such as birthdays and corporate team building, and by other groups wishing to use the facility.

In addition to the shooting ranges, the facility also has offices, an employee break room, restrooms, and storage space.

It is anticipated there will be 8 fulltime and 4 part time employees. Hours of operation will be Monday thru Friday 10am to 7pm, Saturday 10am to 5pm and closed on Sunday.

Exhibit F

ACOUSTICAL ANALYSIS

SMOKIN' BARREL INDOOR SHOOTING RANGE UPDATE N. NEVADA STREET VISALIA, CALIFORNIA

WJVA Project No. 25-23

PREPARED FOR

EBM DESIGN GROUP
4412 W. FERGUSON AVENUE
VISALIA, CALIFORNIA 93291

PREPARED BY

WJV ACOUSTICS, INC.
VISALIA, CALIFORNIA



wjv acoustics

MAY 29, 2025

INTRODUCTION

The proposed Smokin' Barrel Indoor Shooting Range project is a ±20,000 square foot retail and indoor shooting range facility, to be located along N. Nevada Street, in Visalia, California. The project is considered to be an expanded version of the existing store, offering: indoor shooting, pistol, rifle, ammunition, and accessory sales.

The proposed project would include two indoor shooting ranges, a 14 lane - 25-yard range and a 5 lane - 25-yard range for the VIP lounge. The shooting ranges are where the public can practice firearm proficiency or try new models or types of firearms. The ranges will have special mechanical ventilation to remove odors and provide clean air for patrons.

Off the main sales floor there are classrooms for meetings and where gun safety classes will be taught. The facility will also include a VIP lounge and a 5-lane shooting range. This area will provide members with an area where they can relax prior to and after shooting. The facility also has space for offices, employee break room, restrooms, and storage. It is anticipated there will be 8 fulltime and 4 part time employees. Hours of operation will be Monday thru Friday 10:00 a.m. to 7:00 p.m., Saturday 10:00 a.m. to 5:00 p.m. and closed on Sunday.

The City of Visalia has requested an acoustical analysis to determine if noise generated by the proposed activities will comply with applicable City of Visalia noise standards. This acoustical analysis, prepared by WJV Acoustics Inc. (WJVA), is based on the site plan provided by the project applicant (dated May 2, 2025), facility operations data provided by the project applicant and noise level data obtained by WJVA at the project site as well as existing and operational indoor shooting range facilities. The Project Site Plan is provided as Figure 1.

Appendix A provides definitions of the acoustical terminology used in this report. Unless otherwise stated, all sound levels reported in this analysis are A-weighted sound pressure levels in decibels (dB). A-weighting de-emphasizes the very low and very high frequencies of sound in a manner similar to the human ear. Most community noise standards utilize A-weighted sound levels, as they correlate well with public reaction to noise. Appendix B provides typical A-weighted sound levels for common noise sources.

CRITERIA FOR ACCEPTABLE NOISE EXPOSURE

The City of Visalia Noise Element of the General Plan (noise element) establishes noise level criteria in terms of the Day-Night Average Level (L_{dn}) metric, for transportation noise sources. The L_{dn} is the time-weighted energy average noise level for a 24-hour day, with a 10 dB penalty added to noise levels occurring during the nighttime hours (10:00 p.m.-7:00 a.m.). The L_{dn} represents cumulative exposure to noise over an extended period of time and is therefore calculated based upon *annual average* conditions.

The exterior noise level standard of the noise element is 65 dB L_{dn} for outdoor activity areas of residential uses. Outdoor activity areas generally include backyards of single-family residences and individual patios or decks and common outdoor activity areas of multi-family developments. The intent of the exterior noise level requirement is to provide an acceptable noise environment for outdoor activities and recreation.

The noise element also requires that interior noise levels attributable to exterior noise sources not exceed 45 dB L_{dn} . The intent of the interior noise level standard is to provide an acceptable noise environment for indoor communication and sleep.

Additionally, the noise element establishes hourly acoustical performance standards for non-transportation (stationary) noise sources. The standards are set in terms of the L_{eq} (hourly equivalent) and L_{max} (maximum) noise levels. The standards, provided in Table I, are made more restrictive during the nighttime hours of 10:00 p.m. to 7:00 a.m.

TABLE I NON-TRANSPORTATION NOISE LEVEL STANDARDS, dBA CITY OF VISALIA			
Daytime (7 a.m.-10 p.m.)		Nighttime (10 p.m.-7 a.m.)	
L_{eq}	L_{max}	L_{eq}	L_{max}
50	70	45	65

Source: City of Visalia Noise Element of General Plan

Section 8.36 of the City's Municipal Code (noise ordinance) applies to noise sources that are not pre-empted from local control by existing state or federal regulations. Commercial activities are not pre-empted noise sources and are therefore subject to the provisions of the noise ordinance. The noise ordinance describes noise sensitive land uses to include residences, schools, churches, hospitals, or public libraries.

The noise ordinance addresses the statistical distribution of noise over time and allows for progressively shorter periods of exposure to levels of increasing loudness. Table II summarizes

the exterior noise level standards of the ordinance. Note that the ordinance is to be applied during any one-hour time period of the day, and that the standards are 5 dB more restrictive between the hours of 7:00 p.m. and 6:00 a.m.

TABLE II EXTERIOR NOISE LEVEL STANDARDS, dBA CITY OF VISALIA NOISE ORDINANCE			
Category	Cumulative # Min/Hr. (L_n)	Daytime (6am-7pm)	Nighttime (7pm-6am)
1	30 (L_{50})	50	45
2	15 (L_{25})	55	50
3	5 ($L_{8.3}$)	60	55
4	1 ($L_{1.7}$)	65	60
5	0 (L_{max})	70	65

Note: L_n is an abbreviation for the percentage of time that a certain noise level is exceeded during a specified time period (in this case, one hour). For example, an L_{50} value of 50 dBA may not be exceeded during the hours of 6 am-7pm.

Source: City of Visalia Municipal Code

The City's noise ordinance also establishes interior residential noise level standards that would apply to the project. The interior noise level standards are established in allowable exceedance limits over differing amounts of time, within residential land uses. Similar to the applicable exterior standards, the interior standards become 5 dB more restrictive during nighttime hours. The applicable interior noise level standards are provided in Table III.

TABLE III INTERIOR NOISE LEVEL STANDARDS, dBA CITY OF VISALIA NOISE ORDINANCE			
Category	Cumulative # Min/Hr.	Daytime (6am-7pm)	Nighttime (7pm-6am)
1	5	45	35
2	1	50	40
3	0	55	45

Source: City of Visalia Municipal Code

The City's noise ordinance also states *"In the event the measured ambient noise level without the alleged offensive source in operation exceeds an applicable noise level standard in any category above, the applicable standard or standards shall be adjusted so as to equal the ambient noise level"*.

EXISTING PROJECT SITE NOISE EXPOSURE

The project site is an existing industrial building located along N. Nevada Street, in Visalia, California. The project site is located in an industrially zoned area. The site is bordered by industrial land uses on all sides.

As described above, the noise ordinance describes noise sensitive land uses to include residences, schools, churches, hospitals, or public libraries. The closest existing sensitive receptors to the project site are residential land uses located approximately 0.5 miles to the northwest, north of Goshen Avenue.

A project site inspection and ambient noise monitoring were conducted on May 20, 2025, to evaluate the acoustical characteristics of the site and quantify existing ambient noise levels within the project area. Existing sources of noise in the project vicinity include vehicle traffic from local roadways, noise associated with nearby industrial land uses, and aircraft overflights associated with arrivals/departures at Visalia Municipal Airport.

Ambient noise monitoring equipment consisted of a Larson-Davis Laboratories Model LDL 820 sound level analyzer equipped with a Bruel & Kjaer (B&K) Type 4176 ½" microphone. The monitor was calibrated with a B&K Type 4230 acoustical calibrator to ensure the accuracy of the measurements. The equipment complies with applicable specifications of the American National Standards Institute (ANSI) for Type 1 (precision) sound level meters.

WJVA collected 15-minute ambient noise level measurements at four (4) noise monitoring sites, along the adjacent property lines on all sides of the existing building, to document existing (without project) ambient noise levels in the project vicinity. The findings of the noise measurements are provided in Table IV. The project vicinity and ambient noise monitoring site locations are provided as Figure 2.

TABLE IV SUMMARY OF SHORT-TERM AMBIENT NOISE MEASUREMENT DATA SMOKIN' BARREL INDOOR SHOOTING RANGE, VISALIA MAY 20, 2025							
Site	Time	A-Weighted Decibels, dBA					
		L _{eq}	L ₅₀	L ₂₅	L ₈	L ₂	L _{max}
ST-1	9:30 a.m.	53.3	49.3	53.3	56.5	61.1	70.6
ST-2	9:50 a.m.	55.7	50.4	54.2	60.1	65.2	68.9
ST-3	10:10 a.m.	57.1	54.1	58.0	62.1	63.4	64.7
ST-4	10:30 a.m.	62.4	58.2	60.4	65.6	71.3	76.3

Source: WJV Acoustics, Inc.

From Table IV it can be determined that existing ambient (without project) noise levels in the project vicinity were in the range of approximately 53 to 62 dB L_{eq} with maximum noise levels in the range of 65 to 76 dB.

The noise levels described in Table IV exceed the City's exterior noise level standards for stationary noise sources in nearly every statistical category at each of the ambient noise measurement sites. However, as described above, the closest existing sensitive receptors to the project site are located approximately 0.5 miles to the northeast.

PROJECT RELATED NOISE LEVELS

In order to assess potential noise levels associated with indoor shooting range activities, WJVA reviewed noise level measurements previously obtained at an existing indoor shooting range located 1173 Dayton Avenue, in Clovis (The Firing Line), in 2012 and additional noise measurements conducted in October of 2022, as well as noise level measurements obtained at an existing indoor shooting range located at 5151 N. Gates Avenue (The Range Pistol Club) in January of 2023.

The Firing Line-

At the time WJVA conducted noise level measurements, the Clovis shooting range had been constructed inside an existing steel structure building. The firing range had constructed a 10-foot-high concrete enclosure within the existing steel structure, with no additional construction features occurring above the 10-foot concrete enclosure. The firing range building was later modified to further reduce noise levels. However, at the time the reference noise measurements were conducted, no additional modifications were in place, other than the above-described (uncapped) 10-foot concrete enclosure, within the existing steel building.

WJVA staff conducted reference noise level measurements at a distance of approximately eighty (80) feet from the exterior of The Firing Line indoor shooting range. At the noise monitor location, noise levels generated by shooting activities at the range were observed by WJVA to be in the range of 55-60 dB, at the setback distance of 80 feet from the exterior building façade.

Since these above-described noise level measurements, The Firing Line modified the structure to provide additional noise attenuation features. A wood-framed sound reduction wall was constructed between the top of the concrete wall and the ceiling of the steel building. The sound reduction wall consists of Tectum® over soundboard and fiberglass insulation. WJVA staff revisited the Firing Line in October 2022 to conduct additional reference noise levels measurements. Generally speaking, maximum noise levels were measured to be in the range of approximately 49-62 dB at setback distances of approximately fifty (50) feet from the exterior façade of the building.

Figure 3 provides the measured noise levels at various locations at the exterior of the building. Noise levels were highest on the east side of the building, in line with the firearm discharge area, and lowest at the north end of the building, in the vicinity of the target areas.

The Range Pistol Club (Police Science Institute)-

WJVA conducted reference noise level measurements at the Range Pistol Club (also referred to as Police Science Institute) in January of 2022, to collect additional noise level measurements exterior to an active indoor firing range. The Pistol Range Club is located at 5151 N. Gates Avenue, in Fresno. The facility is divided into two (2) separate indoor firing ranges. The original portion of the facility is located adjacent to Jacquelyn Avenue and the newer range facility is centrally located within the building. WJVA conducted exterior noise levels measurements while both ranges were active.

WJVA staff spoke with staff at the Range Pistol Club facility regarding the construction components of the facility, and took a brief tour of the facility. The original portion of the facility is constructed of CMU concrete-grouted block walls, standard wood-framed roofing with insulation and steel baffles and shields. The exterior wall facing Jacquelyn Street includes a double-walled interior storage area that runs the length of the firing range. This provides an extra layer of construction and air space for additional noise attenuation. The newer portion of the range (used for police training, including rifles and shotguns) is constructed of CMU concrete-grouted walls with an 8-inch concrete hard ceiling. WJVA conducted various exterior noise level measurements while both shooting ranges were in use.

According to staff, firearms in use mainly during the noise measurements consisted of 45 mm handguns. Noise levels exterior to the newer portion of the facility were barely audible outside of the building, and did not register on the noise levels meter above existing ambient noise levels in the project vicinity. Noise levels exterior to the original portion of the firing range facility were barely audible outside of the wall that runs parallel to the firing lines (area with double-walled construction). Noise levels exterior to the original portion of the building, at the terminus of the firing line (in the areas of the targets) were measured to be in the range of approximately 66-68 dB at a distance of approximately five (5) feet from the building façade. This portion of the facility has single-walled CMU concrete-grouted block walls.

Figure 4 provides the measured noise levels at various locations at the exterior of the building. Noise levels were highest on the west side of the building, the only exterior façade that was not double-walled.

Project Site Noise Levels-

The existing building is an insulated metal building. The shooting ranges will be constructed of 8-inch solid concrete grouted CMU block walls built within the existing building. The ceilings will be constructed with hanging steel baffles and 5/8" gypsum board attached to the ceiling framing. This will create a building within a building.

The proposed project construction would be considered similar to that which was observed at the Range Pistol Club in Fresno, within the original portion of the building. However, the proposed project site would include the existing insulated metal building as added noise attenuation, when compared to the original portion of the Range Pistol Club.

Based upon the loudest measured noise levels at the Ragne Pistol Club (66-68 dB at a distance of five feet), WJVA calculated estimate project-related noise levels to be in the range of approximately 40-48 dB at the adjacent industrial land uses. While there are no City of Visalia noise levels standards that apply to these land uses, these measured noise levels do not exceed any maximum ambient noise levels measured at any of the four ambient noise measurement sites. Project-related noise levels at any land use considered to be a noise-sensitive receptor by the City of Visalia would be completely inaudible. Additional mitigation measures are therefore not required for project noise compliance.

CONCLUSIONS AND RECOMMENDATIONS

Based upon noise levels measured at existing firing range facilities in Clovis and Fresno, and review of both facilities' construction components and based upon the proposed project construction, noise levels associated with firing range activities are generally not expected to be audible at distances of greater than approximately 50-100 feet from the exterior facades, and would not be expected to be audible over existing ambient noise levels at any existing sensitive receptor location in the vicinity of the project site.

The above-described assessment and exterior noise level determinations apply only to the proposed construction measures (described above and summarized below). Any changes to these construction components may result in noise levels different than those described, and would require a reevaluation of the findings of this analysis. These construction requirements are summarized as follows:

- The existing building is an insulated metal building. The shooting ranges will be constructed of 8-inch solid concrete grouted CMU block walls built within the existing building. The ceilings will be constructed with hanging steel baffles and 5/8" gypsum board attached to the ceiling framing.

The conclusions and recommendations of this acoustical analysis are based upon the best information known to WJV Acoustics Inc. (WJVA) at the time the analysis was prepared concerning the proposed site plan, project equipment and proposed hours of operation. Any significant changes in these factors will require a reevaluation of the findings of this report. Additionally, any significant future changes in firearm technology, noise regulations or other factors beyond WJVA's control may result in long-term noise results different from those described by this analysis.

Respectfully submitted,



Walter J. Van Groningen
President

WJV:wjv

25-23 (Smokin' Barrel Indoor Shooting Range, Visalia) 5-29-25



FIGURE 2: PROJECT SITE VICINITY AND NOISE MONITORING SITE LOCATION



FIGURE 3: MEASURED NOISE LEVELS, THE FIRING LINE, CLOVIS

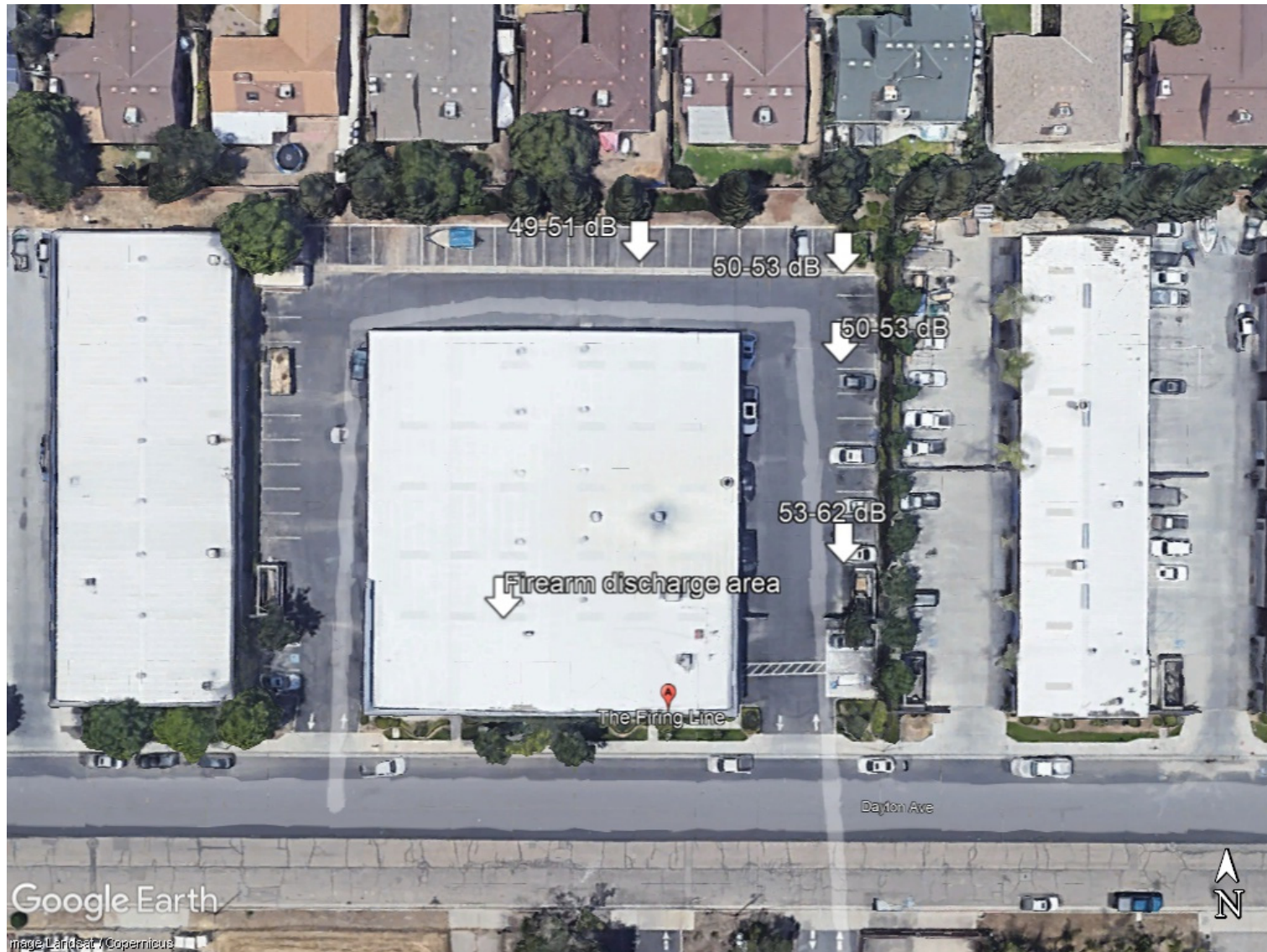


FIGURE 4: MEASURED NOISE LEVELS, THE RANGE PISTOL CLUB, FRESNO



APPENDIX A

ACOUSTICAL TERMINOLOGY

AMBIENT NOISE LEVEL:	The composite of noise from all sources near and far. In this context, the ambient noise level constitutes the normal or existing level of environmental noise at a given location.
CNEL:	Community Noise Equivalent Level. The average equivalent sound level during a 24-hour day, obtained after addition of approximately five decibels to sound levels in the evening from 7:00 p.m. to 10:00 p.m. and ten decibels to sound levels in the night before 7:00 a.m. and after 10:00 p.m.
DECIBEL, dB:	A unit for describing the amplitude of sound, equal to 20 times the logarithm to the base 10 of the ratio of the pressure of the sound measured to the reference pressure, which is 20 micropascals (20 micronewtons per square meter).
DNL/L_{dn}:	Day/Night Average Sound Level. The average equivalent sound level during a 24-hour day, obtained after addition of ten decibels to sound levels in the night after 10:00 p.m. and before 7:00 a.m.
L_{eq}:	Equivalent Sound Level. The sound level containing the same total energy as a time varying signal over a given sample period. L _{eq} is typically computed over 1, 8 and 24-hour sample periods.
NOTE:	The CNEL and DNL represent daily levels of noise exposure averaged on an annual basis, while L _{eq} represents the average noise exposure for a shorter time period, typically one hour.
L_{max}:	The maximum noise level recorded during a noise event.
L_n:	The sound level exceeded "n" percent of the time during a sample interval (L ₉₀ , L ₅₀ , L ₁₀ , etc.). For example, L ₁₀ equals the level exceeded 10 percent of the time.

A-2

ACOUSTICAL TERMINOLOGY

NOISE EXPOSURE

CONTOURS:

Lines drawn about a noise source indicating constant levels of noise exposure. CNEL and DNL contours are frequently utilized to describe community exposure to noise.

NOISE LEVEL

REDUCTION (NLR):

The noise reduction between indoor and outdoor environments or between two rooms that is the numerical difference, in decibels, of the average sound pressure levels in those areas or rooms. A measurement of Noise level reduction@ combines the effect of the transmission loss performance of the structure plus the effect of acoustic absorption present in the receiving room.

SEL or SENEL:

Sound Exposure Level or Single Event Noise Exposure Level. The level of noise accumulated during a single noise event, such as an aircraft overflight, with reference to a duration of one second. More specifically, it is the time-integrated A-weighted squared sound pressure for a stated time interval or event, based on a reference pressure of 20 micropascals and a reference duration of one second.

SOUND LEVEL:

The sound pressure level in decibels as measured on a sound level meter using the A-weighting filter network. The A-weighting filter de-emphasizes the very low and very high frequency components of the sound in a manner similar to the response of the human ear and gives good correlation with subjective reactions to noise.

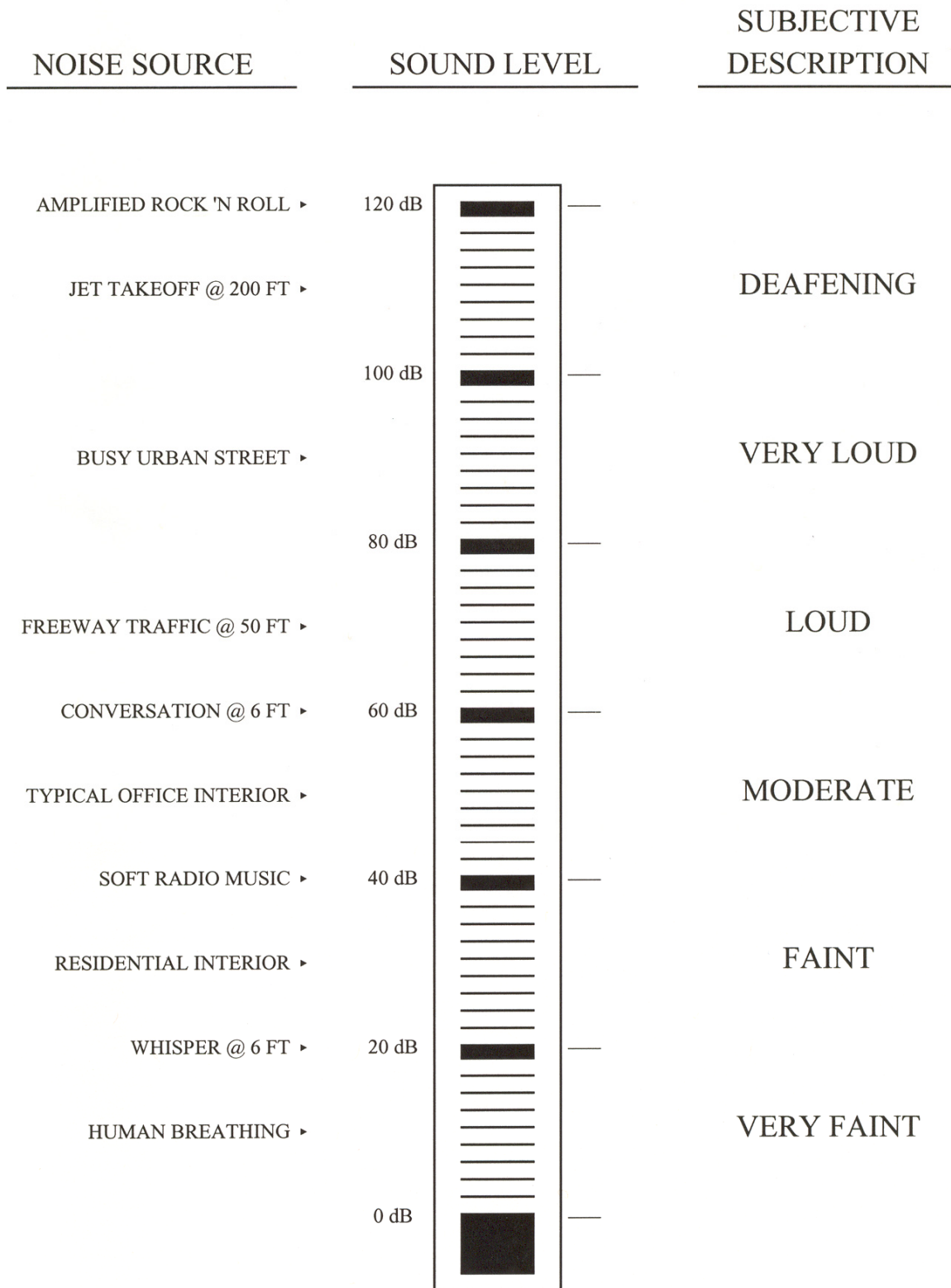
SOUND TRANSMISSION

CLASS (STC):

The single-number rating of sound transmission loss for a construction element (window, door, etc.) over a frequency range where speech intelligibility largely occurs.

APPENDIX B

EXAMPLES OF SOUND LEVELS



CITY OF VISALIA
315 E. ACEQUIA STREET
VISALIA, CA 93291

**NOTICE OF A PROPOSED
NEGATIVE DECLARATION**

Project Title: Conditional Use Permit No. 2025-18

Project Description:

Conditional Use Permit 2025-18: A request by Robert Gaalswyk to permit the use of an existing 20,115 square foot building as indoor shooting range facility with ancillary retail gun store sales, located in the I (Industrial) zone.

Project Location: The property is located along the east side of North Nevada Street, approximately 194-feet north of West Grove Avenue. (Address: 1104 North Nevada Street) (APN: 081-100-075).

Contact Person: Josh Dan, Senior Planner
Email: josh.dan@visalia.city

Phone: 559-713-4003

Time and Place of Public Hearing: A public hearing will be held before the Planning Commission on August 25, 2025, at 7:00 p.m. in the Visalia City Hall Council Chambers, located at 707 W. Acequia Avenue, Visalia, California.

Pursuant to City Ordinance No. 2388, the Environmental Coordinator of the City of Visalia has reviewed the proposed project described herein and has found that the project will not result in any significant effect upon the environment because of the reasons listed below:

Reasons for Negative Declaration: Initial Study No. 2025-29 has not identified any significant, adverse environmental impact(s) that may occur because of the project. Copies of the initial study and other documents relating to the subject project may be examined by interested parties at the Planning Division in City Hall East, at 315 East Acequia Avenue, Visalia, CA, and online at:

https://www.visalia.city/depts/community_development/planning/ceqa_environmental_review.asp.

Comments on this proposed Negative Declaration will be accepted from August 1, 2025, to August 21 2025.

Date: 07/25/2025

Signed: 

Brandon Smith, AICP
Environmental Coordinator
City of Visalia

NEGATIVE DECLARATION

Project Title: Conditional Use Permit No. 2025-18

Project Description: A request by Robert Gaalswyk to permit the use of an existing 20,115 square foot building as indoor shooting range facility with ancillary retail gun store sales, located in the I (Industrial) zone.

Project Location: The property is located along the east side of North Nevada Street, approximately 194-feet north of West Grove Avenue. (Address: 1104 North Nevada Street) (APN: 081-100-075).

Project Facts: Refer to Initial Study for project facts, plans and policies, and discussion of environmental effects.

Attachments:

Initial Study	(X)
Environmental Checklist	(X)
Maps	(X)
Acoustical Analysis	(X)

DECLARATION OF NO SIGNIFICANT EFFECT:

This project will not have a significant effect on the environment for the following reasons:

- (a) The project does not have the potential to degrade the quality of the environment, substantially reduce the habitat of a fish or wildlife species, cause a fish or wildlife population to drop below self-sustaining levels, threaten to eliminate a plant or animal community, reduce the number or restrict the range of a rare or endangered plant or animal, or eliminate important examples of the major periods of California history or prehistory.
- (b) The project does not have the potential to achieve short-term environmental goals to the disadvantage of long-term environmental goals.
- (c) The project does not have environmental effects which are individually limited but cumulatively considerable. Cumulatively considerable means that the incremental effects of an individual project are considerable when viewed in connection with the effects of past projects, the effects of other current projects, and the effects of probable future projects.
- (d) The environmental effects of the project will not cause substantial adverse effects on human beings, either directly or indirectly.

This Negative Declaration has been prepared by the City of Visalia Planning Division in accordance with the California Environmental Quality Act of 1970, as amended. A copy may be obtained from the City of Visalia Planning Division Staff during normal business hours.

APPROVED

Brandon Smith, AICP
Environmental Coordinator

By: 

Date Approved: July 28, 2025

Review Period: 20 days

INITIAL STUDY

I. GENERAL

A. Description of the Project: Conditional Use Permit No. 2025-18: A request by Robert Gaalswyk to permit the use of an existing 20,115 square foot building as indoor shooting range facility with ancillary retail gun store sales, located in the I (Industrial) zone. The property is located along the east side of North Nevada Street, approximately 194-feet north of West Grove Avenue. (Address: 1104 North Nevada Street) (APN: 081-100-075).

B. Identification of the Environmental Setting: The site is fully improved and has an existing industrial building measuring approximately 20,000 square feet. The existing facility is located at 1104 North Nevada Street, within the Visalia industrial park, and was previously occupied by an agricultural chemical supplier. The Visalia Circulation Element designates Nevada Street as a Local roadway.

The areas surrounding the subject property are predominately developed with industrial uses to the south, east, and west.

The surrounding uses, Zoning, and General Plan are as follows:

	<u>General Plan</u>	<u>Zoning</u>	<u>Existing uses</u>
North:	Heavy Industrial	Industrial	Vacant lot
South:	Heavy Industrial	Industrial	Industrial uses: Fastenal Fulfillment Center & Haulaway Storage Containers
East:	Heavy Industrial	Industrial	Bimbo Bakeries
West:	Heavy Industrial	Industrial	Edeniq Biotechnology Company

Fire and police protection services, street maintenance of public streets, refuse collection, and wastewater treatment will be provided by the City of Visalia upon the development of the area.

C. Plans and Policies: The General Plan Land Use Diagram designates the site as Heavy Industrial and the Zoning Map designates the site as I (Industrial) which is consistent with the Land Use Element of the General Plan, and consistent with the standards for commercial zones development pursuant to the Visalia Municipal Code Title 17 (Zoning Ordinance) Chapter 17.22.

II. ENVIRONMENTAL IMPACTS

No significant adverse environmental impacts have been identified for this project. The City of Visalia General Plan and Zoning Ordinance contains policies and regulations that are designed to mitigate impacts to a level of non-significance.

III. MITIGATION MEASURES

There are no mitigation measures for this project. The City of Visalia Zoning Ordinance contains guidelines, criteria, and requirements for the mitigation of potential impacts related to light/glare, visibility screening, noise, and traffic/parking to eliminate and/or reduce potential impacts to a level of non-significance.

V. PROJECT COMPATIBILITY WITH EXISTING ZONES AND PLANS

The project is compatible with the General Plan and Zoning Ordinance as the project relates to surrounding properties.

VI. SUPPORTING DOCUMENTATION

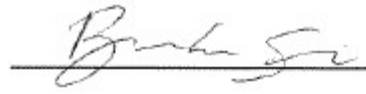
The following documents are hereby incorporated into this Negative Declaration and Initial Study by reference:

- Visalia General Plan Update. Dyett & Bhatia, October 2014.

- Visalia City Council Resolution No. 2014-38 (Certifying the Visalia General Plan Update), passed and adopted October 14, 2014.
- Visalia General Plan Update Final Environmental Impact Report (SCH No. 2010041078). Dyett & Bhatia, June 2014.
- Visalia General Plan Update Draft Environmental Impact Report (SCH No. 2010041078). Dyett & Bhatia, March 2014.
- Visalia City Council Resolution No. 2014-37 (Certifying the EIR for the Visalia General Plan Update), passed and adopted October 14, 2014.
- Visalia Municipal Code, including Title 17 (Zoning Ordinance).
- California Environmental Quality Act Guidelines.
- City of Visalia, California, Climate Action Plan, Draft Final. Strategic Energy Innovations, December 2013.
- Visalia City Council Resolution No. 2014-36 (Certifying the Visalia Climate Action Plan), passed and adopted October 14, 2014.
- City of Visalia Storm Water Master Plan. Boyle Engineering Corporation, September 1994.
- City of Visalia Sanitary Sewer Master Plan. City of Visalia, 1994.
- Tulare County Important Farmland 2014 Map. California Department of Conservation, 2014.
- Acoustical Analysis, Smokin' Barrel Indoor Shooting Range. WJV Acoustics, May29, 2025.

VII. NAME OF PERSON WHO PREPARED INITIAL STUDY



Josh Dan
Senior Planner

Brandon Smith
Environmental Coordinator

INITIAL STUDY ENVIRONMENTAL CHECKLIST

Name of Proposal	Conditional Use Permit No. 2025-18		
NAME OF PROPONENT:	Robert Gaalswyk, Smokin' Barrel Firearms	NAME OF AGENT:	Eric McConnaughey, EBM Design Group, Inc.
Address of Proponent:	4412 W. Ferguson Ave. Visalia, CA 93291	Address of Agent:	4412 W. Ferguson Ave. Visalia, CA 93291
Telephone Number:	559-732-9236	Telephone Number:	559-732-9236
Date of Review	July 29, 2025	Lead Agency:	City of Visalia

The following checklist is used to determine if the proposed project could potentially have a significant effect on the environment. Explanations and information regarding each question follow the checklist.

1 = No Impact 2 = Less Than Significant Impact
3 = Less Than Significant Impact with Mitigation Incorporated 4 = Potentially Significant Impact

I. AESTHETICS

Except as provided in Public Resources Code Section 21099, would the project:

- 1 a) Have a substantial adverse effect on a scenic vista?
- 1 b) Substantially damage scenic resources, including, but not limited to, trees, rock outcroppings, and historic buildings within a state scenic highway?
- 1 c) Substantially degrade the existing visual character or quality of public views of the site and its surroundings? (Public views are those that are experienced from publicly accessible vantage point). If the project is in an urbanized area, would the project conflict with applicable zoning and other regulations governing scenic quality?
- 1 d) Create a new source of substantial light or glare that would adversely affect day or nighttime views in the area?

II. AGRICULTURAL RESOURCES

In determining whether impacts to agricultural resources are significant environmental effects, lead agencies may refer to the California Agricultural Land Evaluation and Site Assessment Model (1997) prepared by the California Dept. of Conservation as an optional model to use in assessing impacts on agriculture and farmland. In determining whether impacts to forest resources, including timberland, are significant environmental effects, lead agencies may refer to information compiled by the California Department of Forestry and Fire Protection regarding the state's inventory of forest land, including the Forest and Range Assessment Project and the Forest Legacy Assessment project; and forest carbon measurement methodology provided in Forest Protocols adopted by the California Air Resources Board. Would the project:

- 1 a) Convert Prime Farmland, Unique Farmland, or Farmland of Statewide Importance, as shown on the maps prepared pursuant to the Farmland Mapping and Monitoring Program of the California Resources Agency to non-agricultural use?
- 1 b) Conflict with existing zoning for agricultural use, or a Williamson Act contract?
- 1 c) Conflict with existing zoning for, or cause rezoning of, forest land (as defined in Public Resources Code section 12220(g)), timberland (as defined by Public Resources Code section 4526), or timberland zoned Timberland Production (as defined by Government Code section 51104(g))?

- 1 d) Result in the loss of forest land or conversion of forest land to non-forest use?
- 1 e) Involve other changes in the existing environment which, due to their location or nature, could result in conversion of Farmland to nonagricultural use?

III. AIR QUALITY

Where available, the significance criteria established by the applicable air quality management or air pollution control district may be relied upon to make the following determinations. Would the project:

- 1 a) Conflict with or obstruct implementation of the applicable air quality plan?
- 2 b) Result in a cumulatively considerable net increase of any criteria pollutant for which the project region is non-attainment under applicable federal or state ambient air quality standard?
- 1 c) Expose sensitive receptors to substantial pollutant concentrations?
- 1 d) Result in other emissions, such as those leading to odors adversely affecting a substantial number of people?

IV. BIOLOGICAL RESOURCES

Would the project:

- 1 a) Have a substantial adverse effect, either directly or through habitat modifications, on any species identified as a candidate, sensitive, or special status species in local or regional plans, policies, or regulations, or by the California Department of Fish and Game or U.S. Fish and Wildlife Service?
- 1 b) Have a substantial adverse effect on any riparian habitat or other sensitive natural community identified in local or regional plans, policies, regulations, or by the California Department of Fish and Game or U.S. Fish and Wildlife Service?
- 1 c) Have a substantial adverse effect on federally protected wetlands (including but not limited to, marsh, vernal pool, coastal, etc.) through direct removal, filling, hydrological interruption, or other means?
- 1 d) Interfere substantially with the movement of any native resident or migratory fish or wildlife species or with established native resident or migratory wildlife corridors, or impede the use of native wildlife nursery sites?

- 1 e) Conflict with any local policies or ordinances protecting biological resources, such as a tree preservation policy or ordinance?
- 1 f) Conflict with the provisions of an adopted Habitat Conservation Plan, Natural Community Conservation Plan, or other approved local, regional, or state habitat conservation plan?

V. CULTURAL RESOURCES

Would the project:

- 1 a) Cause a substantial adverse change in the significance of a historical resource pursuant to Public Resources Code Section 15064.5?
- 1 b) Cause a substantial adverse change in the significance of an archaeological resource pursuant to Public Resources Code Section 15064.5?
- 1 c) Disturb any human remains, including those interred outside of formal cemeteries?

VI. ENERGY

Would the project:

- 2 a) Result in potentially significant environmental impact due to wasteful, inefficient, or unnecessary consumption of energy resources, during project construction or operation?
- 2 b) Conflict with or obstruct a state or local plan for renewable energy or energy efficiency?

VII. GEOLOGY AND SOILS

Would the project:

- a) Directly or indirectly cause potential substantial adverse effects, including the risk of loss, injury, or death involving:
 - 1 i) Rupture of a known earthquake fault, as delineated on the most recent Alquist-Priolo Earthquake Fault Zoning Map issued by the State Geologist for the area or based on other substantial evidence of a known fault? Refer to Division of Mines and Geology Special Publication 42.
 - 1 ii) Strong seismic ground shaking?
 - 1 iii) Seismic-related ground failure, including liquefaction?
 - 1 iv) Landslides?
- 1 b) Result in substantial soil erosion or loss of topsoil?
- 1 c) Be located on a geologic unit or soil that is unstable, or that would become unstable as a result of the project, and potentially result in on- or off-site landslide, lateral spreading, subsidence, liquefaction, or collapse?
- 1 d) Be located on expansive soil, as defined in Table 18-1-B of the Uniform Building Code (1994), creating substantial risks to life or property?
- 1 e) Have soils incapable of adequately supporting the use of septic tanks or alternative wastewater disposal systems where sewers are not available for the disposal of wastewater?
- 1 f) Directly or indirectly destroy a unique paleontological resource or site or unique geologic feature?

VIII. GREENHOUSE GAS EMISSIONS

Would the project:

- 1 a) Generate greenhouse gas emissions, either directly or indirectly, that may have a significant impact on the environment?

- 2 b) Conflict with an applicable plan, policy, or regulation adopted for the purpose of reducing the emissions of greenhouse gases?

IX. HAZARDS AND HAZARDOUS MATERIALS

Would the project:

- 1 a) Create a significant hazard to the public or the environment through the routine transport, use, or disposal of hazardous materials?
- 1 b) Create a significant hazard to the public or the environment through reasonably foreseeable upset and accident conditions involving the release of hazardous materials into the environment?
- 1 c) Emit hazardous emissions or handle hazardous or acutely hazardous materials, substances, or waste within one-quarter mile of an existing or proposed school?
- 1 d) Be located on a site which is included on a list of hazardous materials sites compiled pursuant to Government Code section 65962.5 and, as a result, would it create a significant hazard to the public or the environment?
- 1 e) For a project located within an airport land use plan or, where such a plan has not been adopted, within two miles of a public airport or public use airport, would the project result in a safety hazard for people residing or working in the project area?
- 1 f) Impair implementation of or physically interfere with an adopted emergency response plan or emergency evacuation plan?
- 1 g) Expose people or structures, either directly or indirectly, to a significant risk of loss, injury or death involving wildland fires?

X. HYDROLOGY AND WATER QUALITY

Would the project:

- 1 a) Violate any water quality standards of waste discharge requirements or otherwise substantially degrade surface or groundwater quality?
- 1 b) Substantially decrease groundwater supplies or interfere substantially with groundwater recharge such that the project may impede sustainable groundwater management of the basin?
- 1 c) Substantially alter the existing drainage pattern of the site or area, including through the alteration of the course of a stream or river or through the addition of impervious surfaces, in a manner which would:
 - 1 i) result in substantial erosion or siltation on- or off-site;
 - 1 ii) substantially increase the rate or amount of surface runoff in a manner which would result in flooding on- or offsite; or
 - 1 iii) create or contribute runoff water which would exceed the capacity of existing or planned stormwater drainage systems or provide substantial additional sources of polluted runoff?
- 2 d) In flood hazard, tsunami, or seiche zones, risk release of pollutants due to project inundation?
- 2 e) Conflict with or obstruct implementation of a water quality control plan or sustainable groundwater management plan?

XI. LAND USE AND PLANNING

Would the project:

- 1 a) Physically divide an established community?

- 1 b) Cause a significant environmental impact due to a conflict with any land use plan, policy, or regulation adopted for the purpose of avoiding or mitigating an environmental effect?

XII. MINERAL RESOURCES

Would the project:

- 1 a) Result in the loss of availability of a known mineral resource that would be of value to the region and the residents of the state?
- 1 b) Result in the loss of availability of a locally-important mineral resource recovery site delineated on a local general plan, specific plan or other land use plan?

XIII. NOISE

Would the project result in:

- 2 a) Generation of a substantial temporary or permanent increase in ambient noise levels in the vicinity of the project in excess of standards established in the local general plan or noise ordinance, or applicable standards of other agencies?
- 1 b) Generation of excessive groundborne vibration or groundborne noise levels?
- 1 c) For a project located within the vicinity of a private airstrip or an airport land use plan or, where such a plan has not been adopted, within two miles of a public airport or public use airport, would the project expose people residing or working in the project area to excessive noise levels?

XIV. POPULATION AND HOUSING

Would the project:

- 1 a) Induce substantial unplanned population growth in an area, either directly (for example, by proposing new homes and businesses) or indirectly (for example, through extension of roads or other infrastructure)?
- 1 b) Displace substantial numbers of existing people or housing, necessitating the construction of replacement housing elsewhere?

XV. PUBLIC SERVICES

Would the project:

- 1 a) Would the project result in substantial adverse physical impacts associated with the provision of new or physically altered governmental facilities, need for new or physically altered governmental facilities, the construction of which could cause significant environmental impacts, in order to maintain acceptable service ratios, response times or other performance objectives for any of the public services:
- 1 i) Fire protection?
- 1 ii) Police protection?
- 1 iii) Schools?
- 1 iv) Parks?
- 1 v) Other public facilities?

XVI. RECREATION

Would the project:

- 1 a) Would the project increase the use of existing neighborhood and regional parks or other recreational facilities such that substantial physical deterioration of the facility would occur or be accelerated?

- 1 b) Does the project include recreational facilities or require the construction or expansion of recreational facilities which might have an adverse physical effect on the environment?

XVII. TRANSPORTATION / TRAFFIC

Would the project:

- 1 a) Conflict with a program, plan, ordinance or policy addressing the circulation system, including transit, roadway, bicycle and pedestrian facilities?
- 2 b) Would the project conflict or be inconsistent with CEQA Guidelines section 15064.3, subdivision (b)?
- 1 c) Substantially increase hazards due to a geometric design feature (e.g., sharp curves or dangerous intersections) or incompatible uses (e.g., farm equipment)?
- 1 d) Result in inadequate emergency access?

XVIII. TRIBAL CULTURAL RESOURCES

Would the project cause a substantial adverse change in the significance of a tribal cultural resource, defined in Public Resources Code section 21074 as either a site, feature, place, cultural landscape that is geographically defined in terms of the size and scope of the landscape, sacred place, or object with cultural value to a California Native American tribe, and that is:

- 1 a) Listed or eligible for listing in the California Register of Historical Resources, or in a local register of historical resources as defined in Public Resources Code section 5020.1(k), or
- 1 b) A resource determined by the lead agency, in its discretion and supported by substantial evidence, to be significant pursuant to criteria set forth in subdivision (c) of Public Resources Code Section 5024.1. In applying the criteria set forth in subdivision (c) of Public Resources Code Section 5024.1, the lead agency shall consider the significance of the resource to a California Native American tribe.

XIX. UTILITIES AND SERVICE SYSTEMS

Would the project:

- 1 a) Require or result in the relocation or construction of new or expanded water, wastewater treatment or stormwater drainage, electric power, natural gas, or telecommunications facilities, the construction or relocation of which could cause significant environmental effects?
- 1 b) Have sufficient water supplies available to service the project and reasonable foreseeable future development during normal, dry, and multiple dry years?
- 1 c) Result in a determination by the wastewater treatment provider which serves or may serve the project that it has adequate capacity to serve the project's projected demand in addition to the provider's existing commitments?
- 1 d) Generate solid waste in excess of State or local standards, or in excess of the capacity of local infrastructure, or otherwise impair the attainment of solid waste reduction goals?
- 1 e) Comply with federal, state, and local management and reduction statutes and regulations related to solid waste?

XX. WILDFIRE

If located in or near state responsibility areas or lands classified as very high fire hazard severity zones, would the project:

- 1 a) Substantially impair an adopted emergency response plan or emergency evacuation plan?

- 1 b) Due to slope, prevailing winds, and other factors, exacerbate wildfire risks, and thereby expose project occupants to, pollutant concentrations from a wildfire or the uncontrolled spread of a wildfire?
- 1 c) Require the installation or maintenance of associated infrastructure (such as roads, fuel breaks, emergency water sources, power lines or other utilities) that may exacerbate fire risk or that may result in temporary or ongoing impacts to the environment?
- 1 d) Expose people or structures to significant risks, including downslope or downstream flooding or landslides, as a result of runoff, post-fire slope instability, or drainage changes?

XXI. MANDATORY FINDINGS OF SIGNIFICANCE

Would the project:

- 2 a) Does the project have the potential to substantially degrade the quality of the environment, substantially reduce the habitat of a fish or wildlife species, cause a fish or wildlife population to drop below self-sustaining levels, threaten to eliminate a plant or animal community, substantially reduce the number or restrict the range of a rare or endangered plant or animal or eliminate important examples of the major periods of California history or prehistory?
- 2 b) Does the project have impacts that are individually limited, but cumulatively considerable? ("Cumulatively considerable" means that the incremental effects of a project are considerable when viewed in connection with the effects of past projects, the effects of other current projects, and the effects of probable future projects)?
- 2 c) Does the project have environmental effects which will cause substantial adverse effects on human beings, either directly or indirectly?

Note: Authority cited: Sections 21083 and 21083.05, Public Resources Code. Reference: Section 65088.4, Gov. Code; Sections 21080(c), 21080.1, 21080.3, 21083, 21083.05, 21083.3, 21093, 21094, 21095, and 21151, Public Resources Code; *Sundstrom v. County of Mendocino*, (1988) 202 Cal.App.3d 296; *Leonoff v. Monterey Board of Supervisors*, (1990) 222 Cal.App.3d 1337; *Eureka Citizens for Responsible Govt. v. City of Eureka* (2007) 147 Cal.App.4th 357; *Protect the Historic Amador Waterways v. Amador Water Agency* (2004) 116 Cal.App.4th at 1109; *San Franciscans Upholding the Downtown Plan v. City and County of San Francisco* (2002) 102 Cal.App.4th 656.

Revised 2019

Authority: Public Resources Code sections 21083 and 21083.09

Reference: Public Resources Code sections 21073, 21074, 21080.3.1, 21080.3.2, 21082.3/ 21084.2 and 21084.3

DISCUSSION OF ENVIRONMENTAL EVALUATION

I. AESTHETICS

- a. The proposed project will consist of the interior remodel of an existing approximately 20,000 square foot industrial building which already meets City standards for setbacks, landscaping and height restrictions.

This project will not adversely affect the view of any scenic vistas. The Sierra Nevada mountain range may be considered a scenic vista and the view will not be adversely impacted by the project.

- b. There are no scenic resources on the site.
- c. The proposed project includes the interior remodeling of an existing approximately 20,000 square foot industrial building that is already aesthetically consistent with surrounding industrial development and with policies in the General Plan. Furthermore, the proposal already complies with the City's development standards related to landscaping and other amenities that will ensure the visual character of the area is enhanced and not degraded. Thus, the project would not substantially degrade the existing visual character of the site and its surroundings.
- d. The project will utilize existing light sources that are compliant with city standards and typical of industrial facilities. The existing facility is compliant with the City's development standards that require that light be directed and/or shielded so it does not fall upon adjacent properties.

There are no changes proposed to alter the existing, compliant exterior light.

II. AGRICULTURAL RESOURCES

- a. The project is located on property that is identified as Urban and Built Up Land based on maps prepared by the California Department of Conservation and contained within the Visalia General Plan, Figure 6-4.

The Visalia General Plan Update Environmental Impact Report (EIR) has already considered the environmental impacts of the conversion of properties within the Planning Area into non-agriculture uses. Overall, the General Plan results in the conversion of over 14,000 acres of Important Farmland to urban uses, which is considered significant and unavoidable. Aside from preventing development altogether the conversion of Important Farmland to urban uses cannot be directly mitigated, through the use of agricultural conservation easements or by other means. However, the General Plan contains multiple policies that together work to limit conversion only to the extent needed to accommodate long-term growth. The General Plan policies identified under Impact 3.5-1 of the EIR serve as the mitigation that assists in reducing the severity of the impact to the extent possible while still achieving the General Plan's goals of accommodating a certain amount of growth to occur within the Planning Area. These policies include the implementation of a three-tier growth boundary system that assists in protecting open space

around the City fringe and maintaining compact development within the City limits.

- b. The project site is not zoned for agricultural use. The project is bordered by urban development or non-producing vacant land on all sides. There are no known Williamson Act contracts on any properties within the project area.
- c. There is no forest or timber land currently located on the site.
- d. There is no forest or timber land currently located on the site.
- e. The project will not involve any changes that would promote or result in the conversion of farmland to non-agriculture use. The subject property is currently designated for an urban rather than agricultural land use. Properties that are vacant may develop in a way that is consistent with their zoning and land use designated at any time. The adopted Visalia General Plan's implementation of a three-tier growth boundary system further assists in protecting open space around the City fringe to ensure that premature conversion of farmland to non-agricultural uses does not occur.

III. AIR QUALITY

- a. The project site is located in an area that is under the jurisdiction of the San Joaquin Valley Air Pollution Control District (SJVAPCD). The project in itself does not disrupt implementation of the San Joaquin Regional Air Quality Management Plan, and will therefore be a less than significant impact.
- b. Development under the Visalia General Plan will result in emissions that will exceed thresholds established by the SJVAPCD for PM10 and PM2.5. The project will contribute to a net increase of criteria pollutants and will therefore contribute to exceeding the thresholds. Also the project could result in short-term air quality impacts related to dust generation and exhaust due to construction activities. This site was evaluated in the Visalia General Plan Update EIR for conversion into urban development. Development under the General Plan will result in increases of construction and operation-related criteria pollutant impacts, which are considered significant and unavoidable. General Plan policies identified under Impacts 3.3-1 and 3.3-2 serve as the mitigation which assists in reducing the severity of the impact to the extent possible while still achieving the General Plan's goals of accommodating a certain amount of growth to occur within the Planning Area.

The project is required to adhere to requirements administered by the SJVAPCD to reduce emissions to a level of compliance consistent with the District's grading regulations. Compliance with the SJVAPCD's rules and regulations will reduce potential impacts associated with air quality standard violations to a less than significant level.

In addition, development of the project will be subject to the SJVAPCD Indirect Source Review (Rule 9510) procedures that became effective on March 1, 2006. The Applicant will be required to obtain permits demonstrating compliance with Rule 9510, or payment of mitigation fees to the SJVAPCD.

- c. Tulare County is designated non-attainment for certain federal ozone and state ozone levels. The project will result in a net increase of criteria pollutants. This site was evaluated in the Visalia General Plan Update EIR for conversion into urban development. Development under the General Plan will result in increases of construction and operation-related criteria pollutant impacts, which are considered significant and unavoidable. General Plan policies identified under Impacts 3.3-1, 3.3-2, and 3.3-3 serve as the mitigation which assists in reducing the severity of the impact to the extent possible while still achieving the General Plan's goals of accommodating a certain amount of growth to occur within the Planning Area.

The project is required to adhere to requirements administered by the SJVAPCD to reduce emissions to a level of compliance consistent with the District's regulations. Compliance with the SJVAPCD's rules and regulations will reduce potential impacts associated with air quality standard violations to a less than significant level.

In addition, any demolition to portions of the interior of the existing structure the project will be subject to the SJVAPCD Indirect Source Review (Rule 9510) procedures that became effective on March 1, 2006. The Applicant will be required to obtain permits demonstrating compliance with Rule 9510, or payment of mitigation fees to the SJVAPCD.

- d. The proposed project will not involve the generation of objectionable odors that would affect a substantial number of people.

IV. BIOLOGICAL RESOURCES

- a. The site is already developed and has no known species identified as a candidate, sensitive, or special status species in local or regional plans, policies, or regulations, or by the California Department of Fish and Game or U.S. Fish and Wildlife Service. The project would therefore not have a substantial adverse effect on a sensitive, candidate, or special species.

In addition, staff had conducted an on-site visit to the site in June 2025 to observe biological conditions and did not observe any evidence or symptoms that would suggest the presence of a sensitive, candidate, or special species.

City-wide biological resources were evaluated in the Visalia General Plan Update Environmental Impact Report (EIR). The EIR concluded that certain special-status species or their habitats may be directly or indirectly affected by future development within the General Plan Planning Area. This may be through the removal of or disturbance to habitat. Such effects would be considered significant. However, the General Plan contains multiple policies, identified under Impact 3.8-1 of the EIR, that together work to reduce the potential for impacts on special-status species likely to occur in the Planning Area. With implementation of these policies, impacts on special-

status species will be less than significant.

- b. The project is not located within or adjacent to an identified sensitive riparian habitat or other natural community.

City-wide biological resources were evaluated in the Visalia General Plan Update Environmental Impact Report (EIR). The EIR concluded that certain sensitive natural communities may be directly or indirectly affected by future development within the General Plan Planning Area, particularly valley oak woodlands and valley oak riparian woodlands. Such effects would be considered significant. However, the General Plan contains multiple policies, identified under Impact 3.8-2 of the EIR, that together work to reduce the potential for impacts on woodlands located within in the Planning Area. With implementation of these policies, impacts on woodlands will be less than significant.

- c. The project is not located within or adjacent to federally protected wetlands as defined by Section 404 of the Clean Water Act.

City-wide biological resources were evaluated in the Visalia General Plan Update Environmental Impact Report (EIR). The EIR concluded that certain protected wetlands and other waters may be directly or indirectly affected by future development within the General Plan Planning Area. Such effects would be considered significant. However, the General Plan contains multiple policies, identified under Impact 3.8-3 of the EIR, that together work to reduce the potential for impacts on wetlands and other waters located within in the Planning Area. With implementation of these policies, impacts on wetlands will be less than significant.

- d. City-wide biological resources were evaluated in the Visalia General Plan Update Environmental Impact Report (EIR). The EIR concluded that the movement of wildlife species may be directly or indirectly affected by future development within the General Plan Planning. Such effects would be considered significant. However, the General Plan contains multiple policies, identified under Impact 3.8-4 of the EIR, that together work to reduce the potential for impacts on wildlife movement corridors located within in the Planning Area. With implementation of these policies, impacts on wildlife movement corridors will be less than significant.
- e. The project will not conflict with any local policies or ordinances protecting biological resources. The City has a municipal ordinance in place to protect valley oak trees; however no oak trees exist on the site.
- f. There are no local or regional habitat conservation plans for the area.

V. CULTURAL RESOURCES

- a. There are no known historical resources located within the project area. If some potentially historical or cultural resource is unearthed during development all work should cease until a qualified professional archaeologist can evaluate the finding and make necessary mitigation recommendations.
- b. There are no known archaeological resources located within the project area. If some archaeological resource is unearthed during development all work should cease until

a qualified professional archaeologist can evaluate the finding and make necessary mitigation recommendations.

- c. There are no known human remains buried in the project vicinity. If human remains are unearthed during development all work should cease until the proper authorities are notified and a qualified professional archaeologist can evaluate the finding and make any necessary mitigation recommendations. In the event that potentially significant cultural resources are discovered during ground disturbing activities associated with project preparation, construction, or completion, work shall halt in that area until a qualified Native American tribal observer, archeologist, or paleontologist can assess the significance of the find, and, if necessary, develop appropriate treatment measures in consultation with Tulare County Museum, Coroner, and other appropriate agencies and interested parties.

VI. ENERGY

- a. Remodeling the existing structure's interior will require the use of energy supply and infrastructure. However, the use of energy will be typical of that associated with renovation to industrial office and warehouse space associated with the underlying zoning. Furthermore, the use is not considered the type of use or intensity that would result in wasteful, inefficient, or unnecessary consumption of energy resources during renovation or operation. The project will be required to comply with California Building Code Title 24 standards for energy efficiency.

Policies identified under Impacts 3.4-1 and 3.4-2 of the EIR will reduce any potential impacts to a less than significant level. With implementation of these policies and the existing City standards, impacts to energy will be less than significant.

- b. The project will not conflict with or obstruct a state or local plan for renewable energy or energy efficiency, based on the discussion above.

VII. GEOLOGY AND SOILS

- a. The State Geologist has not issued an Alquist-Priolo Earthquake Fault Map for Tulare County. The project area is not located on or near any known earthquake fault lines. Therefore, the project will not expose people or structures to potential substantial adverse impacts involving earthquakes.
- b. The proposed renovation to the interior of the existing facility will not require movement of topsoil.
- c. The project area is already fully improved, and the request does not identify any proposed movement of soils. Furthermore, the site is relatively flat and the underlying soil is not known to be unstable. Soils in the Visalia area have few limitations with regard to development. Due to low clay content and limited topographic relief, soils in the Visalia area have low expansion characteristics.
- d. Due to low clay content, soils in the Visalia area have an expansion index of 0-20, which is defined as very low potential expansion.
- e. The project does not involve the use of septic tanks or alternative waste water disposal systems since sanitary sewer lines are used for the disposal of waste water at this location.

- f. There are no known unique paleontological resources or geologic features located within the project area. In the event that potentially significant cultural resources are discovered during ground disturbing activities associated with project preparation, construction, or completion, work shall halt in that area until a qualified Native American tribal observer, archeologist, or paleontologist can assess the significance of the find, and, if necessary, develop appropriate treatment measures in consultation with Tulare County Museum, Coroner, and other appropriate agencies and interested parties.

VIII. GREENHOUSE GAS EMISSIONS

- a. The project is expected to generate Greenhouse Gas (GHG) emissions in the short-term as a result of the renovation of the existing industrial building and long-term as a result of day-to-day operation of the proposed business.

The City has prepared and adopted a Climate Action Plan (CAP) which includes a baseline GHG emissions inventories, reduction measures, and reduction targets consistent with local and State goals. The CAP was prepared concurrently with the proposed General Plan and its impacts are also evaluated in the Visalia General Plan Update EIR.

The Visalia General Plan and the CAP both include policies that aim to reduce the level of GHG emissions emitted in association with buildout conditions under the General Plan. Although emissions will be generated as a result of the project, implementation of the General Plan and CAP policies will result in fewer emissions than would be associated with a continuation of baseline conditions. Thus, the impact to GHG emissions will be less than significant.

- b. The State of California has enacted the Global Warming Solutions Act of 2006 (AB 32), which included provisions for reducing the GHG emission levels to 1990 baseline levels by 2020 and to a level 80% below 1990 baseline levels by 2050. In addition, the State has enacted SB 32 which included provisions for reducing the GHG emission levels to a level 40% below 1990 baseline levels by 2030.

The proposed project will not impede the State's ability to meet the GHG emission reduction targets under AB 32 and SB 32. Current and probable future state and local GHG reduction measures will continue to reduce the project's contribution to climate change. As a result, the project will not contribute significantly, either individually or cumulatively, to GHG emissions.

IX. HAZARDS AND HAZARDOUS MATERIALS

- a. No hazardous materials are anticipated with the project.
- b. Construction activities associated with interior renovation of the existing facility may include maintenance of on-site construction equipment which could lead to minor fuel and oil spills. The use and handling of any hazardous materials during construction activities would occur in accordance with applicable federal, state, regional, and local laws. Therefore, impacts are considered to be less than significant.
- c. There is one school located within 1.89 miles of the project site. The school is located 1.89 miles northeast of the project site (Denton Elementary). Notwithstanding,

there is no reasonably foreseeable condition or incident involving the project that could affect the site.

- d. The project area does not include any sites listed as hazardous materials sites pursuant to Government Code Section 65692.5.
- e. The Airport Master Plans adopted by City of Visalia and County of Tulare show the project area is located outside of any Airport Zones. There are no restrictions for the proposed project related to Airport Zone requirements.

The project area is located within two miles of a public airport. At 0.78-miles north of the Visalia Municipal Airport.

- f. The project will not interfere with the implementation of any adopted emergency response plan or evacuation plan.
- g. There are no wild lands within or near the project area.

X. HYDROLOGY AND WATER QUALITY

- a. Development projects associated with buildout under the Visalia General Plan are subject to regulations which serve to ensure that such projects do not violate water quality standards of waste discharge requirements. These regulations include the Federal Clean Water Act (CWA), the National Pollutant Discharge Elimination System (NPDES) permit program. State regulations include the State Water Resources Control Board (SWRCB) and more specifically the Central Valley Regional Water Quality Control Board (RWQCB), of which the project site area falls within the jurisdiction of.

Adherence to these regulations results in projects incorporating measures that reduce pollutants. The project will be required to adhere to municipal waste water requirements set by the Central Valley RWQCB and any permits issued by the agency.

Furthermore, there are no reasonably foreseeable reasons why the project would result in the degradation of water quality.

The Visalia General Plan contains multiple policies, identified under Impact 3.6-2 and 3.9-3 of the EIR, that together work to reduce the potential for impacts to water quality. With implementation of these policies and the existing City standards, impacts to water quality will be less than significant.

- b. The project area overlies the southern portion of the San Joaquin unit of the Central Valley groundwater aquifer. The project will result in an increase of impervious surfaces on the project site, which might affect the amount of precipitation that is recharged to the aquifer. However, as the City of Visalia is already largely developed and covered by impervious surfaces, the increase of impervious surfaces through this project will be small by comparison. The project therefore might affect the amount of precipitation that is recharged to the aquifer. The City of Visalia's water conservation measures and explorations for surface water use over groundwater extraction will assist in offsetting the loss in groundwater recharge.
- c.
 - i. The development of this site will require movement of topsoil. Existing City Engineering Division standards require that a grading and drainage plan be submitted

for review to the City to ensure that off- and on-site improvements will be designed to meet City standards.

- ii. Development of the site is not expected to produce additional impervious surfaces. However, connection of the site to storm water drainage facilities that already exist in adjacent roadways will reduce any potential impacts to a less than significant level.

Policies identified under Impact 3.6-2 of the EIR will reduce any potential impacts to a less than significant level. With implementation of these policies and the existing City standards, impacts to groundwater supplies will be less than significant.

- iii. Development of the site is not expected to create additional impervious surfaces. However, connection of the site to storm water drainage facilities that already exist in adjacent roadways will reduce any potential impacts to a less than significant level.

Policies identified under Impact 3.6-2 of the EIR will reduce any potential impacts to a less than significant level. With implementation of these policies and the existing City standards, impacts to groundwater supplies will be less than significant.

Existing storm water mains are site adjacent and the applicant will be draining to service. Furthermore, the project will be required to meet the City's improvement standards for directing storm water runoff to the City's storm water drainage system consistent with the City's adopted City Storm Drain Master Plan. These improvements will not cause significant environmental impacts.

- d. The project area is located sufficiently inland and distant from bodies of water, and outside potentially hazardous areas for seiches and tsunamis. The site is also relatively flat, which will contribute to the lack of impacts by mudflow occurrence. Therefore, there will be no impact related to these hazards.
- e. Development of the site has the potential to affect drainage patterns in the short term due to erosion and sedimentation during construction activities and in the long term through the expansion of impervious surfaces. Impaired storm water runoff may then be intercepted and directed to a storm drain or water body, unless allowed to stand in a detention area. The City's existing standards may require the preparation and implementation of a Storm Water Pollution Prevention Plan (SWPPP) in accordance with the SWRCB's General Construction Permit process, which would address erosion control measures.

The Visalia General Plan contains multiple policies, identified under Impact 3.6-1 of the EIR, that together work to reduce the potential for erosion. With implementation of these policies and the existing City standards, impacts to erosion will be less than significant.

XI. LAND USE AND PLANNING

- a. The project will not physically divide an established community. The proposed project is to be developed on a 1.31-acre site and on land designated for Industrial uses and development. The project site is surrounded by urban development and is located within the Visalia Industrial

Park, bordered by the N. Nevada Street roadway to the west. Half of the parcel is already improved with a parking field lot, landscaping, and trellis features over pedestrian pathways.

- b. The project site is within the City of Visalia's Tier I Urban Development Boundary as implemented by the City General Plan. Development of lands in Tier I may occur at any time.

The proposed project is consistent with Land Use Policy LU-P-19 of the General Plan. Policy LU-P-19 states: "Ensure that growth occurs in a compact and concentric fashion by implementing the General Plan's phased growth strategy."

The proposed project at the existing facility will be consistent with the Land Use Element of the General Plan, and consistent with the standards for Industrial development pursuant to the Visalia Municipal Code Title 17 (Zoning Ordinance) Chapter 17.18.

The project as a whole does not conflict with any land use plan, policy or regulation of the City of Visalia. The site contains a General Plan Land Use Designation of Heavy Industrial and a Zoning Designation of I (Industrial). The City of Visalia's Zoning Ordinance conditionally permits indoor rifle and pistol ranges.

The Visalia General Plan contains multiple policies, identified under Impact 3.1-2 of the EIR, that together work to reduce the potential for impacts to the development of land as designated by the General Plan. With implementation of these policies and the existing City standards, impacts to land use development consistent with the General Plan will be less than significant.

The project does not conflict with any applicable habitat conservation plan or natural community conservation plan as it is located on a vacant dirt lot with no significant natural habitat present.

XII. MINERAL RESOURCES

- a. No mineral areas of regional or statewide importance exist within the Visalia area.
- b. There are no mineral resource recovery sites delineated in the Visalia area.

XIII. NOISE

- a. The project will result in noise generation typical of urban development. The Visalia Noise Element and City Ordinance contain criterion for acceptable noise levels inside and outside residential living spaces. This standard is 65 dB DNL for outdoor activity areas associated with residences and 45 dB DNL for indoor areas.

An Acoustical Analysis was prepared for the proposed project, Acoustical Analysis, Smokin' Barrel Indoor Shooting Range N. Nevada Street, prepared by WJV Acoustics, Inc., May 29, 2025. The purpose of the study was to determine if noise levels associated with the project will comply with the City's applicable noise level standards. The acoustical analysis is intended to determine project-related noise levels for all aspects of the proposed project.

The analysis concluded that noise levels associated with the proposed indoor shooting range operations would be

expected to exceed the City's exterior noise level standard of 65dB. The applicant has identified that the proposed interior renovation to the existing industrial building will show compliance with the city's noise standards, subject to shooting range construction methodology which includes construction of an 8-inch concrete grouted CMU block walls built within the existing insulated metal building. The acoustical analysis identified that based upon the loudest measured noise levels at the Ragne Pistol Club (66-68 dB at a distance of five feet), WJVA calculated estimate project-related noise levels to be in the range of approximately 40-48 dB at the adjacent industrial land uses.

Noise levels will increase temporarily during the construction of the project but shall remain within the limits defined by the City of Visalia Noise Ordinance. Temporary increase in ambient noise levels is considered to be less than significant.

- b. Ground-borne vibration or ground-borne noise levels may occur as part of construction activities associated with the project. Construction activities will be temporary and will not expose persons to such vibration or noise levels for an extended period of time; thus the impacts will be less than significant. There are no existing uses near the project area that create ground-borne vibration or ground-borne noise levels.
- c. The project area is located within two miles from a public airport. The project will not expose people residing or working in the project area to excessive noise levels resulting from aircraft operations.

XIV. POPULATION AND HOUSING

- a. The project will not directly induce substantial unplanned population growth that is in excess of that planned in the General Plan.
- b. Development of the site will not displace any housing or people on the site. The area being developed is currently vacant land.

XV. PUBLIC SERVICES

- a.
 - i. Current fire protection facilities are located at the Visalia Station 55, located approximately 1.80-mile northeast of the property, and can adequately serve the site without a need for alteration. Impact fees will be paid to mitigate the project's proportionate impact on these facilities.
 - ii. Current police protection facilities can adequately serve the site without a need for alteration. Impact fees will be paid to mitigate the project's proportionate impact on these facilities.
 - iii. The project will not generate new students for which existing schools in the area may accommodate.
 - iv. Current park facilities can adequately serve the site without a need for alteration. Impact fees will be paid to mitigate the project's proportionate impact on these facilities.
 - v. Other public facilities can adequately serve the site without a need for alteration.

XVI. RECREATION

- a. The proposed project does not include recreational facilities or require the construction or expansion of recreational facilities within the area that might have an adverse physical effect on the environment. The project will not increase the use of existing neighborhood and regional parks as no residential uses are proposed.
- b. The proposed project does not include recreational facilities or require the construction or expansion of recreational facilities within the area that might have an adverse physical effect on the environment.

XVII. TRANSPORTATION AND TRAFFIC

- a. Development and operation of the project is not anticipated to conflict with applicable plans, ordinances, or policies establishing measures of effectiveness of the City's circulation system. The project will result in an increase in traffic levels on local roadways, although the City of Visalia's Circulation Element has been prepared to address this increase in traffic.
- b. Development of the site will result in increased traffic in the area, but will not cause a substantial increase in traffic on the city's existing circulation pattern.

The City of Visalia, in determining the significance of transportation impacts for land use projects, recognizes the adopted City of Visalia Vehicle Miles Travelled (VMT) Thresholds and Implementation Guidelines ("Guidelines") recommended threshold as the basis for what constitutes a significant or less than significant transportation impact. The Guidelines recommend a 16% reduction target based on the Greenhouse Gas emission reduction target for 2035 for the Tulare County region set by the SB 375 Regional Plan Climate Target. Therefore, projects exceeding 16% below the existing VMT per capita is indicative of a significant environmental impact.

For the metric measuring VMT per trip distance, a map of the City of Visalia, produced by Tulare County Association of Governments (TCAG), provides areas with 84% or less average VMT per trip distance, or 16% below the regional average. In the subject site's TAZ, the current average trip distance experienced is 14.7537 miles, which is above the average county-wide trip distance of 11.9 miles and the 16% target reduction of 9.76 miles.

However, the project site consists of an existing industrial office and warehouse within the Visalia Industrial Park. The proposed shooting range is expected to be a lesser trip generator than the previous industrial distribution use by having only 12 employees (eight fulltime and four part-time) and 19 shooting lanes. Based on operational descriptions provided by the applicant, the use is not expected to generate more than 350 trips daily. Under the Guidelines, the project is screened out from creating a significant impact since the project will generate less than 1,000 trips daily and is consistent with the City's General Plan and current zoning. As proposed, the project is consistent with the General Plan and will comply with Chapter 17.22 Industrial Zones development standards. Hence, the proposal is screened out of performing a VMT analysis and the project will have a less than significant impact with regards to compliance with CEQA Guidelines section 15064.3, subdivision (b). The Technical Advisory further states that lead agencies may screen out VMT

impacts using maps created with VMT data from a traffic demand model.

- c. There are no planned geometric designs associated with the project that are considered hazardous.
- d. The project will not result in inadequate emergency access.

XVIII. TRIBAL CULTURAL RESOURCES

The proposed project would not cause a substantial adverse change in the significance of a tribal cultural resource, defined in Public Resources Code section 21074 as either a site, feature, place, cultural landscape that is geographically defined in terms of the size and scope of the landscape, sacred place, or object with cultural value to a California Native American tribe.

- a. The site is not listed or eligible for listing in the California Register of Historical Resources, or in a local register of historical resources as defined in Public Resources Code section 5020.1(k).
- b. The site has been determined to not be significant pursuant to criteria set forth in subdivision (c) of Public Resources Code Section 5024.1. In applying the criteria set forth in subdivision (c) of Public Resource Code Section 5024.1, the lead agency shall consider the significance of the resource to a California Native American tribe.

Pre-consultations letters were sent to local tribes in accordance with AB 52, providing tribes a 30-day early review period. Staff did not receive correspondence from Tribes.

Further, the EIR (SCH 2010041078) for the 2014 General Plan update included a thorough review of sacred lands files through the California Native American Heritage Commission. The sacred lands file did not contain any known cultural resources information for the Visalia Planning Area.

XIX. UTILITIES AND SERVICE SYSTEMS

- a. The project will be connecting to existing City sanitary sewer lines, consistent with the City Sewer Master Plan. The Visalia wastewater treatment plant has a current rated capacity of 22 million gallons per day, but currently treats an average daily maximum month flow of 12.5 million gallons per day. With the completed project, the plant has more than sufficient capacity to accommodate impacts associated with the proposed project. The proposed project will therefore not cause significant environmental impacts.

Existing sanitary sewer and storm water mains are on site and the applicant will be connecting to services. Usage of these lines is consistent with the City Sewer System Master Plan and Storm Water Master Plan. These improvements will not cause significant environmental impacts.

- b. The project will not result in the construction of new water or wastewater treatment facilities or expansion of existing facilities, the construction of which could cause significant environmental effects.
- c. The City has determined that there is adequate capacity existing to serve the site's projected wastewater treatment demands at the City wastewater treatment plant.

- d. Current solid waste disposal facilities can adequately serve the site without a need for alteration.
- e. The project will be able to meet the applicable regulations for solid waste. Removal of debris from construction will be subject to the City's waste disposal requirements.

XX. WILDFIRE

- a. The project is located on a site that is adjacent on multiple sides by existing development. The site will be further served by multiple points of access. In the event of an emergency response, coordination would be made with the City's Engineering, Police, and Fire Divisions to ensure that adequate access to and from the site is maintained.
- b. The project area is relatively flat and the underlying soil is not known to be unstable. Therefore, the site is not in a location that is likely to exacerbate wildfire risks.
- c. The project is located on a site that is adjacent on multiple sides by existing development. New project development will require the installation and maintenance of associated infrastructure extending from adjacent off-site locations to the project site; however the infrastructure would be typical of commercial development and would be developed to the standards of the underlying responsible agencies.

- d. The project area is relatively flat and the underlying soil is not known to be unstable. Therefore, the site is not in a location that would expose persons or structures to significant risks of flooding or landslides.

XXI. MANDATORY FINDINGS OF SIGNIFICANCE

- a. The project will not affect the habitat of a fish or wildlife species or a plant or animal community. This site was evaluated in the Program EIR (SCH No. 2010041078) for the City of Visalia's General Plan Update for conversion to urban use. The City adopted mitigation measures for conversion to urban development. Where effects were still determined to be significant a statement of overriding considerations was made.
- b. This site was evaluated in the Program EIR (SCH No. 2010041078) for the City of Visalia General Plan Update for the area's conversion to urban use. The City adopted mitigation measures for conversion to urban development. Where effects were still determined to be significant a statement of overriding considerations was made.
- c. This site was evaluated in the Program EIR (SCH No. 2010041078) for the City of Visalia General Plan Update for conversion to urban use. The City adopted mitigation measures for conversion to urban development. Where effects were still determined to be significant a statement of overriding considerations was made.

DETERMINATION OF REQUIRED ENVIRONMENTAL DOCUMENT

On the basis of this initial evaluation:

- X** I find that the proposed project **COULD NOT** have a significant effect on the environment. **A NEGATIVE DECLARATION WILL BE PREPARED.**
- I find that although the proposed project could have a significant effect on the environment, there will not be a significant effect in this case because the mitigation measures described on the attached sheet have been added to the project. **A MITIGATED NEGATIVE DECLARATION WILL BE PREPARED.**
- I find the proposed project **MAY** have a significant effect on the environment, and an **ENVIRONMENTAL IMPACT REPORT** is required.
- I find that the proposed project **MAY** have a "potentially significant impact" or "potentially significant unless mitigated" impact on the environment, but at least one effect 1) has been adequately analyzed in an earlier document pursuant to applicable legal standards, and 2) has been addressed by mitigation measures based on the earlier analysis as described on attached sheets. An **ENVIRONMENTAL IMPACT REPORT** is required, but it must analyze only the effects that remain to be addressed.
- I find that as a result of the proposed project no new effects could occur, or new mitigation measures would be required that have not been addressed within the scope of the Program Environmental Impact Report (SCH No. 2010041078). The Environmental Impact Report prepared for the City of Visalia General Plan was certified by Resolution No. 2014-37 adopted on October 14, 2014. **THE PROGRAM ENVIRONMENTAL IMPACT REPORT WILL BE UTILIZED.**



Brandon Smith, AICP
Environmental Coordinator

July 29, 2025

Date

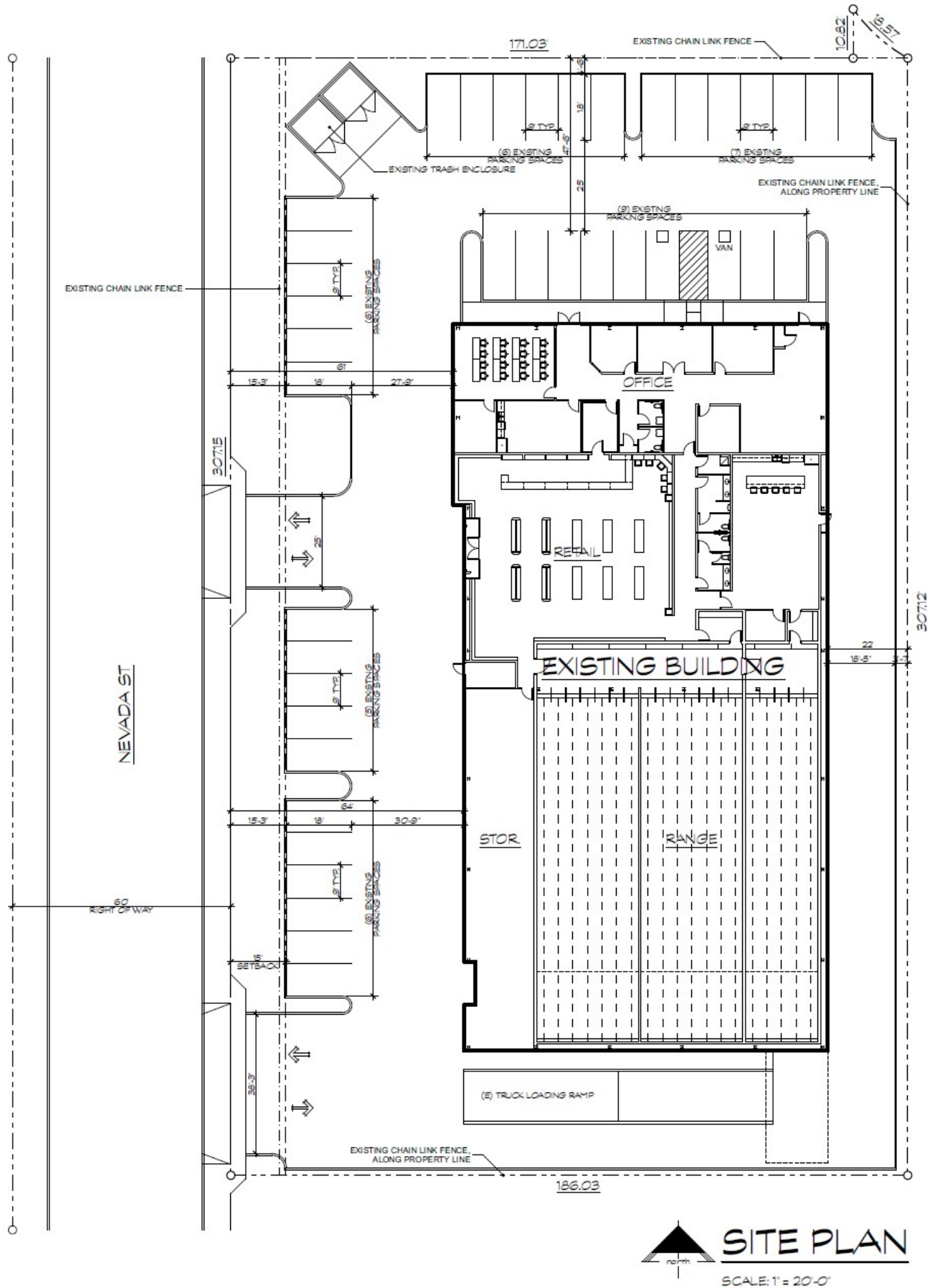


Figure No. 1





May 21, 2025

Site Plan Review No. 2025-086:

Pursuant to Zoning Ordinance Chapter 17.28 the Site Plan Review process has found that your application complies with the general plan, municipal code, policies, and improvement standards of the city. A copy of each Departments/Divisions comments that were discussed with you at the Site Plan Review meeting are attached to this document.

Based upon Zoning Ordinance Section 17.28.070, this is your Site Plan Review determination. However, your project requires a Conditional Use Permit which is stated on the attached Site Plan Review comments. You may now proceed with filing your permit to the Planning Division.

This is your Site Plan Review Permit; your Site Plan Review became effective **April 2, 2025**. A site plan review permit shall lapse and become null and void one year following the date of approval unless, prior to the expiration of one year, a building permit is issued by the building official, and construction is commenced and diligently pursued toward completion.

If you have any questions regarding this action, please call the Community Development Department at (559) 713-4359.

Respectfully,

Paul Bernal
Planning and Community Preservation Director
315 E. Acequia Ave.
Visalia, CA 93291

Attachment(s):

- Site Plan Review Comments



MEETING DATE April 2, 2025
SITE PLAN NO. 2025-086
PARCEL MAP NO.
SUBDIVISION
LOT LINE ADJUSTMENT NO.

Enclosed for your review are the comments and decisions of the Site Plan Review committee. Please review all comments since they may impact your project.

☐ **RESUBMIT** Major changes to your plans are required. Prior to accepting construction drawings for building permit, your project must return to the Site Plan Review Committee for review of the revised plans.

☐ During site plan design/policy concerns were identified, schedule a meeting with

☐ Planning

☐ Engineering prior to resubmittal plans for Site Plan Review.

☐ Solid Waste

☐ Parks and Recreation

☐ Fire Dept.

☒ **REVISE AND PROCEED** (see below)

☐ A revised plan addressing the Committee comments and revisions must be submitted for Off-Agenda Review and approval prior to submitting for building permits or discretionary actions.

☐ Submit plans for a building permit between the hours of 9:00 a.m. and 4:00 p.m., Monday through Friday.

☒ Your plans must be reviewed by:

☐ CITY COUNCIL

☐ REDEVELOPMENT

☒ PLANNING COMMISSION

☐ PARK/RECREATION

☒ CUP

☐ HISTORIC PRESERVATION

☐ OTHER – Lot Line Adjustment

☒ **ADDITIONAL COMMENTS:**

If you have any questions or comments, please call the Site Plan Review Hotline at (559) 713-4440
Site Plan Review Committee

SITE PLAN REVIEW COMMENTS

Cristobal Carrillo, Planning Division (559) 713-4443

Date: April 2, 2025

SITE PLAN NO: 2025-086
PROJECT: Smokin' Barrel
DESCRIPTION: A tenant improvement of an existing building for a proposed indoor shooting range and retail space
APPLICANT: Eric McConaughy
OWNER: VF INC
ADDRESS: 1104 North Nevada Street
APN: 081-100-075
LOCATION: East of North Nevada Street, approximately 200 feet north of West Grove Avenue.
ZONING: I (Industrial)
GENERAL PLAN: Industrial

Planning Division Recommendation:

- ☒ Revise and Proceed
☐ Resubmit

Project Requirements

- Conditional Use Permit
- Noise Study
- Building Permit

PROJECT SPECIFIC INFORMATION: April 2, 2025

1. The Indoor Shooting Range requires approval of a Conditional Use Permit in the I Zone.
2. The CUP submittal shall require submittal of a complete set of architectural plans, as follows:
 - a. Detailed site plan showing the project site.
 - b. Detailed building elevations.
 - c. Detailed floor plans shall be provided identifying the use and dimensions of all rooms.
 - d. Detailed operational statement describing the proposed use, onsite activities (classroom, sales, VIP lounge, etc.), and operational detail.
 - e. A preliminary landscape plan. The landscaping plan shall verify that a minimum 10% of the parking lot is landscaped.
3. Provide a Noise Study with the Conditional Use Permit demonstrating that no noise impacts will be generated.
4. The site plan shall depict all existing and proposed fencing onsite.
5. The site plan shall verify whether the shade structure on the southern side of the structure is still present onsite.
6. The four compact parking stalls at the southwest corner of the site shall be relocated so as to not obstruct the driveway to the west.
7. Comply with the requirements of the Solid Waste Division for the sizing and location of the proposed trash enclosure.
8. Per VMC Section 17.34.020.E (Recreational Facilities), parking demand shall be four stalls per shooting alley (36 stalls).
9. All existing landscape areas that have become dormant shall be replanted and maintained.
10. Note what will occur to the loading dock area to the south of the building.
11. Comply with all requirements of the Police Department.
12. Obtain a Building Permit for all work proposed.

Note:

1. The applicant shall contact the San Joaquin Valley Air Pollution Control District to verify whether additional permits are required through the District.
2. Prior to completion of a final building inspection for a project, a signed **MWELO Certificate of Compliance** shall be submitted indicating that all landscaping has been installed to MWELO standards.

Sections of the Municipal Code to review:

17.19.060 Development standards in the C-MU zones outside the downtown area.

17.32.080 Maintenance of landscaped areas

17.36 Fences Walls and Hedges

NOTE: Staff recommendations contained in this document are not to be considered support for a particular action or project unless otherwise stated in the comments. The comments found on this document pertain to the site plan submitted for review on the above referenced date. Any changes made to the plan submitted must be submitted for additional review.

Signature: _____



**BUILDING/DEVELOPMENT PLAN
REQUIREMENTS
ENGINEERING DIVISION**

☐ Edelma Gonzalez 713-4364
☒ Luqman Ragabi 713-4362
☐ Sarah MacLennan 713-4271
☐ Jesus Carreno 713-4268

ITEM NO: 1 DATE: APRIL 02, 2025

SITE PLAN NO.: 25-086
PROJECT TITLE: SMOKIN' BARREL
DESCRIPTION: A TENANT IMPROVEMENT OF AN EXISTING BUILDING FOR A PROPOSED INDOOR SHOOTING RANGE AND RETAIL SPACE.
APPLICANT: ERIC MCCONNAUGHEY
PROP OWNER: VF INC
LOCATION: 081-100-075
APN: EAST OF N NEVADA

SITE PLAN REVIEW COMMENTS

- ☒ REQUIREMENTS (indicated by checked boxes)
- ☐ Install curb return with ramp, with _____ radius;
- ☐ Install curb; ☐ gutter
- ☐ Drive approach size: ☐ Use radius return;
- ☐ Sidewalk: _____ width; ☐ _____ parkway width at _____
- ☒ Repair and/or replace any sidewalk across the public street frontage(s) of the subject site that has become uneven, cracked or damaged and may constitute a tripping hazard.
- ☐ Replace any curb and gutter across the public street frontage(s) of the subject site that has become uneven and has created areas where water can stand.
- ☐ Right-of-way dedication required. A title report is required for verification of ownership.
- ☐ Deed required prior to issuing building permit;
- ☒ **City Encroachment Permit Required. FOR ANY WORK NEEDED WITHIN PUBLIC RIGHT-OF-WAY**
Insurance certificate with general & auto liability (\$1 million each) and workers compensation (\$1 million), valid business license, and appropriate contractor's license must be on file with the City, and valid Underground Service Alert # provided prior to issuing the permit. Contact Encroachment Tech. at 713-4414.
- ☐ CalTrans Encroachment Permit required. ☐ CalTrans comments required prior to issuing building permit. Contacts: David Deel (Planning) 488-4088;
- ☐ Landscape & Lighting District/Home Owners Association required prior to approval of Final Map. Landscape & Lighting District will maintain common area landscaping, street lights, street trees and local streets as applicable. Submit completed Landscape and Lighting District application and filing fee a min. of 75 days before approval of Final Map.
- ☐ Landscape & irrigation improvement plans to be submitted for each phase. Landscape plans will need to comply with the City's street tree ordinance. The locations of street trees near intersections will need to comply with Plate SD-1 of the City improvement standards. A street tree and landscape master plan for all phases of the subdivision will need to be submitted with the initial phase to assist City staff in the formation of the landscape and lighting assessment district.
- ☐ Grading & Drainage plan required. If the project is phased, then a master plan is required for the entire project area that shall include pipe network sizing and grades and street grades. ☐ Prepared by registered civil engineer or project architect. ☐ All elevations shall be based on the City's benchmark network. Storm run-off from the project shall be handled as follows: a) ☐ directed to the City's existing storm drainage system; b) ☐ directed to a permanent on-site basin; or c) ☐ directed to a temporary on-site basin is required until a connection with adequate capacity is available to the City's storm drainage system. On-site basin: _____ : _____ maximum side slopes, perimeter fencing required, provide access ramp to bottom for maintenance.
- ☐ Grading permit is required for clearing and earthwork performed prior to issuance of the building permit.
- ☐ Show finish elevations. (Minimum slopes: A.C. pavement = 1%, Concrete pavement = 0.25%. Curb & Gutter = .20%, V-gutter = 0.25%)
- ☐ Show adjacent property grade elevations. A retaining wall will be required for grade differences greater than 0.5 feet at the property line.
- ☐ All public streets within the project limits and across the project frontage shall be improved to their full width, subject to available right of way, in accordance with City policies, standards and specifications.
- ☐ Traffic indexes per city standards:

- ☐ Install street striping as required by the City Engineer.
- ☐ Install landscape curbing (typical at parking lot planters).
- ☐ Minimum paving section for parking: 2" asphalt concrete paving over 4" Class 2 Agg. Base, or 4" concrete pavement over 2" sand.
- ☐ Design Paving section to traffic index of 5.5 min. for solid waste truck travel path.
- ☐ Provide "R" value tests: each at
- ☐ Written comments required from ditch company Contacts: James Silva 747-1177 for Modoc, Persian, Watson, Oakes, Flemming, Evans Ditch and Peoples Ditch; Jerry Hill 686-3425 for Tulare Irrigation Canal, Packwood and Cameron Creeks; Bruce George 747-5601 for Mill Creek and St. John's River.
- ☐ Access required on ditch bank, 15' minimum ☐ Provide wide riparian dedication from top of bank.
- ☐ Show Valley Oak trees with drip lines and adjacent grade elevations. ☐ Protect Valley Oak trees during construction in accordance with City requirements.
- ☐ A permit is required to remove Valley Oak trees. Contact Public Works Admin at 713-4428 for a Valley Oak tree evaluation or permit to remove. ☐ A pre-construction conference is required.
- ☐ Relocate existing utility poles and/or facilities.
- ☐ Underground all existing overhead utilities within the project limits. Existing overhead electrical lines over 50kV shall be exempt from undergrounding.
- ☐ Subject to existing Reimbursement Agreement to reimburse prior developer:
- ☒ Fugitive dust will be controlled in accordance with the applicable rules of San Joaquin Valley Air District's Regulation VIII. Copies of any required permits will be provided to the City.
- ☐ If the project requires discretionary approval from the City, it may be subject to the San Joaquin Valley Air District's Rule 9510 Indirect Source Review per the rule's applicability criteria. A copy of the approved AIA application will be provided to the City.
- ☐ If the project meets the one acre of disturbance criteria of the State's Storm Water Program, then coverage under General Permit Order 2009-0009-DWQ is required and a Storm Water Pollution Prevention Plan (SWPPP) is needed. A copy of the approved permit and the SWPPP will be provided to the City.
- ☐ Comply with prior comments. ☒ Resubmit with additional information. ☐ Redesign required.

Additional Comments:

- 1. A building permit is required, standard plan check and inspection fees will apply.**
- 2. The proposed Retail is too large to be considered ancillary to the main use (Shooting Range), therefore impact fees will apply for retail, credit will be applied for the retail portion of the building.**
- 3. Parking lot shall comply with City Standards, the proposed compact stalls at the Southern drive approach is not per City Standards and will conflict with the existing drive approach.**
- 4. 20% of permit valuation to be used in path of travel upgrades.**

SUMMARY OF APPLICABLE DEVELOPMENT IMPACT FEES

Site Plan No: **25-086**

Date: **4/1/2025**

Summary of applicable Development Impact Fees to be collected at the time of building permit:

(Preliminary estimate only! Final fees will be based on the development fee schedule in effect at the time of building permit issuance.)

(Fee Schedule Date: **8/17/2024**)

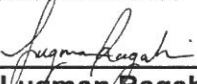
(Project type for fee rates:)

☒ Existing uses may qualify for credits on Development Impact Fees.

<u>FEE ITEM</u>	<u>FEE RATE</u>
<input type="checkbox"/> Groundwater Overdraft Mitigation Fee	
<input checked="" type="checkbox"/> Transportation Impact Fee	RETAIL: \$18,735/KSF CREDIT: \$2,388/KSF
<input type="checkbox"/> Trunk Line Capacity Fee	
<input type="checkbox"/> Treatment Plant Fee	
<input type="checkbox"/> Sewer Front Foot Fee	
<input type="checkbox"/> Storm Drain Acq/Dev Fee	
<input type="checkbox"/> Park Acq/Dev Fee	
<input type="checkbox"/> Northeast Specific Plan Fees	
<input type="checkbox"/> Waterways Acquisition Fee	
<input type="checkbox"/> Public Safety Impact Fee: Police	
<input type="checkbox"/> Public Safety Impact Fee: Fire	
<input checked="" type="checkbox"/> Public Facility Impact Fee	RETAIL: \$713/KSF CREDIT: \$492/KSF
<input type="checkbox"/> Parking In-Lieu	

Reimbursement:

- 1.) No reimbursement shall be made except as provided in a written reimbursement agreement between the City and the developer entered into prior to commencement of construction of the subject facilities.
- 2.) Reimbursement is available for the development of arterial/collector streets as shown in the City's Circulation Element and funded in the City's transportation impact fee program. The developer will be reimbursed for construction costs and right of way dedications as outlined in Municipal Code Section 16.44. Reimbursement unit costs will be subject to those unit costs utilized as the basis for the transportation impact fee.
- 3.) Reimbursement is available for the construction of storm drain trunk lines and sanitary sewer trunk lines shown in the City's Storm Water Master Plan and Sanitary Sewer System Master Plan. The developer will be reimbursed for construction costs associated with the installation of these trunk lines.



Luqman Ragabi

City of Visalia

Building: Site Plan

Review Comments

SPR 25086
SMOKIN' BARREL
1104 N NEVADA STREET

NOTE: These are general comments and DO NOT constitute a complete plan check for your specific project
Please refer to the applicable California Code & local ordinance for additional requirements.

- ☒ A building permit will be required. *For information call (559) 713-4444*
- ☒ Submit 1 digital set of professionally prepared plans and 1 set of calculations. *(Small Tenant Improvements)*
- ☐ Submit 1 digital set of plans prepared by an architect or engineer. Must comply with 2016 California Building Cod Sec. 2308 for conventional light-frame construction or submit 1 digital set of engineered calculations.
- ☐ Indicate abandoned wells, septic systems and excavations on construction plans.

You are responsible to ensure compliance with the following checked items:

- ☒ Meet State and Federal requirements for accessibility for persons with disabilities.

- ☒ A path of travel, parking and common area must comply with requirements for access for persons with disabilities. *20% OF PERMIT VALUE SHALL BE USED FOR 'PATH OF TRAVEL' ADA UPGRADES.*
- ☐ All accessible units required to be adaptable for persons with disabilities.

- ☐ Maintain sound transmission control between units minimum of 50 STC.

- ☐ Maintain fire-resistive requirements at property lines.

- ☒ A demolition permit & deposit is required. *For information call (559) 713-4444*

- ☒ Obtain required permits from San Joaquin Valley Air Pollution Board. *For information call (661) 392-5500*

- ☐ Plans must be approved by the Tulare County Health Department. *For information call (559) 624-8011*

- ☒ Project is located in flood zone AE * ☐ Hazardous materials report. *MEET FEMA FLOOD REQUIREMENTS*

- ☐ Arrange for an on-site inspection. (Fee for inspection \$157.00) *For information call (559) 713-4444*

- ☐ School Development fees.

- ☐ Park Development fee \$_____, per unit collected with building permits.

- ☐ Additional address may be required for each structure located on the site. *For information call (559) 713-4320*

- ☐ Acceptable as submitted

- ☐ No comments at this time

Additional comments: PROVIDE ACCESSIBLE ROUTE TO THE PUBLIC WAY AND TO THE TRASH ENCLOSURE.
PROVIDE LIST OF COMMODITIES AND THEIR QUANTITIES.

VAL GARCIA 4/2/25
Signature



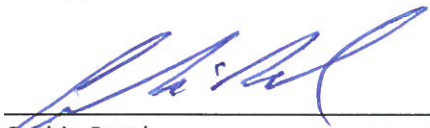
Site Plan Comments

Visalia Fire Department
Corbin Reed, Fire Marshal
420 N. Burke
Visalia CA 93292
559-713-4272 office
prevention.division@visalia.city

Date	April 2, 2025
Item #	1
Site Plan #	25086
APN:	081100075

- The Site Plan Review comments are issued as **general overview** of your project. With further details, additional requirements will be enforced at the Plan Review stage. Please refer to the 2022 California Fire Code (CFC), 2022 California Building Codes (CBC) and City of Visalia Municipal Codes.
- All **fire detection, alarm, and extinguishing systems** in existing buildings shall be maintained in an operative condition at all times and shall be replaced or repaired where defective. If building has been vacant for a significant amount of time the fire detection, alarm, and or extinguishing systems may need to be evaluated by a licensed professional. 2022 CFC 901.6
- **Address numbers** must be placed on the exterior of the building in such a position as to be clearly and plainly visible from the street. Numbers will be at least four inches (4") high and shall be of a color to contrast with their background. If multiple addresses are served by a common driveway, the range of numbers shall be posted at the roadway/driveway. 2022 CFC 505.1
- All hardware on **exit doors, illuminated exit signs and emergency lighting** shall comply with the 2022 California Fire Code. This includes all locks, latches, bolt locks, panic hardware, fire exit hardware and gates.
- **Commercial dumpsters** with 1.5 cubic yards or more shall not be stored or placed within 5 feet of combustible walls, openings, or a combustible roof eave line except when protected by a fire sprinkler system. 2022 CFC 304.3.3
- A **Knox Box key lock system** is required. Where access to or within a structure or area is restricted because of secured openings (doors and/or gates), a key box is to be installed in an approved location. Go to knoxbox.com to order and please allow adequate time for shipping and installation. 2022 CFC 506.1
- A **fire apparatus access road(s)** shall be provided and extend within 150 feet of all portions of the building and all portions of the exterior walls of the first story as measured by an approved route around the exterior. Minimum turning radius for emergency fire apparatus shall be 20 feet inside radius and 43 feet outside radius. Fire apparatus access roads shall have an unobstructed width of not less than the following (2022 CFC 503.1.1)
 - 20 feet width, exclusive of shoulders (No Parking)
 - More than 26 feet width, exclusive of shoulders (No Parking one side)
 - More than 32 feet wide, exclusive of shoulders (Parking permitted on both sides)

- **Gates on access roads** shall be a minimum width of 20 feet and shall comply with the following (2022 CFC D103.5):
 - Gates shall be of the swinging or sliding type.
 - Gates shall allow manual operation by one person (power outages).
 - Gates shall be maintained in an operative condition at all times.
 - Electric gates shall be equipped with a means of opening the gate by fire department personnel for emergency access. Note: Go to knoxbox.com to order and please allow adequate time for shipping and installation.
- Locking **fire department connection (FDC) caps** are required. The caps shall be ordered using an approved Knox Authorization Order Form. Go to knoxbox.com to order and please allow adequate time for shipping and installation. 2022 CFC 912.4.1
- All exterior risers, drain/test valves and backflow devices shall be protected from unauthorized tampering by approved means. Protection method shall be indicated on building plans. 2022 CFC 903.3.8.4.1



Corbin Reed
Fire Marshal



City of Visalia
Police Department
303 S. Johnson St.
Visalia, CA 93292
(559) 713-4370

Date: 04/01/25
Item: 1
Site Plan: SPR25086
Name: Jeff Dowling

Site Plan Review Comments

- ☐ No Comment at this time.
- ☐ Request opportunity to comment or make recommendations as to safety issues as plans are developed.
- ☐ Public Safety Impact Fee:
Ordinance No. 2001-11 Chapter 16.48 of Title 16 of the Visalia Municipal Code
Effective date - August 17, 2001.
- ☐ Impact fees shall be imposed by the City pursuant to this Ordinance as a condition of or in conjunction with the approval of a development project. "New Development or Development Project" means any new building, structure or improvement of any parcels of land, upon which no like building, structure of improvement previously existed. *Refer to Engineering Site Plan comments for fee estimation.
- ☐ Not enough information provided. Please provide additional information pertaining to:
- ☐ Territorial Reinforcement: Define property lines (private/public space).
- ☐ Access Controlled/ Restricted etc.
- ☒ lighting Concerns:
ample lighting around property to help deter crime
- ☐ Traffic Concerns:
- ☒ Surveillance Issues:
interior/exterior surveillance cameras to help deter crime
- ☒ Line of Sight Issues:
low perimeter shrubs to help deter transients from loitering or setting up camp
- ☒ Other Concerns:
participation in the Trespass Enforcement Program

SITE PLAN REVIEW COMMENTS

CITY OF VISALIA TRAFFIC SAFETY DIVISION

April 2, 2025

ITEM NO: 1 **Added to Agenda** MEETING TIME: 09:00
SITE PLAN NO: [SPR25086](#) ASSIGNED TO: Cristobal Carrillo Cristobal.Carrillo@visalia.city
PROJECT TITLE: Smokin' Barrel
DESCRIPTION: A tenant improvement of an existing building for a proposed indoor shooting range and retail space.
APPLICANT: Eric McConnaughey - Applicant
OWNER: VF INC
APN: 081100075
ADDRESS: 1104 N NEVADA ST
LOCATION: East of N. Nevada St., approximately 200 feet north of W. Grove Ave.

THE TRAFFIC DIVISION WILL PROHIBIT ON-STREET PARKING AS DEEMED NECESSARY

- ☒ No Comments
- ☐ See Previous Site Plan Comments
- ☐ Install Street Light(s) per City Standards at time of development.
- ☐ Install Street Name Blades at Locations at time of development.
- ☐ Install Stop Signs at **local road intersection with collector/arterial** Locations.
- ☐ Construct parking per City Standards PK-1 through PK-4 at time of development.
- ☐ Construct drive approach per City Standards at time of development.
- ☐ Traffic Impact Analysis required (CUP)
 - ☐ Provide more traffic information such as . Depending on development size, characteristics, etc., a TIA may be required.

- ☐ Additional traffic information required (Non Discretionary)
 - ☐ Trip Generation - Provide documentation as to concurrence with General Plan.
 - ☐ Site Specific - Evaluate access points and provide documentation of conformance with COV standards. If noncomplying, provide explanation.
 - ☐ Traffic Impact Fee (TIF) Program - Identify improvements needed in concurrence with TIF.

Additional Comments:

-

Leslie Blair

Leslie Blair

CITY OF VISALIA
SOLID WASTE DIVISION
336 N. BEN MADDOX
VISALIA CA. 93291
713 - 4532
COMMERCIAL BIN SERVICE

25086

April 2, 2025

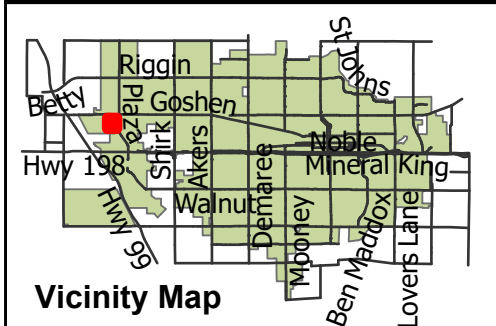
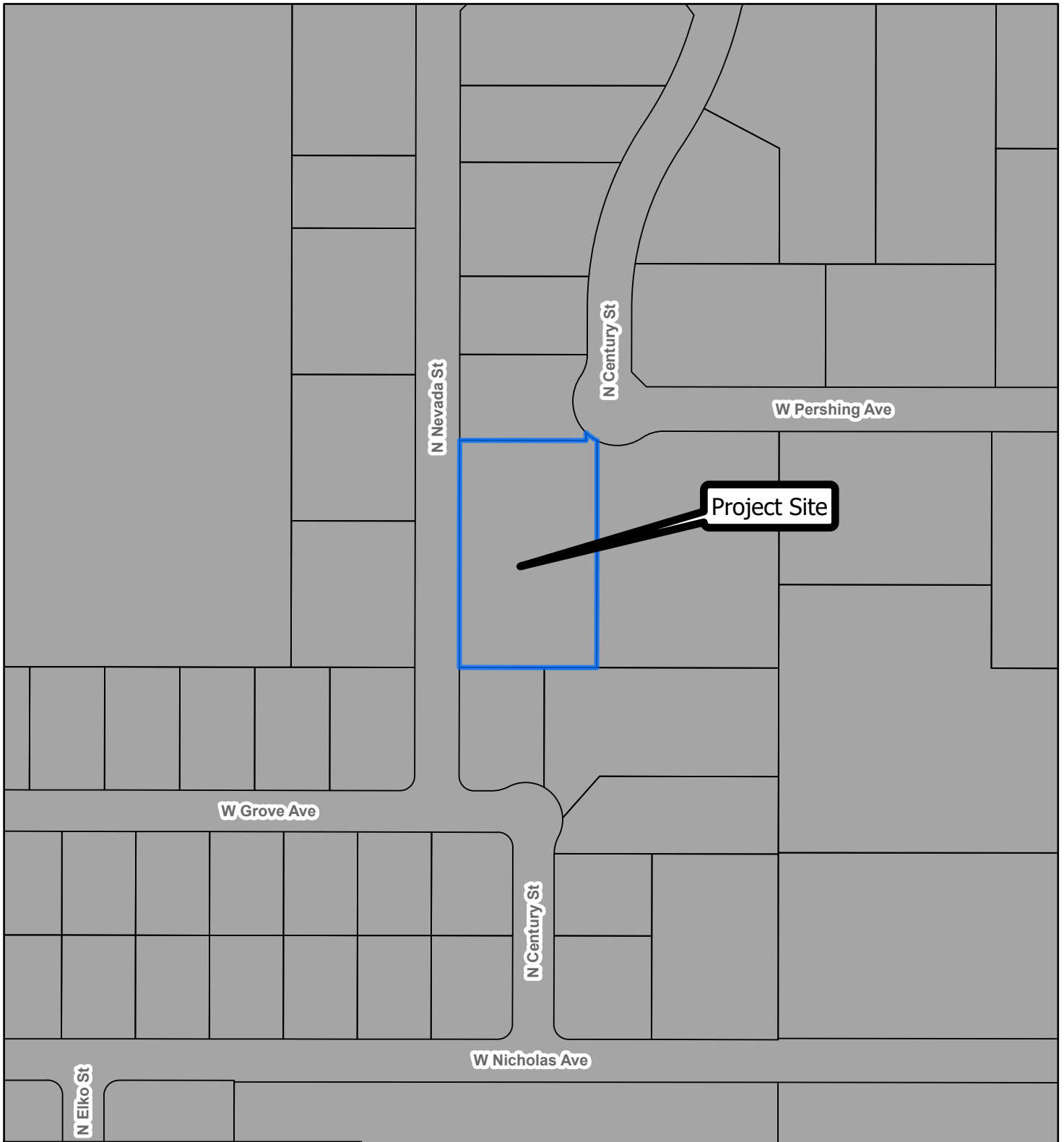
- ☐ No comments.
- ☒ See comments below
- ☐ Revisions required prior to submitting final plans. See comments below.
- ☐ Resubmittal required. See comments below.
- ☒ Customer responsible for all cardboard and other bulky recyclables to be broken down before disposing of in recycle containers
- ☒ ALL refuse enclosures must be city standard R-1 OR R-2 & R-3 OR R-4
- ☒ Customer must provide combination or keys for access to locked gates/bins
- ☐ Type of refuse service not indicated.
- ☐ Location of bin enclosure not acceptable. See comments below.
- ☒ Bin enclosure insufficient to comply with state recycling mandates. See comments for suggestions.
- ☒ Inadequate number of bins to provide sufficient service. See comments below.
- ☐ Drive approach too narrow for refuse trucks access. See comments below.
- ☐ Area not adequate for allowing refuse truck turning radius of : Commercial 50 ft. outside 36 ft. inside; Residential 35 ft. outside, 20 ft. inside.
- ☒ Paved areas should be engineered to withstand a 55,000 lb. refuse truck.
- ☐ Bin enclosure gates are required
- ☐ Hammerhead turnaround must be built per city standards.
- ☐ Cul - de - sac must be built per city standards.
- ☒ Bin enclosures are for city refuse containers only. Grease drums or any other items are not allowed to be stored inside bin enclosures.
- ☒ Area in front of refuse enclosure must be marked off indicating no parking
- ☒ Enclosure will have to be designed and located for a STAB service (DIRECT ACCESS) with no less than 38' clear space in front of the bin, included the front concrete pad.
- ☒ Customer will be required to roll container out to curb for service.
- ☒ Must be a concrete slab in front of enclosure as per city standards, the width of the enclosure by ten(10) feet, minimum of six(6) inches in depth.
- ☐ Roll off compactor's must have a clearance of 3 feet from any wall on both sides and there must be a minimum of 53 feet clearance in front of the compactor to allow the truck enough room to provide service.
- ☒ City ordinance 8.28.120-130 (effective 07/19/18) requires contractor to contract with City for removal of construction debris unless transported in equipment owned by contractor or unless contracting with a franchise permittee for removal of debris utilizing roll-off boxes.

Comment

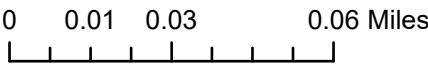
Solid waste services to include trash, recycling, and organic recycling, per the State of California's mandatory commercial recycling laws (AB-341 & AB-1826). Customer to identify where the three bins will be placed, set for STAB load collections. Property owner to complete and submit a City of Visalia "Concrete/Driveway Release of Liability Waiver Agreement".

Jason Serpa, Solid Waste Manager, 559-713-4533
Edward Zuniga, Solid Waste Supervisor, 559-713-4338

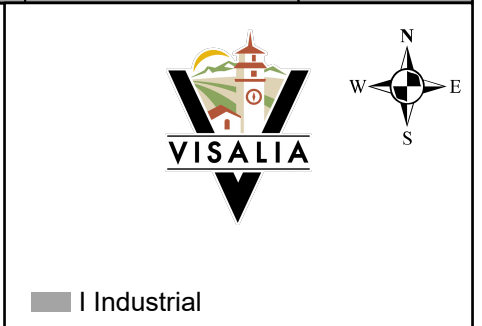
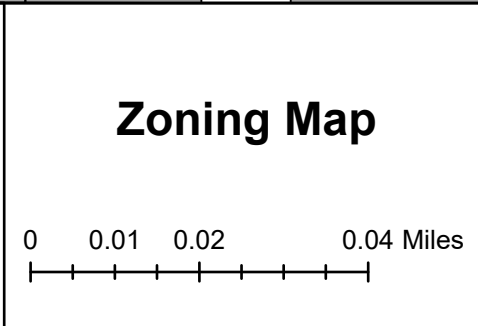
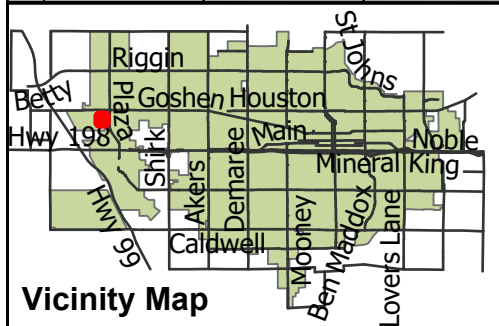
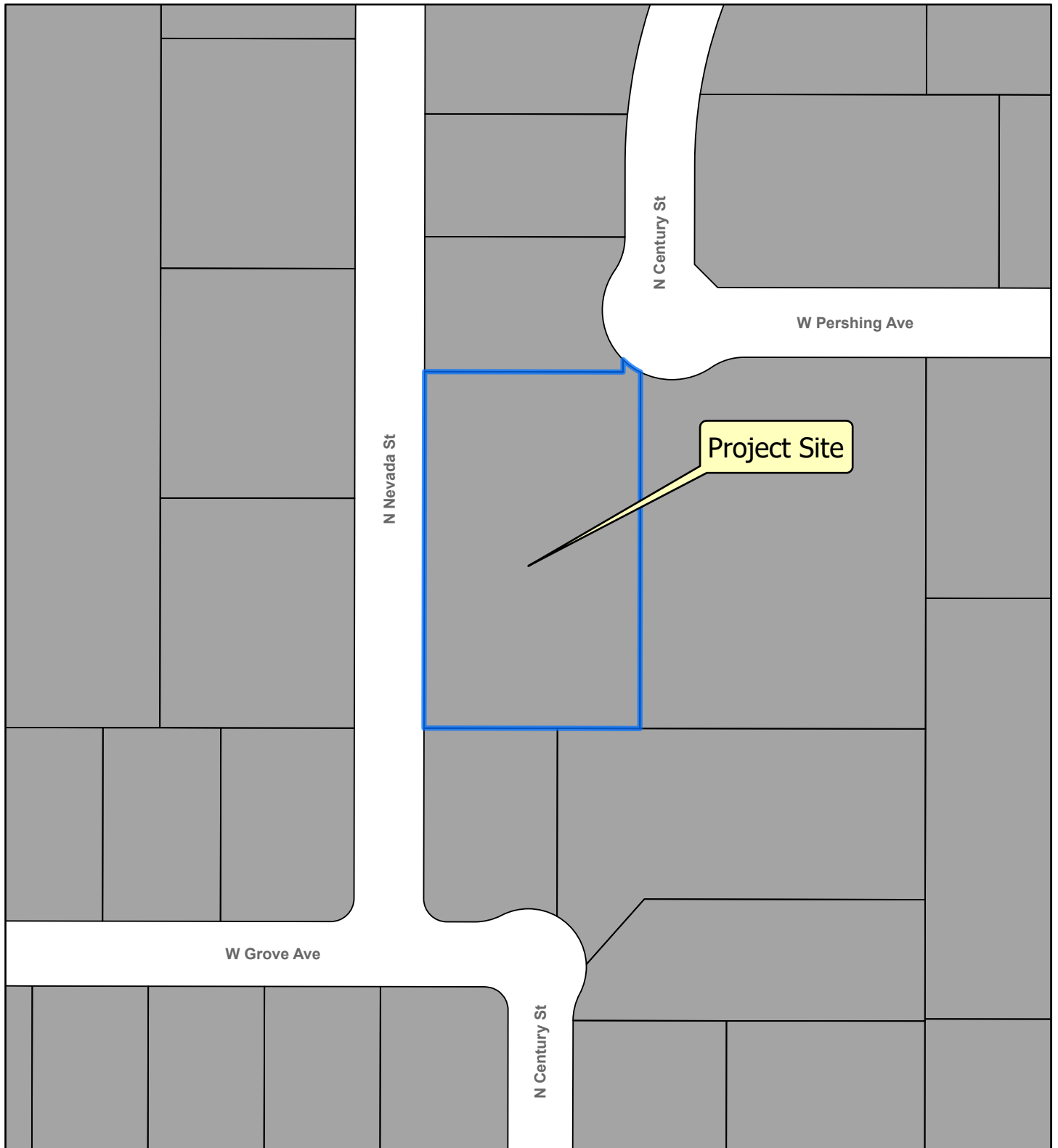
Nathan Garza, Solid Waste, 559-713-4532

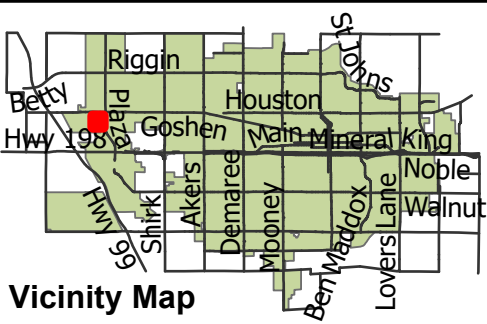


General Plan Land Use Map



Industrial





Aerial Map

0 0.02 0.04 0.08 Miles





Location Map

0 0.04 0.09 0.17 Miles





REPORT TO CITY OF VISALIA PLANNING COMMISSION

HEARING DATE: August 25, 2025

PROJECT PLANNER: Cristobal Carrillo, Associate Planner
Phone No.: (559) 713-4443
Email: cristobal.carrillo@visalia.city

SUBJECT: Ritchie Ranch Subdivision Map No. 5600: A request by Lennar Homes of California LLC to subdivide a parcel totaling approximately 44.89 acres into 320 lots for single-family residential use, six outlots for landscaping, and two outlots for use as pocket parks, to be located within the R-1-5 (Single-Family Residential, 5,000 square foot minimum site area) zone.

Conditional Use Permit No. 2024-23: A request by Lennar Homes of California LLC for a planned residential development on a 44.89-acre parcel, consisting of 320 single-family residential lots, located within the R-1-5 (Single-Family Residential, 5,000 square foot minimum site area) zone. The proposal will include non-standard lots that will be less than 5,000 square feet in size, with reduced lot widths, and reduced setbacks.

Project Location: The project site is located on the southwest corner of West Riverway Avenue and North Demaree Street (APN: 077-060-022).

STAFF RECOMMENDATION

Ritchie Ranch Tentative Subdivision Map No. 5600

Staff recommends approval of the Ritchie Ranch Tentative Subdivision Map No. 5600, as conditioned, based on the findings and conditions in Resolution No. 2024-39. Staff's recommendation is based on the conclusion that the request is consistent with the Visalia General Plan, Zoning and Subdivision Ordinances, Housing Accountability Act (Government Code section 65589.5) and the Visalia Housing Element.

Conditional Use Permit No. 2024-23

Staff recommends approval of Conditional Use Permit No. 2024-23, as conditioned, based upon the findings and conditions in Resolution No. 2024-40. Staff's recommendation is based on the conclusion that the request is consistent with the Visalia General Plan and Zoning Ordinance.

RECOMMENDED MOTION

I move to approve Ritchie Ranch Tentative Subdivision Map No. 5600, based on the findings and conditions in Resolution No. 2024-39.

I move to approve Conditional Use Permit No. 2024-23, based on the findings and conditions in Resolution No. 2024-40.

PROJECT DESCRIPTION

The applicant, Lennar Homes of California LLC, has filed entitlement applications for the development of a 320-lot single-family residential subdivision on a 44.89-acre parcel located within Visalia City Limits. The project site currently contains an occupied single family residence, accessory structures, and is employed for agricultural use. The project site is listed as prime farmland/farmland of statewide importance, but the site is in Tier I and is not subject to the City

of Visalia’s Agricultural Preservation Ordinance. Entitlements for this project consist of a tentative subdivision map and a conditional use permit for a planned residential development.

Ritchie Ranch Tentative Subdivision Map No. 5600 is a request to subdivide a 44.89-acre parcel into a 320-lot single-family residential subdivision (see Exhibit “A”). Per the Phasing Plan in Exhibit “C”, the development will occur over four phases. The density of the subdivision will be 7.13 dwelling units per acre, consistent with the density range of the Low Density Residential General Plan land use classification (2 to 10 units per acre). Per the operational statement in Exhibit “F”, lot sizes will range from 2,800 to 7,649 square feet, with an average lot size of 3,444 square feet, smaller than permitted by the R-1-5 Zone. The subdivision includes six outlots for landscaping and two outlots for use as pocket parks. Outlots will be maintained by a Landscape and Lighting District (LLD).

In order to allow deviation from Visalia Municipal Code (VMC) standards for lots within the R-1-5, the subdivision proposal is accompanied by a request for a Planned Residential Development via **Conditional Use Permit No. 2024-23**. Per Zoning Ordinance Chapter 17.26, deviations from normal zoning regulations and standards may be requested if it can be shown that the deviations maximize benefits to the eventual residents of a planned residential development. The Conditional Use Permit request details several deviations from VMC standards, listed below as follows:

- Lot size. The minimum lot size in the R-1-5 Zone is 5,000 square feet. Per the site plan, 304 of the 320 lots are proposed to be smaller than the minimum lot size, comprising 95% of the total lots. Sizes will be as follows:
 - o 16 lots – 5,000 square feet and up.
 - o 51 lots – 4,000 to 4,999 square feet in size.
 - o 155 lots – 3,000 to 3,999 square feet in size.
 - o 98 lots – 2,800 to 2,999 square feet in size.
- Setbacks. The R-1-5 Zone requires a 15-foot front yard for livable space, 22 feet for garages, 5-foot side yards, 10-foot street side yards, and a 25-foot rear yard. Per Exhibit “F” the applicant requests reductions to all setbacks as follows.

COMPARISON OF SETBACK STANDARDS					
	Front Yard	Side Yard	Street Side Yard	Rear Yard	Garage
EXISTING R-1-5 SETBACKS	15	5	10	25	22
PROPOSED SETBACKS	<u>12</u>	5	10	<u>10</u>	<u>20</u>

- Non-Standard Roadway Design. The applicant proposes non-standard roadway knuckles at three intersections, removing the “bulb out” feature, in order to provide additional rear and front yard area for cul-de-sac lots within the subdivision. This is the same design that was approved for the Belissa residential subdivision that is located directly northwest of the Ritchie Ranch Subdivision. Please note the Belissa subdivision is currently going through final mapping with anticipated construction of this subdivision to begin Fall 2025.

Per the project narrative in Exhibit “F”, amenities will be provided to occupants of the subdivision, consisting primarily of two pocket parks (1.03 acres / 44,895 square feet and 0.91 acres / 39,594 square feet in size, respectively). Per the preliminary landscape plan in Exhibit “E”, the parks will contain a mix of amenities including playground structures, benches, walking trails, and open

space lawns. Per the building elevations in Exhibit “D”, the units will contain architectural ornamentation on all front facing building exteriors, with additional ornamentation only on the side and rear elevations of the 2nd story of a residence.

The overall development will be serviced by 60-foot-wide local streets with City standard curb gutter, sidewalk, landscaping, and modified knuckles at three intersections within the subdivision. Additional improvements proposed include installation of streetlights, sewer lines, storm drainage, and public infrastructure such as electricity and water. Additional public street improvements within the boundaries of the subdivision include:

- North Demaree Street – A Minor Arterial Street, which will be improved with all standard street features and installation of a median within the western 42 feet of the roadway.
- West Shannon Parkway – A Collector Street, which will be installed to its full 84 foot over three phases. Shannon Parkway will curve northward, to align with West River Way Avenue where it will intersect with North Lindwood Street upon development of the parcel west of the project site and the Belissa Subdivision.
- West Riverway Avenue – A Local Street, which will be improved with all standard street features within the southern 21.50 feet of the roadway.

Lastly, improvements and alterations will be conducted to the Modoc Ditch, which traverses the northern and southern boundaries of the project site, as well as a small section of the western boundary. The northern portion of the Modoc Ditch will be abandoned as part of the project, which has been approved by the Modoc Ditch Company (see attached Modoc Ditch Company letter). For the southern portion of the ditch, improvements will be conducted to include installation of a 25 foot riparian setback, a slight realignment of the ditch, and installation of a new City standard drive approach along North Demaree Street. For the 246 foot long section of the Modoc Ditch that traverses the western boundary of the project site, 27.2 feet of land will be dedicated for its improvement. Details for the proposed road improvements can be found in the site plan in Exhibit “A”.

Primary access to Phases 1 and 2 of the subdivision will be from North Demaree Street, with additional access provided along West Shannon Parkway, which will be developed within the bounds of the project site as part of this development. Phases 3 and 4 will also maintain access to Demaree Street and Shannon Parkway, with an additional access provided via West Riverway Avenue. Improvements along Demaree, Riverway, and Linwood will include construction of curb, gutter, sidewalks, block walls (where lots do not front onto roadways), installation of park strip landscaping, streetlights, sanitary sewer, and undergrounding of utility lines. The street improvements associated with this subdivision are discussed in greater detail in the Street Improvements section of the report below.

The subdivision map will create eight (8) lettered outlots to be maintained by a Landscape and Lighting District (LLD). The outlots will provide a variety of functions, including use as public parks, landscaping lots with block walls, and access to the top of the bank along Modoc Ditch. The outlots account for approximately 3.03 acres of the total 44.89-acre development. A preliminary landscaping plan depicting the proposed outlot amenities is provided in Exhibit “E”.

The applicant has provided floor plans and elevations for the single-family developments associated with the overall project, divided into three collections (Celestials, Alfa, and Treasures). Plans depict a mix of single and two-story residences, averaging 1,757 square feet in size and ranging from 1,341 square feet to 2,116 square feet in size. The plans each feature between 3 to 4 different master plans, each with 3 to 5 different exterior treatment options, consisting of a mix of wall materials (ex. brick, stone, stucco, hardie board siding, etc.), with foam window borders, shutters, decorative lighting fixtures, and other design elements.

The parcel is bounded by agricultural land to the west, with the Wildhorse Ranch subdivision to the north, Avalon subdivision to the south, and Shannon Ranch Subdivision to the east. The project site and surrounding areas are all within City Limits.

BACKGROUND INFORMATION

General Plan Land Use Designation:	Residential Low Density
City Zoning:	R-1-5 (Single Family Residential, 5,000 square foot minimum site area)
Surrounding Zoning and Land Use:	North: R-1-5, R-M-2 (Multifamily Residential, 3,000 square foot minimum site area per dwelling) / Wild Horse Ranch Subdivision, Belissa Subdivision (in development) South: R-1-5 / Avalon Subdivision East: R-1-5, QP (Quasi Public), R-M-2, O-PA (Professional Administrative Office), C-MU (Mixed Use Commercial) / Shannon Ranch Subdivision, City ponding basin, City trail, Kaweah Delta Urgent Care, Quail Park at Shannon Ranch Senior Living Facility, The Village at Willow Creek Shopping Center West: R-1-5, R-M-2, QP / Agricultural land, City ponding basin
Environmental Review:	Initial Study / Mitigated Negative Declaration No. 2024-33
Special Districts:	None
Site Plan Review:	SPR No. 2023-231

RELATED PLANS & POLICIES

Please see attached summary of related plans and policies.

SIMILAR PROJECTS

Belissa Subdivision Project: On November 13, 2023, the Planning Commission recommended City Council approve Annexation No. 2022-02, and approved Belissa Tentative Subdivision Map No. 5587, Conditional Use Permit No. 2022-05, and Conditional Use Permit No. 2023-22. The project was a request to annex two parcels totaling 59.84-acres, to be subdivided into the following: 159 low-density residential lots on approximately 27.9 acres; 150 medium-density residential lots on approximately 15 acres; an approximately 7.6-acre high-density residential lot that will be developed with a 168-unit multi-family residential complex; and an approximately 7.88-acre Neighborhood Commercial lot which will be developed in the future. The project sites are located within the R-1-5, R-M-2, R-M-3, and C-N Zones.

PROJECT EVALUATION

Staff recommends approval of Ritchie Ranch Tentative Subdivision Map No. 5600 and Conditional Use Permit No. 2024-23 based on the project's consistency with the Land Use Element of the General Plan, the Zoning and Subdivision Ordinances, Housing Accountability Act (Government Code section 65589.5), and the Visalia Housing Element.

General Plan Consistency

Land Use Element Policies

The project is consistent with Policy LU-P-55, which allows for residential development consistent with the Low-Density Residential designation at a density range between 2 to 10 dwelling units per gross acre. The proposed subdivision will be developed at a residential density of 7.13 units per acre, consistent with the General Plan land use designation and R-1-5 zoning district. The policy is intended to facilitate “...*single-family detached housing with densities typical of single-family subdivisions.*” The policy also supports the development of “...*small-lot detached housing...as part of Low-Density Residential developments [with] development standards [that] will ensure that a desirable single-family neighborhood character is maintained.*”

Development Standard Deviations

The proposed subdivision does not meet all codified standards contained in the Zoning and Subdivision Ordinances. The applicant proposes lot sizes and setbacks that deviate from the standard R-1-5 requirements, and proposes a modified “knuckle” at three intersections within the project site. To address this, the applicant has submitted a Conditional Use Permit request for a Planned Residential Development, to permit deviations from Zoning Ordinance standards. The deviations are discussed in the Planned Residential Development section of this report below. As it stands, the proposal meets the intent of the Low-Density Residential land use designations, as the proposal will still result in a development within the density limits of the land use designation.

Housing Accountability Act (Government Code section 66589.5)

The Housing Accountability Act (HAA) requires local agencies to approve housing developments that are consistent with applicable general plan, zoning, and subdivision standards, including design review, if they were in effect at the time that the housing development application was deemed complete. A local agency cannot disapprove a project or lower its density unless it finds by a preponderance of the evidence that the project would have a specific, adverse impact on public health or safety, and that there is no feasible way to mitigate or avoid the impact¹.

With approval of the attached Conditional Use Permit/Planned Residential Development, the project is consistent, compliant, and in conformity with the General Plan, Zoning Ordinance, and single-family residential development standards. The number of lots proposed for the Ritchie Ranch subdivision are within the density range for the Low-Density Residential land use designations and will be compatible with surrounding developed residential areas. Furthermore, the subdivision will develop a network of local streets and improve adjacent Collector and Arterial roadways, thereby facilitating increased street connectivity to accommodate future growth in the vicinity.

Traffic Impact Analysis

A Traffic Impact Analysis (TIA) was prepared for the proposed project (ref.: Ritchie Ranch Residential Development Traffic Impact Study. VRPA Technologies, Inc., July 25, 2025). The purpose of the study is to analyze traffic conditions related to the development of the subdivision

¹ Gov. Code Section 65589.5(j)(1).

and its projected level of service (LOS) at opening year and at various increments, and the corresponding environmental impact as required by the California Environmental Quality Act (CEQA).

The TIA analyzed existing and proposed intersections within vicinity of the project site. The existing and new intersections studied are as follows:

- North Demaree Street/Avenue 320
- North Demaree Street/West Pratt Avenue
- North Demaree Street/West River Way Avenue
- North Demaree Street/West Shannon Parkway
- North Demaree Street/West Riggins Avenue
- North Linwood Street/West Riggins Avenue
- North Linwood Street/West Shannon Parkway (Future Intersection)

The TIA completed for the Project also included level of service (LOS) analysis for the following traffic scenarios.

- Existing Conditions
- Opening Year Without Project
- Opening Year Plus Project
- 5 Year Horizon Without Project
- 5 Year Horizon Plus Project

The TIA concludes that although traffic signals are expected to be needed by 2030 at the intersections of North Demaree Street and Avenue 320, North Demaree Street and West Pratt Avenue, and West Riggins Avenue and North Linwood Street, traffic volumes for the project itself do not warrant traffic signalization by the applicant (though a fair share contribution may be required per City standards). Instead, the Analysis recommends improvements to storage pocket lengths, considering the Future Year 2030 study scenario. The timing of recommended storage pocket length improvements is shown below:

Opening Year Plus Project

North Demaree Street at West Shannon Parkway:

- Provide a 300-foot northbound left turn storage pocket.
- Provide a 100-foot eastbound left turn storage pocket.

Winslow Street at West Shannon Parkway:

- Provide a 100-foot eastbound left turn storage pocket.
- Provide a 100-foot westbound left turn storage pocket.

Future Year 2030 Plus Project

North Demaree Street at West Riggins Avenue:

- For the southbound left turn storage pocket, the City of Visalia will monitor signal timing at the intersection and make adjustments as necessary to maximize vehicular flow at the intersection, since there is insufficient space to extend the southbound left due to the constraint of the northbound left turn pocket at the Demaree Street and Jerome Avenue intersection.
- Provide a 300-foot eastbound left turn storage pocket.

North Linwood Street at West Riggan Avenue:

- Since this intersection is not currently a 'T' intersection, the City of Visalia will monitor the need for intersection improvements and signalization. Once the north leg of Linwood Street is developed by others, the following improvements are recommended.
 - Provide a 100-foot northbound left turn storage pocket.
 - Provide a 100-foot southbound left turn storage pocket.
 - Provide a 100-foot eastbound right turn storage pocket.
 - Provide a 100-foot westbound right turn storage pocket.

These recommended improvements have been included as Ritchie Ranch Tentative Subdivision Map No. 5600, Condition of Approval No. 9, Transportation / Traffic Impact Mitigation Measures 1.1 to 1.4. With the required improvements, there will be a less than significant impact from the project on existing or proposed intersections.

City of Visalia Vehicle Miles Traveled (VMT) Thresholds and Implementation Guidelines

Senate Bill (SB) 743, signed in 2013, changes the way transportation studies are conducted in California CEQA documents. Vehicle miles traveled (VMT) replaces motorist delay and level of service (LOS) as the metric for impact determination. As a result of the final rulemaking surrounding SB 743 and the implementation deadline of July 1, 2020, the City of Visalia adopted VMT thresholds and guidelines (City of Visalia VMT Thresholds and Implementation Guidelines, LSA, adopted March 15, 2021, and updated February 3, 2025) to address the shift from delay-based LOS CEQA traffic analyses to VMT CEQA traffic analyses.

The adopted guidelines provide details on appropriate "screening thresholds" that can be used to identify when a proposed land use project is anticipated to result in a less-than-significant impact without conducting a more detailed VMT analysis. Screening thresholds include:

1. Residential and office projects within a Transit Priority Area.
2. Locally serving retail projects up to 50,000 square feet.
3. Residential, office, or mixed-use projects within low-VMT generating areas.
4. 100 percent affordable housing projects.
5. Projects that are consistent with the City's General Plan and generating fewer than 1,000 daily trips.

A land use project need only meet one of the above screening thresholds to result in a less than significant impact.

The project will result in the addition of 320 single-family residential units, resulting in an increase of population for the City. A rise in population for the area would result in an increased amount of VMT being produced. However, by using the City of Visalia online VMT screening application, the project was determined to be located in TAZ 1204. the average VMT for the project was determined to be 8.82 miles. The average VMT per service population for Tulare County is 13.2. Therefore, the project is determined to be in a low VMT zone, meeting the criteria for screening threshold No. 3 identified above. As a result, the project will result in a less than significant transportation impact.

Street Improvements

The developer of the subdivision will be required to construct major street improvements along North Demaree Street and West Shannon Parkway, with additional minor improvements to West

Riverway Avenue. Improvements along the subdivision frontage for these major streets consist primarily of widening to their ultimate right-of-way design, and installation of curb, gutter, sidewalk, and landscaping.

Street Widening

- West Shannon Parkway is a designated 84-foot-wide collector roadway. The project will require a full 84-foot dedication and complete installation of the street within the midsection of the subdivision, traversing east to west, accommodating eventual development of two travel lanes, curb, gutter, sidewalk, landscaping, on-street parking areas, and a future street median if sufficient right-of-way is available.
- North Demaree Street is a designated 84-foot-wide Minor Arterial roadway that will require completion of the frontage improvements along the subdivision's frontage. Work to be conducted will accommodate the eventual development of curb, gutter, sidewalk, and landscape areas, with the potential for a street median if sufficient right-of-way is available.
- West Riverway Avenue has been designated as a 60-foot-wide local roadway. The street will require a 21.5-foot dedication, to accommodate the eventual development of curb, gutter, sidewalk, and landscape areas along the project sites northern border.

All improvements will be maintained by an LLD. All new utilities that will service the residential subdivision will be placed underground. Per the Phasing Plan in Exhibit "C", improvement of North Demaree Street and installation of the majority of West Shannon Parkway will occur during Phase 1 of the development. Improvements to the remaining portion of West Shannon Parkway and West Riverway Drive would be completed with Phases 3 and 4 of the project.

Local Streets

The subdivision proposes 60-foot-wide City standard local streets providing access to North Demaree Street, West Riverway Avenue, and West Shannon Parkway. Improvements also include a stub street within Phase 2, providing a connection to future development to the west. The street connections proposed with the subdivision will serve to improve circulation for the general area.

Solid Waste/Fire Department Service

In the past concerns have been identified by the Solid Waste Division and Fire Department regarding the maneuvering of solid waste and fire vehicles around proposed modified knuckles within the small lot subdivisions. The following recommendations are provided to address the issue, and have been incorporated into the conditions of approval for Ritchie Ranch Tentative Subdivision Map No. 5600:

- Condition No. 7 - That the local streets within Ritchie Ranch Tentative Subdivision Map No. 5600 shall be kept free and clear of vehicles on trash pick-up days. Signage shall be placed throughout the subdivision informing residents of this requirement.
- Condition No. 8 – That the curvilinear non-standard roadway knuckles within the Ritchie Ranch Tentative Subdivision Map No. 5600 shall be painted red to prevent on-street parking of vehicles.

Planned Residential Development

The applicant has submitted a Conditional Use Permit request for a Planned Residential Development (PRD) to allow deviations from R-1-5 development standards. Proposed deviations are for reduced lot sizes, reduced setbacks, and non-standard roadway designs in the form of modified cul-de-sac knuckles.

Pursuant to Zoning Ordinance Chapter 17.26 (Planned Development), development standards may be deviated in order to maximize the benefits derived from unique projects that could not otherwise be accommodated by adherence to Visalia Municipal Code standards. The proposed modifications can be supported on the basis that the resulting buildable lots, as conditioned, will be fully functional without undue intrusion or conflict with adjacent residences, there will be sufficient open space provided via two larger public parks to accommodate the needs of residents, and because lots adjacent to typical single-family residential development is consistent with the development pattern and residential density of the adjacent areas. The applicant also proposes additional architectural ornamentation for residences (Note: this is further discussed in the “Building Elevations/Floor Plans” section of this report).

Furthermore, lots will be within the density range required by Low Density Residential development. At 7.13 units to the acre, the development is at the high end of the 2 to 10 units per acre density range of the Low-Density Residential land use designation. Setback and street knuckle reductions are supported because sufficient open space is provided, in the form of two large parks. Additionally, reduced setbacks permit a small lot subdivision that nevertheless contains at least 450 square feet of open rear yard area and adequate space for the development of three to four bedroom units.

Agricultural Preservation Ordinance

The project site is designated as Prime Farmland as defined per the Tulare County Farmland Mapping and Monitoring Program. The project site is also within the City’s Tier I urban development boundary. As a result, the development of this site is exempt from the requirements of the Agricultural Preservation Ordinance.

Landscape and Lighting Assessment District

A Landscaping and Lighting District (LLD) will be required for the long-term maintenance of the outlots, which includes the parks, block walls, streetlights, landscaping, and all park amenities as noted on the subdivision map in condition “A”. The block walls along street frontages will be typical City standard block walls. The subdivision map block wall heights will be reduced to three feet where the block wall runs adjacent to the front yard setback areas. The three-foot transition areas are applicable for the corner residential lots within the subdivision. Staff has included this requirement as Ritchie Ranch Tentative Subdivision Map No. 5600, Condition No. 4.

Staff also notes that Lots 182 and 183 of the subdivision abut one of the proposed parks. In order to prevent impacts from usage of the park on the existing and future residences, staff recommends the inclusion of Ritchie Ranch Tentative Subdivision Map No. 5600, Condition No. 12 and Conditional Use Permit No. 2024-23, Condition No. 10, requiring placement of a seven-foot-tall block wall along the property boundaries shared between the residential lots and park, except within the 15-foot front yard setback areas of applicable lots, in which a three-foot-tall block wall shall be placed. These walls shall also be maintained by the Lighting and Landscape District.

Outlots for Parks

The project delineates two outlots totaling 1.94 acres for use as public parks, one to be located on the north and south sides of the West Shannon Parkway. The parks are intended to provide open space amenities to residents of the small lot subdivision. The park will contain several amenities for use by residents including play equipment, seating areas, and open space lawns.

Infrastructure

The project will require improvements to the following infrastructure:

- **Water Service:** Staff has included Condition No. 5 for Ritchie Ranch Tentative Subdivision Map No. 5600 and Condition No. 7 for Conditional Use Permit No. 2024-23, which requires

a valid Will Serve Letter from the California Water Service Company if, prior to development of the subdivision and/or multi-family complex, the determination of water availability letter lapses. The current Will Serve Letter is included as a part of the report.

- **Sanitary Sewer:** The sewer system will have to be extended to the boundaries of the development where future connection and extension is anticipated. The sewer system will be sized in order to service the entire subdivision. The developer will be required to coordinate with City staff on design and construction requirements for the sanitary sewer. The sanitary sewer master plan for the entire development will be required to be submitted for review prior to approval of any portion of the system.
- **Storm Drainage:** Per Exhibit “A”, the subdivision will provide a storm drain easement, connecting to the existing basin west of the project site. Storm water and storm drainage facilities, and any necessary changes thereof, will be facilitated between the applicant and City during civil design to ensure compliance with the City storm drain master plan (currently in draft form).
- **Canal:** Development of local roadways and lots for the Ritchie Ranch Subdivision will necessitate the abandonment of the Modoc Ditch along the project sites northern boundary. This has been previously approved by the Modoc Ditch Company (see letter included in the staff report). Additional improvements shall occur to the portion of the Modoc Ditch that traverses the southern property boundary and a portion of the western property boundary. Improvements will require coordination with the City, Modoc Ditch Company, and developer for the specified alterations.

Infrastructure improvements are codified via Condition No. 1 of the Ritchie Ranch Tentative Subdivision Map No. 5600 and Condition No. 2 of Conditional Use Permit No. 2024-23.

Building Elevations/Floor Plans

Building elevations and floor plans for the development are included in Exhibit “D”. Per the submittal, the development will consist of a mix of single and two-story units averaging 1,757 square feet in size and ranging from 1,341 square feet to 2,116 square feet of livable space. The proposed street facing façades of the units will feature modern shaping with architectural ornamentation in the form of mixed exterior treatments (brick, stucco, siding), foam window borders, window shutters, decorative lighting fixtures, varying roof treatments, and other decorative elements. Rear and side elevations will only contain ornamentation on the 2nd story of a unit, primarily foam window borders.

As a Planned Unit Development, the Visalia Municipal Code encourages maximizing benefits to future residents of the subdivision. Ornamentation proposed is considered sufficient to meet the City’s requirements. To that effect, staff recommends the inclusion of Ritchie Ranch Tentative Subdivision Map No. 5600, Condition No. 6 and Conditional Use Permit No. 2024-23, Condition No. 3 requiring compliance with the building elevations in Exhibit “D”.

Consistency with the exterior elevations will be enforced through the Building Permit process. Please note that recently adopted Objective Design Standards do not apply to this project, as the subdivision/conditional use permit application was already in process at the time of adoption.

Subdivision Map Act

California Government Code Section 66474 lists seven findings for which a legislative body of a city or county shall deny approval of a tentative map if it is able to make any of these findings. These seven “negative” findings have come to light through a recent California Court of Appeal decision (Spring Valley Association v. City of Victorville) that has clarified the scope of findings

that a city or county must make when approving a tentative map under the California Subdivision Map Act.

Staff has reviewed the seven findings for a cause of denial and finds that none of the findings can be made for the proposed project. The seven findings and staff analysis are below. Recommended findings in response to this Government Code section are included in the recommended findings for the approval of the tentative subdivision and tentative parcel map.

<u>GC Section 66474 Finding</u>	<u>Analysis</u>
(a) That the proposed map is not consistent with applicable general and specific plans as specified in Section 65451.	The proposed map has been found to be consistent with the City's General Plan. This is included as recommended Finding No. 1 of the Tentative Subdivision Map. There are no specific plans applicable to the proposed map.
(b) That the design or improvement of the proposed subdivision is not consistent with applicable general and specific plans.	The proposed design and improvement of the map has been found to be consistent with the City's General Plan. This is included as recommended Finding No. 1 of the Tentative Subdivision Map. There are no specific plans applicable to the proposed map.
(c) That the site is not physically suitable for the type of development.	The site is physically suitable for the proposed map and its affiliated development plan, which is designated as Residential Low Density and developed at a density of 7.13 units per acre, consistent with the land use designation. This is included as recommended Finding No. 3 of the Tentative Subdivision Map.
(d) That the site is not physically suitable for the proposed density of development.	The site is physically suitable for the proposed map and its affiliated development plan, which is designated as Residential Low Density. This is included as recommended Finding No. 4 of the Tentative Subdivision Map.
(e) That the design of the subdivision or the proposed improvements are likely to cause substantial environmental damage or substantially and avoidably injure fish or wildlife or their habitat.	The proposed design and improvements of the map have not been found likely to cause environmental damage or substantially and avoidably injure fish or wildlife or their habitat. This finding is further supported by the project's determination of no new effects under the Guidelines for the Implementation of the California Environmental Quality Act (CEQA), included as recommended Finding No. 8 of the Tentative Subdivision Map.
(f) That the design of the subdivision or type of improvements is likely to cause serious public health problems.	The proposed design of the map has been found to not cause serious public health problems. This is included as recommended Finding No. 2 of the Tentative Subdivision Map.
(g) That the design of the subdivision or the type of improvements will conflict with easements, acquired by the public at large, for access through or use of property within the proposed subdivision.	The proposed design of the map does not conflict with any existing or proposed easements located on or adjacent to the subject property. This is included as recommended Finding No. 5 of the Tentative Subdivision Map.

Environmental Review

An Initial Study and Mitigated Negative Declaration were prepared for the proposed project. Initial Study and Mitigated Negative Declaration No. 2024-33 disclosed that environmental impacts are determined to be less than significant with the incorporation of mitigation to address significant impacts to the following resources:

- Four mitigation measures pertaining to Transportation / Traffic to reduce impacts to traffic and circulation.
- Four (4) mitigation measures pertaining to Biological Resources to reduce impacts of the Project to special-status wildlife species.
- Four (4) mitigation measures pertaining to Cultural Resources and Tribal and Cultural Resources to reduce the impacts of the Project on the potential of exposing historical or archaeological materials during construction.

A 20-day review and comment period through the State Clearing House for the Initial Study began on July 31, 2025, and ended on August 20, 2025. The full CEQA document can be viewed **here**.

The City of Visalia received two comment letters in response to the Initial Study / Mitigated Negative Declaration from the San Joaquin Valley Air Pollution Control District (SJVAPCD) and the Department of Toxic Substances Control (DTSC). Both letters are included with the Initial Study / Mitigated Negative Declaration. Comments from the SJVAPCD recommended completion of a Health Risk Assessment to evaluate the risk associated with the Project for sensitive receptors (residences, businesses, hospitals, day-care facilities, health care facilities, etc.). As part of the proposal, the applicant submitted an Air Quality and Greenhouse Gas Assessment (ref: Ritchie Ranch Residential Development Air Quality & Greenhouse Gas Impact Assessment, VRPA Technologies, Inc, January 2025) to analyze any impacts. Per the study, a screening level analysis was conducted, using criteria found in the CARB Handbook: Air Quality and Land Use Handbook: A Community Perspective. The handbook includes a table (depicted in Table 4 of the study) with recommended buffer distances associated with various types of common sources. The screening level analysis for the Project shows that toxic air contaminants (TACs) are not a concern based upon the recommendations provided in Table 4. An evaluation of nearby land uses considering CARB's Pollution Mapping Tool shows that the Project will not place sensitive receptors in the vicinity of existing toxic sources. The Project is located 2 miles from both State Route (SR) 63 and State Route (SR) 198. As a result, a health risk assessment is not needed at this time.

To address the comments raised in DTSC's letter, Ritchie Ranch Tentative Subdivision Map No. 5600, Condition Nos. 12.a and 12.b are recommended for incorporation, listed below as follows:

- a. That prior to site disturbance, the developer/homebuilder shall consult with a qualified hazardous substance professional to determine whether the applicant should obtain soil samples to test for contaminants of concern (COCs), in particular Pesticides and Organochlorine Pesticides (OCPs) historically used on the property. If suggested to be performed, the developer/homebuilder shall have the qualified hazardous substances professional perform the soil sampling per *Interim Guidance for Sampling Agricultural Properties from DTSC*. The developer/homebuilder shall provide the Planning and Community Preservation Director with a copy of all correspondence between the developer/homebuilder and the qualified hazardous substances professional that details the required direction/recommendation on soil samples to test for COCs/OCPs. The City shall require the developer to comply with specified direction/recommendation as required prior to any further site disturbance.

- b. All imported soil and fill material shall be tested to ensure that any contaminants are with DTSC's and the US Environmental Protection Agency's (USEPA's) Regional Screening Levels (RSLs).

Based on the DTSC's letter and the inclusion of the additional project conditions as noted above, the City concludes that the findings and conclusions of the Initial Study / Mitigated Negative Declaration are still applicable. No other formal comments were received as of the publication of this report.

RECOMMENDED FINDINGS

Ritchie Ranch Tentative Subdivision Map No. 5600

1. That the proposed location and layout of the Ritchie Ranch Tentative Subdivision Map No. 5600, its improvements and design, and the conditions under which it will be maintained are consistent with the policies and intent of the General Plan, Zoning Ordinance, and Subdivision Ordinance. The 44.89-acre project site, which is the site of the proposed 320-lot single-family residential subdivision is consistent with Land Use Policy LU-P-19 of the General Plan. Policy LU-P-19 states "ensure that growth occurs in a compact and concentric fashion by implementing the General Plan's phased growth strategy.
2. That the proposed Ritchie Ranch Tentative Subdivision Map No. 5600, its improvements and design, and the conditions under which it will be maintained will not be detrimental to the public health, safety, or welfare, nor materially injurious to properties or improvements in the vicinity, nor is it likely to cause serious public health problems. The proposed tentative subdivision map will be compatible with adjacent land uses. The project site is bordered by existing residential development, and arterial/collector streets.
3. That the site is physically suitable for the proposed tentative subdivision map. The Ritchie Ranch Tentative Subdivision Map No. 5600 is consistent with the intent of the General Plan, Zoning Ordinance, and Subdivision Ordinance, and is not detrimental to the public health, safety, or welfare or materially injurious to properties or improvements in the vicinity. The project site is adjacent to land zoned for residential development, and the subdivision establishes an arterial, collector, and local street pattern that will serve the subject site and the future development of vacant parcels located to the west of the subject site.
4. That the site is physically suitable for the proposed tentative subdivision map and the project's density, which is consistent with the underlying Residential Low Density General Plan Land Use Designation. The proposed location and layout of the Ritchie Ranch Tentative Subdivision Map No. 5600, its improvement and design, and the conditions under which it will be maintained is consistent with the policies and intent of the General Plan, Zoning Ordinance, and Subdivision Ordinance. The 44.89-acre project site, which is the site of the proposed 320-lot single-family residential subdivision is consistent with Land Use Policy LU-P-19 of the General Plan. Policy LU-P-19 states "ensure that growth occurs in a compact and concentric fashion by implementing the General Plan's phased growth strategy.
5. That the proposed Ritchie Ranch Tentative Subdivision Map No. 5600, the design of the subdivision or the type of improvements proposed will not conflict with easements, acquired by the public at large, for access through or use of property within the proposed subdivision. The 320-lot subdivision is designed to comply with the City's Engineering Improvement Standards for major streets. The development of the site with a 320-lot subdivision will improve arterial and collector streets (North Demaree Street, West Shannon Parkway, and West Riverway Avenue), and extend local streets, infrastructure improvements, utilities, right-of-way improvements and a residential lot pattern consistent with existing residential development found in the area.

6. The proposed location of the tentative subdivision map is in accordance with the Visalia General Plan and the objectives of the Zoning and Subdivision Ordinances. The proposed location of the subdivision is in accordance with the objectives of the Zoning Ordinance and the purposes of the zone in which the site is located. General Plan policies identify the implementation of development standards to ensure that new single-family residential development will contribute to positive land use compatibility. The size of the property combined with the number of residential lots proposed is consistent and compatible with existing surrounding residential development.

The proposed project will result in the creation of 320 single-family lots, which is consistent with the General Plan land use designation of Residential Low Density, and its corresponding zoning designations of R-1-5 that is applicable to the site.

7. The Housing Accountability Act (GC section 66589.5) requires local agencies to approve housing developments that are consistent with applicable, objective general plan, zoning, and subdivision standards in effect at the time that the housing development project's application is determined to be complete. A local agency cannot disapprove a project or lower its density unless it finds by a preponderance of the evidence that the project would have a specific, adverse impact on public health or safety, and there is no feasible way to mitigate or avoid the impact. There is no evidence that the project would cause quantifiable significant unavoidable impacts on public health and safety. The project is consistent, compliant, and in conformity with the General Plan, Zoning Ordinance, and development standards.
8. That an Initial Study was prepared for this project, consistent with CEQA, which disclosed that environmental impacts are determined to be not significant and that Mitigated Negative Declaration No. 2024-33, is hereby adopted. Furthermore, the design of the subdivision or the proposed improvements are not likely to cause substantial environmental damage nor substantially and avoidably injure fish or wildlife or their habitat.

Conditional Use Permit No. 2024-23

1. That the proposed project, as conditioned, will not be detrimental to the public health, safety, or welfare, or materially injurious to properties or improvements in the vicinity.
2. That the proposed conditional use permit is consistent with the policies and intent of the General Plan and Zoning Ordinance. Specifically, the project is consistent with the required findings of Zoning Ordinance Section 17.38.110:
 - a. The proposed location of the conditional use is in accordance with the objectives of the Zoning Ordinance and the purposes of the zone in which the site is located. The proposed modifications to the R-1-5 zone standards result in buildable lots, as conditioned, that will be fully functional without undue intrusion or conflict with adjacent residences, and which are consistent with the development pattern and residential density of the surrounding area. The 7.13 units per acre density range of the project site within the Low Density Residential land use designation is in keeping with the respective Low Density Residential land use designation and assist in maximizing the lands usage. Setback reductions maintain typical residential standards and dwelling sizes and are offset by the inclusion of two parks with amenities placed within the subdivision. Furthermore, local streets and infrastructure to be installed shall maintain adequate circulation throughout the site, providing access to amenities within and outside of the development.
 - b. The proposed location of the conditional use and the conditions under which it would be operated or maintained will not be detrimental to the public health, safety, or welfare, nor materially injurious to properties or improvements in the vicinity. The proposed tentative

subdivision map will be compatible with adjacent residential land uses and will improve circulation in the area via improvements to adjacent arterial and collector streets.

- c. That the proposed project is consistent with the policies and intent of the General Plan, Zoning Ordinance, and Subdivision Ordinance. The project specifically supports General Plan Land Use policy related to efficient land use (Policy LU-P-55).
3. That an Initial Study was prepared for this project, consistent with CEQA, which disclosed that environmental impacts are determined to be not significant and that Mitigated Negative Declaration No. 2024-33, is hereby adopted. Furthermore, the design of the subdivision and the proposed improvements are not likely to cause substantial environmental damage nor substantially and avoidably injure fish or wildlife or their habitat.

RECOMMENDED CONDITIONS

Ritchie Ranch Tentative Subdivision Map No. 5600

1. That the subdivision map be developed in substantial compliance with the comments and conditions of the Site Plan Review Committee as set forth under Site Plan Review No. 2023-231 – 1 – 1, incorporated herein by reference.
2. That the Ritchie Ranch Tentative Subdivision Map No. 5600 be prepared in substantial compliance with the subdivision map in Exhibit “A”.
3. That setbacks for the Ritchie Ranch Tentative Subdivision Map No 5600 shall be as follows:

SETBACK STANDARDS					
	Front Yard	Side Yard	Street Side Yard	Rear Yard	Garage
EXISTING R-1-5 SETBACKS	15	5	10	25	22
PROPOSED SETBACKS	12	5	10	10	20

4. That the block walls located within the Landscape and Lighting District lots shall transition to three-foot height within the 15-foot front yard setback areas of the adjoining residential lots of the Ritchie Ranch Tentative Subdivision Map No. 5600 (Exhibit “A”).
5. That prior to the issuance of any residential building permit on the site, the applicant / developer shall obtain and provide the City with a valid Will Serve Letter from the California Water Service Company.
6. That the project be developed in substantial compliance with all improvements depicted and described in Exhibits “A” through “F”.
7. That the local streets within Ritchie Ranch Tentative Subdivision Map No. 5600 shall be kept free and clear of vehicles on trash pick-up days. Signage shall be placed throughout the subdivision informing residents of this requirement.
8. That the curvilinear non-standard roadway knuckles within the Ritchie Ranch Tentative Subdivision Map No. 5600 shall be painted red to prevent on-street parking of vehicles.
9. That the Mitigation Monitoring and Reporting Program and its mitigation measures adopted with the Initial Study / Mitigated Negative Declaration No. 2024-33 (State Clearinghouse 2025071349) are hereby incorporated as conditions of Ritchie Ranch Tentative Subdivision Map No. 5600:

<u>Mitigation Measure</u>	<u>Responsible Party</u>	<u>Timeline</u>
Transportation / Traffic Impact Mitigation Measure 1.1: Demaree Street at Shannon Parkway: <ul style="list-style-type: none"> • Provide a 300-foot northbound left turn storage pocket. • Provide a 100-foot eastbound left turn storage pocket. 	Project Applicant	Mitigation shall be enforced and improvements completed prior to final occupancy of any building within the first phase of development.
Transportation / Traffic Impact Mitigation Measure 1.2: Street L/Winslow Street at Shannon Parkway: <ul style="list-style-type: none"> • Provide a 100-foot eastbound left turn storage pocket. • Provide a 100-foot westbound left turn storage pocket. 	Project Applicant	Mitigation shall be enforced and improvements completed prior to final occupancy of any building within the first phase of development.
Transportation / Traffic Impact Mitigation Measure 1.3: Demaree Street at Riggins Avenue: <ul style="list-style-type: none"> • For the southbound left turn storage pocket, the City of Visalia will monitor signal timing at the intersection and make adjustments as necessary to maximize vehicular flow at the intersection, since there is insufficient space to extend the southbound left due to the constraint of the northbound left turn pocket at the Demaree Street and Jerome Avenue intersection. • Provide a 300-foot eastbound left turn storage pocket. 	Project Applicant, City of Visalia	Mitigation shall be enforced. The City of Visalia will monitor signal timing at the intersection, and improvements will be completed within five years or as warranted, after the occupancy of the first building within the first phase of development.
Transportation / Traffic Impact Mitigation Measure 1.4: Linwood Street at Riggins Avenue. Since this intersection is currently a 'T' intersection, the City of Visalia will monitor the need for intersection improvements and signalization. Once the north leg of Linwood Street is developed by others, the following improvements are recommended: <ul style="list-style-type: none"> • Provide a 100-foot northbound left turn storage pocket. • Provide a 100-foot southbound left turn storage pocket. • Provide a 100-foot eastbound right turn storage pocket. • Provide a 100-foot westbound right turn storage pocket. 	Project Applicant, City of Visalia	Mitigation shall be enforced. The City of Visalia will monitor traffic counts at the intersection, and improvements will be completed within five years or as warranted, after the occupancy of the first building within the first phase of development.

<p>Biological Resources Mitigation Measure 2.1 (Nesting Raptors and Migratory Birds Including Loggerhead Shrike):</p> <p>Construction Timing: If feasible, the project will be implemented outside of the avian nesting season, typically defined as February 1 to August 31.</p> <p>If construction must occur between February 1 and August 31, a qualified biologist will conduct pre-construction surveys for active bird nests within 10 days prior to the start of construction. The survey area will encompass the site and accessible surrounding lands within 250 feet for nesting migratory birds and 500 feet for raptors.</p> <p>Should any active nests be discovered in or near proposed construction zones, the biologist will identify a suitable construction-free buffer around the nest. This buffer will be identified on the ground with flagging or fencing and will be maintained until the biologist has determined that the young have fledged and are capable of foraging independently.</p>	<p>Project Applicant</p>	<p>Mitigation shall be enforced by the project applicant and carried out during operation.</p>
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<p>Biological Resources Mitigation Measure 2.2 (Swainson's Hawk):</p> <p>Construction Timing: Should any active nests be discovered in or near proposed construction zones, the biologist will identify a suitable construction-free buffer around the nest. This buffer will be identified on the ground with flagging or fencing and will be maintained until the biologist has determined that the young have fledged and are capable of foraging independently.</p> <p>Pre-Construction Surveys: If the project must be constructed between March 1 and September 15, a qualified biologist will conduct pre-construction surveys for Swainson's hawk nests on and within ¼ mile of the project site within 10 days of the onset of these activities.</p> <p>Establish Buffers: Should any active nests be discovered in or near proposed construction zones, the biologist will identify a suitable construction-free buffer around the nest. This buffer will be identified on the ground with flagging or fencing and will be maintained until the biologist has determined that the young have fledged.</p> <p>Monitor Nest: Should construction activity be necessary within the designated buffer around an active Swainson's hawk nest, a qualified biologist will monitor the nest daily for one week, and thereafter once a week, for the duration of the activity or until the nest is no longer active, whichever comes first. Should construction activity within the buffer change such that a higher level of disturbance will be generated, monitoring will occur daily for one week and then resume the once-a-week regime. If, at any time, the biologist determines that construction activity may be compromising nesting success, construction activity within the designated buffer will be altered or suspended until the biologist determines that the nest is no longer at risk of failing.</p>	<p>Project Applicant</p>	<p>Mitigation shall be enforced by the project applicant and carried out during operation.</p>
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<p>Biological Resources Mitigation Measure 2.3 (Pallid Bat):</p> <p>Construction Timing: If feasible, demolition and removal of the mature trees will occur outside of the period between April 15 and September 30. This is the time frame within which colony-nesting bats in the vicinity generally assemble, give birth, nurse their young, and ultimately disperse.</p> <p>Pre-Construction Surveys: Within 10 days prior to the removal of the site's trees, a qualified biologist will survey them for roosting bats. The biologist will look for individuals, guano, and staining, and will listen for bat vocalizations. If necessary, the biologist will wait for nighttime emergence of bats from roost sites.</p> <p>Avoidance of Maternity Roosts: Should any active maternity bat roosts be discovered, the biologist will identify a suitable construction-free buffer around the maternity roost. The buffer will be identified on the ground with flagging or fencing, and will be maintained until the biologist has determined that the nursery is no longer active.</p> <p>Humane Eviction of Non-Breeding Bats: If a non-breeding bat colony is found in tree cavities, the individuals will be humanely evicted, under the direction of a qualified biologist, to ensure that bats are not physically harmed by demolition and removal of the trees.</p>	Project Applicant	Mitigation shall be enforced by the project applicant and carried out during operation.
<p>Biological Resources Mitigation Measure 2.4 (Valley Oaks):</p> <p>Avoidance: Should the applicant choose to avoid oak trees, a Valley Oak Management plan will be prepared and implemented, in accordance with the City of Visalia Parks and Recreation Department Urban Forestry Division's Standard Specifications for Building Around Valley Oaks (2007; Appendix D).</p> <p>Mitigation Fees or Replacement Planting: Should avoidance of oak trees not be possible, the applicant will obtain an oak tree removal permit from the City of Visalia, if required by the City of Visalia Oak Tree Preservation Ordinance (Municipal Code Chapter 12.24) at the time of development. Based on the City's tree protection ordinance, compensation for Valley Oak removal will consist of either payment of a mitigation fee (\$120 multiplied by diameter at breast height (DBH) for each tree removed), replacement planting at a ratio of one new oak tree for every inch of DBH of the tree removed, or some combination of the two, as determined in consultation with the City.</p>	Project Applicant	Mitigation shall be enforced by the project applicant and carried out during operation.

<p>Cultural Resources Mitigation Measure 3.1: If unknown precontact or historic-era cultural resources are encountered during Project activities, all ground-disturbing activities within 50 feet of the find shall cease. A Secretary of the Interior-qualified archaeologist and/or historian, as appropriate to the resource and approved by the City, shall evaluate the significance of the resource and recommend appropriate management measures. The City shall consult with interested Native American representatives in determining appropriate mitigation for unearthed cultural resources if the resources are precontact or Native American in nature. Per CEQA Guidelines Section 15126.4(b)(3), project redesign and preservation in place shall be the preferred means to avoid impacts to significant cultural resources (i.e., historical resources). Consistent with CEQA Guidelines Section 15126.4(b)(3)(C), if it is demonstrated that a historical resource cannot be avoided, the qualified archaeologist shall develop mitigation in consultation with the City and interested Native American representatives if the resources are tribal in nature, which may include data recovery or other appropriate measures. If preservation in place is not possible and additional studies or data recovery mitigation is necessary, the qualified archaeologist will prepare a plan outlining the mitigation steps to be approved by the City and the Santa Rosa Rancheria Tachi Yokut Tribe (SRR). Once the plan has been implemented and the resources mitigated, construction can recommence based on the direction of the archaeologist and City concurrence. A formal report documenting the results of mitigation must be prepared as outlined in Cultural Resources Mitigation Measure 3.2.</p>	Project Applicant	Mitigation shall be enforced by the project applicant and carried out during the initial ground disturbance stages of construction for each phase of development.
<p>Cultural Resources Mitigation Measure 3.2: In the event that potential cultural resources are identified, a Secretary of the Interior-qualified archaeologist, approved by the City, will be contracted to provide archaeological monitoring services for the duration of the earthmoving activities. All remaining soils that have not been previously disturbed as part of the project will require archaeological observation. Within 60 days of conclusion of the construction activities, the qualified archaeologist shall prepare a report documenting the results of the monitoring activities, including any finds or other resources observed during the project. All discovered cultural resources will be documented on California Department of Parks and Recreation 523 series forms. A copy of the report shall be provided to City, the SRR, and the Southern San Joaquin Valley Information Center (SSJVIC).</p>	Project Applicant	Mitigation shall be enforced by the project applicant and carried out during development or ground moving activities for each phase of development.
<p>Cultural Resources Mitigation Measure 3.3: As requested by the Santa Rosa Rancheria Tachi Yokut Tribe, the City also will notify the SRR of any inadvertent discoveries within 24 hours of the find. If inadvertent tribal cultural resources are identified, the SRR will be contracted to provide tribal monitoring services for the duration of the earthmoving activities. All remaining soils that</p>	Project Applicant	Mitigation shall be enforced by the project applicant and carried out during construction of the entire project.

have not been previously disturbed as part of the project will require tribal observation.		
Cultural Resources Mitigation Measure 3.4: In the event human remains are uncovered during Project activities, the Tulare County Coroner is to be immediately notified to evaluate the remains, and follow the procedures and protocols set forth in CEQA Guidelines Section 15064.5 (e)(1). If the remains are identified to be those of a Native American person, California Health and Safety Code 7050.5 requires that the county coroner notify the Native American Heritage Commission within 24 hours of discovery. The NAHC will then identify the Most Likely Descendant, who will be afforded the opportunity to recommend means for treatment of the human remains following protocols in California PRC 5097.98.	Project Applicant	Mitigation shall be enforced by the project applicant and carried out during construction of the entire project.

10. That the following conditions in response to the Department of Toxic Substances Control (DTSC) comment letter be met during construction and upon final occupancy and ongoing operation of the project:

- a. That prior to site disturbance, the developer/homebuilder shall consult with a qualified hazardous substance professional to determine whether the applicant should obtain soil samples to test for contaminants of concern (COCs), in particular Pesticides and Organochlorine Pesticides (OCPs) historically used on the property. If suggested to be performed, the developer/homebuilder shall have the qualified hazardous substances professional perform the soil sampling per Interim Guidance for Sampling Agricultural Properties from DTSC. The developer/homebuilder shall provide the Planning and Community Preservation Director with a copy of all correspondence between the developer/homebuilder and the qualified hazardous substances professional that details the required direction/recommendation on soil samples to test for COCs/OCPs. The City shall require the developer to comply with specified direction/recommendation as required prior to any further site disturbance.
- b. All imported soil and fill material shall be tested to ensure that any contaminants are with DTSC's and the US Environmental Protection Agency's (USEPA's) Regional Screening Levels (RSLs).

11. That the height of six foot tall block wall along the southern boundary of Lots 80 through 108 shall be measured from the adjacent grade of the outlot.

12. That a seven-foot-tall block wall shall be installed along the shared boundaries of Outlot F, Lot 182, and Lot 183 of the Ritchie Ranch Tentative Subdivision Map No. 5600. The block wall shall transition to a three-foot-tall block wall within the 15-foot front yard setback areas of Lots 182 and 183. The walls shall also be maintained by the Lighting and Landscape District for the Ritchie Ranch Tentative Subdivision Map No. 5600.

13. That all applicable federal, state, regional, and city policies and ordinances be met.

Conditional Use Permit No. 2024-23

1. That the planned residential development be prepared in substantial compliance with Exhibit "A", which incorporates a total of 320 single-family residential units and related public and private infrastructure.

2. That the subdivision map be developed in substantial compliance with the comments and conditions of the Site Plan Review Committee as set forth under Site Plan Review No. Site Plan Review No. 2023-231 – 1 – 1, incorporated herein by reference.
3. That the project be developed in substantial compliance with all improvements depicted and described in Exhibits “A” through “F”.
4. That Ritchie Ranch Tentative Subdivision Map No. 5600 shall be approved, and that requirements of the use permit which relate to this map shall be fulfilled.
5. That the timeline for the lapse of this Conditional Use Permit shall be tied to the timeline for the Ritchie Ranch Tentative Subdivision Map No. 5600.
6. That setbacks for the Ritchie Ranch Tentative Subdivision Map No 5600 shall be as follows:

SETBACK STANDARDS					
	Front Yard	Side Yard	Street Side Yard	Rear Yard	Garage
EXISTING R-1-5 SETBACKS	15	5	10	25	22
PROPOSED SETBACKS	12	5	10	10	20

7. That prior to the issuance of any residential building permit on the site, the applicant / developer shall obtain and provide the City with a valid Will Serve Letter from the California Water Service Company.
8. That the Mitigation Monitoring and Reporting Program and its mitigation measures adopted with the Initial Study / Mitigated Negative Declaration No. 2024-33 (State Clearinghouse 2025071349) are hereby incorporated as conditions of Ritchie Ranch Tentative Subdivision Map No. 5600:

<u>Mitigation Measure</u>	<u>Responsible Party</u>	<u>Timeline</u>
Transportation / Traffic Impact Mitigation Measure 1.1: Demaree Street at Shannon Parkway: <ul style="list-style-type: none"> Provide a 300-foot northbound left turn storage pocket. Provide a 100-foot eastbound left turn storage pocket. 	Project Applicant	Mitigation shall be enforced and improvements completed prior to final occupancy of any building within the first phase of development.
Transportation / Traffic Impact Mitigation Measure 1.2: Street L/Winslow Street at Shannon Parkway: <ul style="list-style-type: none"> Provide a 100-foot eastbound left turn storage pocket. Provide a 100-foot westbound left turn storage pocket. 	Project Applicant	Mitigation shall be enforced and improvements completed prior to final occupancy of any building within the first phase of development.
Transportation / Traffic Impact Mitigation Measure 1.3: Demaree Street at Riggins Avenue: <ul style="list-style-type: none"> For the southbound left turn storage pocket, the City of Visalia will monitor signal timing at the intersection and make adjustments as necessary to maximize vehicular flow at the intersection, since there is insufficient space to extend the southbound left due to the constraint of the northbound left turn pocket at the Demaree Street and Jerome Avenue intersection. Provide a 300-foot eastbound left turn storage pocket. 	Project Applicant, City of Visalia	Mitigation shall be enforced. The City of Visalia will monitor signal timing at the intersection, and improvements will be completed within five years or as warranted, after the occupancy of the first building within the first phase of development.

<p>Transportation / Traffic Impact Mitigation Measure 1.4: Linwood Street at Riggins Avenue. Since this intersection is currently a 'T' intersection, the City of Visalia will monitor the need for intersection improvements and signalization. Once the north leg of Linwood Street is developed by others, the following improvements are recommended:</p> <ul style="list-style-type: none"> • Provide a 100-foot northbound left turn storage pocket. • Provide a 100-foot southbound left turn storage pocket. • Provide a 100-foot eastbound right turn storage pocket. • Provide a 100-foot westbound right turn storage pocket. 	<p>Project Applicant, City of Visalia</p>	<p>Mitigation shall be enforced. The City of Visalia will monitor traffic counts at the intersection, and improvements will be completed within five years or as warranted, after the occupancy of the first building within the first phase of development.</p>
<p>Biological Resources Mitigation Measure 2.1 (Nesting Raptors and Migratory Birds Including Loggerhead Shrike):</p> <p>Construction Timing: If feasible, the project will be implemented outside of the avian nesting season, typically defined as February 1 to August 31.</p> <p>If construction must occur between February 1 and August 31, a qualified biologist will conduct pre-construction surveys for active bird nests within 10 days prior to the start of construction. The survey area will encompass the site and accessible surrounding lands within 250 feet for nesting migratory birds and 500 feet for raptors.</p> <p>Should any active nests be discovered in or near proposed construction zones, the biologist will identify a suitable construction-free buffer around the nest. This buffer will be identified on the ground with flagging or fencing and will be maintained until the biologist has determined that the young have fledged and are capable of foraging independently.</p>	<p>Project Applicant</p>	<p>Mitigation shall be enforced by the project applicant and carried out during operation.</p>

<p>Biological Resources Mitigation Measure 2.2 (Swainson's Hawk):</p> <p>Construction Timing: Should any active nests be discovered in or near proposed construction zones, the biologist will identify a suitable construction-free buffer around the nest. This buffer will be identified on the ground with flagging or fencing and will be maintained until the biologist has determined that the young have fledged and are capable of foraging independently.</p> <p>Pre-Construction Surveys: If the project must be constructed between March 1 and September 15, a qualified biologist will conduct pre-construction surveys for Swainson's hawk nests on and within ¼ mile of the project site within 10 days of the onset of these activities.</p> <p>Establish Buffers: Should any active nests be discovered in or near proposed construction zones, the biologist will identify a suitable construction-free buffer around the nest. This buffer will be identified on the ground with flagging or fencing and will be maintained until the biologist has determined that the young have fledged.</p> <p>Monitor Nest: Should construction activity be necessary within the designated buffer around an active Swainson's hawk nest, a qualified biologist will monitor the nest daily for one week, and thereafter once a week, for the duration of the activity or until the nest is no longer active, whichever comes first. Should construction activity within the buffer change such that a higher level of disturbance will be generated, monitoring will occur daily for one week and then resume the once-a-week regime. If, at any time, the biologist determines that construction activity may be compromising nesting success, construction activity within the designated buffer will be altered or suspended until the biologist determines that the nest is no longer at risk of failing.</p>	Project Applicant	Mitigation shall be enforced by the project applicant and carried out during operation.
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<p>Biological Resources Mitigation Measure 2.3 (Pallid Bat):</p> <p>Construction Timing: If feasible, demolition and removal of the mature trees will occur outside of the period between April 15 and September 30. This is the time frame within which colony-nesting bats in the vicinity generally assemble, give birth, nurse their young, and ultimately disperse.</p> <p>Pre-Construction Surveys: Within 10 days prior to the removal of the site's trees, a qualified biologist will survey them for roosting bats. The biologist will look for individuals, guano, and staining, and will listen for bat vocalizations. If necessary, the biologist will wait for nighttime emergence of bats from roost sites.</p> <p>Avoidance of Maternity Roosts: Should any active maternity bat roosts be discovered, the biologist will identify a suitable construction-free buffer around the maternity roost. The buffer will be identified on the ground with flagging or fencing, and will be maintained until the biologist has determined that the nursery is no longer active.</p> <p>Humane Eviction of Non-Breeding Bats: If a non-breeding bat colony is found in tree cavities, the individuals will be humanely evicted, under the direction of a qualified biologist, to ensure that bats are not physically harmed by demolition and removal of the trees.</p>	Project Applicant	Mitigation shall be enforced by the project applicant and carried out during operation.
<p>Biological Resources Mitigation Measure 2.4 (Valley Oaks):</p> <p>Avoidance: Should the applicant choose to avoid oak trees, a Valley Oak Management plan will be prepared and implemented, in accordance with the City of Visalia Parks and Recreation Department Urban Forestry Division's Standard Specifications for Building Around Valley Oaks (2007; Appendix D).</p> <p>Mitigation Fees or Replacement Planting: Should avoidance of oak trees not be possible, the applicant will obtain an oak tree removal permit from the City of Visalia, if required by the City of Visalia Oak Tree Preservation Ordinance (Municipal Code Chapter 12.24) at the time of development. Based on the City's tree protection ordinance, compensation for Valley Oak removal will consist of either payment of a mitigation fee (\$120 multiplied by diameter at breast height (DBH) for each tree removed), replacement planting at a ratio of one new oak tree for every inch of DBH of the tree removed, or some combination of the two, as determined in consultation with the City.</p>	Project Applicant	Mitigation shall be enforced by the project applicant and carried out during operation.

<p>Cultural Resources Mitigation Measure 3.1: If unknown precontact or historic-era cultural resources are encountered during Project activities, all ground-disturbing activities within 50 feet of the find shall cease. A Secretary of the Interior-qualified archaeologist and/or historian, as appropriate to the resource and approved by the City, shall evaluate the significance of the resource and recommend appropriate management measures. The City shall consult with interested Native American representatives in determining appropriate mitigation for unearthed cultural resources if the resources are precontact or Native American in nature. Per CEQA Guidelines Section 15126.4(b)(3), project redesign and preservation in place shall be the preferred means to avoid impacts to significant cultural resources (i.e., historical resources). Consistent with CEQA Guidelines Section 15126.4(b)(3)(C), if it is demonstrated that a historical resource cannot be avoided, the qualified archaeologist shall develop mitigation in consultation with the City and interested Native American representatives if the resources are tribal in nature, which may include data recovery or other appropriate measures. If preservation in place is not possible and additional studies or data recovery mitigation is necessary, the qualified archaeologist will prepare a plan outlining the mitigation steps to be approved by the City and the Santa Rosa Rancheria Tachi Yokut Tribe (SRR). Once the plan has been implemented and the resources mitigated, construction can recommence based on the direction of the archaeologist and City concurrence. A formal report documenting the results of mitigation must be prepared as outlined in Cultural Resources Mitigation Measure 3.2.</p>	<p>Project Applicant</p>	<p>Mitigation shall be enforced by the project applicant and carried out during the initial ground disturbance stages of construction for each phase of development.</p>
<p>Cultural Resources Mitigation Measure 3.2: In the event that potential cultural resources are identified, a Secretary of the Interior-qualified archaeologist, approved by the City, will be contracted to provide archaeological monitoring services for the duration of the earthmoving activities. All remaining soils that have not been previously disturbed as part of the project will require archaeological observation. Within 60 days of conclusion of the construction activities, the qualified archaeologist shall prepare a report documenting the results of the monitoring activities, including any finds or other resources observed during the project. All discovered cultural resources will be documented on California Department of Parks and Recreation 523 series forms. A copy of the report shall be provided to City, the SRR, and the Southern San Joaquin Valley Information Center (SSJVIC).</p>	<p>Project Applicant</p>	<p>Mitigation shall be enforced by the project applicant and carried out during development or ground moving activities for each phase of development.</p>
<p>Cultural Resources Mitigation Measure 3.3: As requested by the Santa Rosa Rancheria Tachi Yokut Tribe, the City also will notify the SRR of any inadvertent discoveries within 24 hours of the find. If inadvertent tribal cultural resources are identified, the SRR will be contracted to provide tribal monitoring services for the duration of the earthmoving activities. All remaining soils that</p>	<p>Project Applicant</p>	<p>Mitigation shall be enforced by the project applicant and carried out during construction of the entire project.</p>

have not been previously disturbed as part of the project will require tribal observation.		
Cultural Resources Mitigation Measure 3.4: In the event human remains are uncovered during Project activities, the Tulare County Coroner is to be immediately notified to evaluate the remains, and follow the procedures and protocols set forth in CEQA Guidelines Section 15064.5 (e)(1). If the remains are identified to be those of a Native American person, California Health and Safety Code 7050.5 requires that the county coroner notify the Native American Heritage Commission within 24 hours of discovery. The NAHC will then identify the Most Likely Descendant, who will be afforded the opportunity to recommend means for treatment of the human remains following protocols in California PRC 5097.98.	Project Applicant	Mitigation shall be enforced by the project applicant and carried out during construction of the entire project.

9. That the height of six foot tall block wall along the southern boundary of Lots 80 through 108 shall be measured from the adjacent grade of the outlot.
10. That a seven-foot-tall block wall shall be installed along the shared boundaries of Outlot F, Lot 182, and Lot 183 of the Ritchie Ranch Tentative Subdivision Map No. 5600. The block wall shall transition to a three-foot-tall block wall within the 15-foot front yard setback areas of Lots 182 and 183. The walls shall also be maintained by the Lighting and Landscape District for the Ritchie Ranch Tentative Subdivision Map No. 5600.
11. That all applicable federal, state, regional, and city policies and ordinances be met.

APPEAL INFORMATION

According to the City of Visalia Subdivision Ordinance Section 16.28.080, an appeal to the City Council may be submitted within ten days following the date of a decision by the Planning Commission. An appeal with applicable fees shall be in writing and shall be filed with the City Clerk at 220 North Santa Fe Street, Visalia, CA. The appeal shall specify errors or abuses of discretion by the Planning Commission, or decisions not supported by the evidence in the record. The appeal form can be found on the City's website www.visalia.city or from the City Clerk.

Attachments:

- Related Plans and Policies
- Resolution No. 2024-39 – Ritchie Ranch Tentative Subdivision Map No. 5600
- Resolution No. 2024-40 – Conditional Use Permit No. 2024-23
- Exhibit "A" – Ritchie Ranch Tentative Subdivision Map No. 5600 and Street Cross Sections
- Exhibit "B" – Lot and Sight Triangle Exhibit
- Exhibit "C" – Phasing and Yard Deviation Exhibit
- Exhibit "D" – Floor Plans and Building Elevations (Alfa, Celestial, and Treasure)
- Exhibit "E" – Preliminary Landscape Plan
- Exhibit "F" – Operational Statement
- California Water Service – Will Serve Letter
- Modoc Ditch Company – Ditch Abandonment Letter
- Initial Study / Mitigated Negative Declaration No. 2024-33
- [Technical Study Attachments](#)
- Environmental Review Comments Received
- Site Plan Review Item No. 2023-231 - 1 - 1
- General Plan Land Use Map
- Zoning Map
- Aerial Map
- Location Map

RELATED PLANS AND POLICIES

General Plan and Zoning: The following General Plan and Zoning Ordinance policies apply to the proposed project:

General Plan Land Use Policies:

LU-P-55: Update the Zoning Ordinance to reflect the Low Density Residential designation on the Land Use Diagram for development at 2 to 10 dwelling units per gross acre, facilitating new planned neighborhoods and infill development in established areas. This designation is intended to provide for single-family detached housing with densities typical of single-family subdivisions. Duplex units, townhouses, and small-lot detached housing may be incorporated as part of Low Density Residential developments. Development standards will ensure that a desirable single-family neighborhood character is maintained.

Zoning Ordinance Chapter for R-1 Zone

Chapter 17.12

R-1 SINGLE-FAMILY RESIDENTIAL ZONE

17.12.010 Purpose and intent.

In the R-1 single-family residential zones (R-1-5, R-1-12.5, and R-1-20), the purpose and intent is to provide living area within the city where development is limited to low density concentrations of one-family dwellings where regulations are designed to accomplish the following: to promote and encourage a suitable environment for family life; to provide space for community facilities needed to compliment urban residential areas and for institutions that require a residential environment; to minimize traffic congestion and to avoid an overload of utilities designed to service only low density residential use.

17.12.015 Applicability.

The requirements in this chapter shall apply to all property within R-1 zone districts.

17.12.020 Permitted uses.

In the R-1 single-family residential zones, the following uses shall be permitted by right:

- A. One-family dwellings;
- B. Raising of fruit and nut trees, vegetables and horticultural specialties;
- C. Accessory structures located on the same site with a permitted use including private garages and carports, one guest house, storehouses, garden structures, green houses, recreation room and hobby shops;
- D. Swimming pools used solely by persons resident on the site and their guests; provided, that no swimming pool or accessory mechanical equipment shall be located in a required front yard or in a required side yard;
- E. Temporary subdivision sales offices;
- F. Licensed day care for a maximum of fourteen (14) children in addition to the residing family;
- G. Twenty-four (24) hour residential care facilities or foster homes, for a maximum of six individuals in addition to the residing family;
- H. Signs subject to the provisions of Chapter 17.48;
- I. The keeping of household pets, subject to the definition of household pets set forth in Section 17.04.030;
- J. Accessory dwelling units as specified in Sections 17.12.140 through 17.12.200;
- K. Adult day care up to twelve (12) persons in addition to the residing family;

- L. Other uses similar in nature and intensity as determined by the city planner;
- M. Legally existing multiple family units, and expansion or reconstruction as provided in Section 17.12.070.
- N. Transitional or supportive housing for six (6) or fewer resident/clients.
- O. In the R-1-20 zone only, the breeding, hatching, raising and fattening of birds, rabbits, chinchillas, hamsters, other small animals and fowl, on a domestic noncommercial scale, provided that there shall not be less than one thousand (1,000) square feet of site area for each fowl or animal and provided that no structure housing poultry or small animals shall be closer than fifty (50) feet to any property line, closer than twenty-five (25) feet to any dwelling on the site, or closer than fifty (50) feet to any other dwelling;
- P. In the R-1-20 zone only, the raising of livestock, except pigs of any kind, subject to the exception of not more than two cows, two horses, four sheep or four goats for each site, shall be permitted; provided, that there be no limitation on the number of livestock permitted on a site with an area of ten acres or more and provided that no stable be located closer than fifty (50) feet to any dwelling on the site or closer than one hundred (100) feet to any other dwelling;

17.12.030 Accessory uses.

In the R-1 single-family residential zone, the following accessory uses shall be permitted, subject to specified provisions:

- A. Home occupations subject to the provisions of Section 17.32.030;
- B. Accessory buildings subject to the provisions of Section 17.12.100(B).
- C. Cottage Food Operations subject to the provisions of Health and Safety Code 113758 and Section 17.32.035.

17.12.040 Conditional uses.

In the R-1 single-family residential zone, the following conditional uses may be permitted in accordance with the provisions of Chapter 17.38:

- A. Planned development subject to the provisions of Chapter 17.26;
- B. Public and quasi-public uses of an educational or religious type including public and parochial elementary schools, junior high schools, high schools and colleges; nursery schools, licensed day care facilities for more than fourteen (14) children; churches, parsonages and other religious institutions;
- C. Public and private charitable institutions, general hospitals, sanitariums, nursing and convalescent homes; not including specialized hospitals, sanitariums, or nursing, rest and convalescent homes including care for acute psychiatric, drug addiction or alcoholism cases;
- D. Public uses of an administrative, recreational, public service or cultural type including city, county, state or federal administrative centers and courts, libraries, museums, art galleries, police and fire stations, ambulance service and other public building, structures and facilities; public playgrounds, parks and community centers;
- E. Electric distribution substations;
- F. Gas regulator stations;
- G. Public service pumping stations, i.e., community water service wells;
- H. Communications equipment buildings;
- I. Planned neighborhood commercial center subject to the provisions of Chapter 17.26;
- J. Residential development specifically designed for senior housing;
- K. Mobile home parks in conformance with Section 17.32.040;

- L. [Reserved.] M. Residential developments utilizing private streets in which the net lot area (lot area not including street area) meets or exceeds the site area prescribed by this article and in which the private streets are designed and constructed to meet or exceed public street standards;
- N. Adult day care in excess of twelve (12) persons;
- O. Duplexes on corner lots;
- P. Twenty-four (24) hour residential care facilities or foster homes for more than six individuals in addition to the residing family;
- Q. Residential structures and accessory buildings totaling more than ten thousand (10,000) square feet;
- R. Other uses similar in nature and intensity as determined by the city planner.
- S. Transitional or supportive housing for seven (7) or more resident/clients.

17.12.050 Site area.

The minimum site area shall be as follows:

Zone	Minimum Site Area
R-1-5	5,000 square feet
R-1-12.5	12,500 square feet
R-1-20	20,000 square feet

A. Each site shall have not less than forty (40) feet of frontage on the public street. The minimum width shall be as follows:

Zone	Interior Lot	Corner Lot
R-1-5	50 feet	60 feet
R-1-12.5	90 feet	100 feet
R-1-20	100 feet	110 feet

B. Minimum width for corner lot on a side on cul-de-sac shall be eighty (80) feet, when there is no landscape lot between the corner lot and the right of way.

17.12.060 One dwelling unit per site.

In the R-1 single-family residential zone, not more than one dwelling unit shall be located on each site, with the exception to Section 17.12.020(J).

17.12.070 Replacement and expansion of legally existing multiple family units.

In accordance with Sections 17.12.020 legally existing multiple family units may be expanded or replaced if destroyed by fire or other disaster subject to the following criteria:

- A. A site plan review permit as provided in Chapter 17.28 is required for all expansions or replacements.
- B. Replacement/expansion of unit(s) shall be designed and constructed in an architectural style compatible with the existing single-family units in the neighborhood. Review of elevations for replacement/expansion shall occur through the site plan review process. Appeals to architectural requirements of the site plan review committee shall be subject to the appeals process set forth in Chapter 17.28.050.
- C. Setbacks and related development standards shall be consistent with existing single-family units in the neighborhood.
- D. Parking requirements set forth in Section 17.34.020 and landscaping requirements shall meet current city standards and shall apply to the entire site(s), not just the replacement unit(s) or expanded area, which may result in the reduction of the number of units on the site.
- E. The number of multiple family units on the site shall not be increased.

F. All rights established under Sections 17.12.020 and 17.12.070 shall be null and void one hundred eighty (180) days after the date that the unit(s) are destroyed (or rendered uninhabitable), unless a building permit has been obtained and diligent pursuit of construction has commenced. The approval of a site plan review permit does not constitute compliance with this requirement.

17.12.080 Front yard.

A. The minimum front yard shall be as follows:

Zone	Minimum Front Yard
R-1-5	Fifteen (15) feet for living space and side-loading garages and twenty-two (22) feet for front-loading garages or other parking facilities, such as, but not limited to, carports, shade canopies, or porte cochere. A Porte Cochere with less than twenty-two (22) feet of setback from property line shall not be counted as covered parking, and garages on such sites shall not be the subject of a garage conversion.
R-1-12.5	Thirty (30) feet
R-1-20	Thirty-five (35) feet

B. On a site situated between sites improved with buildings, the minimum front yard may be the average depth of the front yards on the improved site adjoining the side lines of the site but need not exceed the minimum front yard specified above.

C. On cul-de-sac and knuckle lots with a front lot line of which all or a portion is curvilinear, the front yard setback shall be no less than fifteen (15) feet for living space and side-loading garages and twenty (20) feet for front-loading garages.

17.12.090 Side yards.

A. The minimum side yard shall be five feet in the R-1-5 and R-1-12.5 zone subject to the exception that on the street side of a corner lot the side yard shall be not less than ten feet and twenty-two (22) feet for front loading garages or other parking facilities, such as, but not limited to, carports, shade canopies, or porte cocheres.

B. The minimum side yard shall be ten feet in the R-1-20 zone subject to the exception that on the street side of a corner lot the side yard shall be not less than twenty (20) feet.

C. On a reversed corner lot the side yard adjoining the street shall be not less than ten feet.

D. On corner lots, all front-loading garage doors shall be a minimum of twenty-two (22) feet from the nearest public improvement or sidewalk.

E. Side yard requirements may be zero feet on one side of a lot if two or more consecutive lots are approved for a zero lot line development by the site plan review committee.

F. The placement of any mechanical equipment, including but not limited to, pool/spa equipment and evaporative coolers shall not be permitted in the five-foot side yard within the buildable area of the lot, or within five feet of rear/side property lines that are adjacent to the required side yard on adjoining lots. This provision shall not apply to street side yards on corner lots, nor shall it prohibit the surface mounting of utility meters and/or the placement of fixtures and utility lines as approved by the building and planning divisions.

17.12.100 Rear yard.

In the R-1 single-family residential zones, the minimum yard shall be twenty-five (25) feet, subject to the following exceptions:

A. On a corner or reverse corner lot the rear yard shall be twenty-five (25) feet on the narrow side or twenty (20) feet on the long side of the lot. The decision as to whether the short side or long side is used as the rear yard area shall be left to the applicant's discretion as long as a minimum area of one thousand five hundred (1,500) square feet of usable rear yard area is maintained. The remaining side yard to be a minimum of five feet.

B. Accessory structures not exceeding twelve (12) feet may be located in the required rear yard but not closer than three feet to any lot line provided that not more than twenty (20) percent of the area of the required rear yard shall be covered by structures enclosed on more than one side and not more than forty (40) percent may be covered by structures enclosed on only one side. On a reverse corner lot an accessory structure shall not be located closer to the rear property line than the required side yard on the adjoining key lot. An accessory structure shall not be closer to a side property line adjoining key lot and not closer to a side property line adjoining the street than the required front yard on the adjoining key lot.

C. Main structures may encroach up to five feet into a required rear yard area provided that such encroachment does not exceed one story and that a usable, open, rear yard area of at least one thousand five hundred (1,500) square feet shall be maintained. Such encroachment and rear yard area shall be approved by the city planner prior to issuing building permits.

17.12.110 Height of structures.

In the R-1 single-family residential zone, the maximum height of a permitted use shall be thirty-five (35) feet, with the exception of structures specified in Section 17.12.100(B).

17.12.120 Off-street parking.

In the R-1 single-family residential zone, subject to the provisions of Chapter 17.34.

17.12.130 Fences, walls and hedges.

In the R-1 single-family residential zone, fences, walls and hedges are subject to the provisions of Section 17.36.030.

17.12.135 Lot area less than 5,000 square feet.

A. Notwithstanding Section 17.12.050, lots in the R-1-5 zone may have a lot area of between 3,600 and 4,999 square feet if all of the following standards are met:

1. The Planning Commission finds that the development's overall density is consistent with the General Plan.
2. The maximum number of lots less than 5,000 square feet that may be approved by a tentative subdivision map shall be fifty (50) percent or less of the total lots.
3. Streets shall be constructed to public street standards.
4. Each subdivision with at least 15 lots that are less than 5,000 square feet in size shall make available to buyers at least three (3) different small lot floor plans with at least four (4) available elevation designs for each floor plan to construct on those lots.
5. The primary frontage of the dwelling unit shall face a public street, primary entryway, circulation walkway, or open space with sidewalks that provide delineated paths of travel.
6. The primary frontage of the dwelling unit shall include the primary entrance and at least one window.
7. Required covered parking spaces shall be in garages. Carports are prohibited.
8. The width of the garage shall not be greater than fifty (50) percent of the width of the dwelling unit.
9. The garage shall not extend beyond the front building facade (living area.)
10. All dwelling units shall include a covered front porch at least four (4) feet deep and six (6) feet wide or an uncovered front courtyard at least five (5) feet wide and five (5) feet deep that is surrounded on four sides by the dwelling unit or a wall or fence between three (3) and four (4) feet high with a pedestrian gate or entryway.
11. The building official shall not approve a building permit for a new dwelling unit on a lot with a lot area less than 5,000 square feet until the city planner, or designee, has determined that the standards identified in this section are met.
12. The subdivision shall provide a common, usable open space area of a minimum 3,000 square feet or two hundred fifty (250) square feet per lot under 5,000 square feet, whichever is greater. The area shall

be landscaped and maintained with funding from either a homeowner's association or a landscape and lighting act district.

B. Notwithstanding this Chapter, lots with less than five thousand (5,000) square feet shall have the following minimum dimensions and building setback areas, unless they were approved with a planned development permit:

1. The minimum lot depth shall be seventy (70) feet.
2. The minimum lot width shall be forty-six (46) feet for interior lots and fifty-one (51) feet for corner lots.
3. The minimum front building setback area shall be twelve (12) feet for livable space and twenty (20) feet for garages.
4. The minimum rear yard building setback area shall be fifteen (15) feet.
5. The minimum interior side yard building setback area shall be five (5) feet.
6. The minimum corner side yard building setback area shall be ten (10) feet.
7. The maximum building height shall be thirty-five (35) feet.
8. Lots shall provide for a usable open space area of a minimum three hundred (300) square feet. The open space shall be a minimum fifteen (15) feet wide.

C. Lots less having a lot area of 3,600 square feet, or lots that do not meet the standards in this section may be approved through the planned development permit process per Chapter 17.26. (Ord. 2017-01 (part), 2017)

Chapter 17.38

Conditional Use Permits

17.38.010 Purposes and powers.

In certain zones conditional uses are permitted subject to the granting of a conditional use permit. Because of their unusual characteristics, conditional uses require special consideration so that they may be located properly with respect to the objectives of the zoning ordinance and with respect to their effects on surrounding properties. In order to achieve these purposes and thus give the zone use regulations the flexibility necessary to achieve the objectives of this title, the planning commission is empowered to grant or deny applications for conditional use permits and to impose reasonable conditions upon the granting of such permits.

17.38.020 Application procedures.

- A. Application for a conditional use permit shall be made to the planning commission on a form prescribed by the commission which shall include the following data:
1. Name and address of the applicant;
 2. Statement that the applicant is the owner of the property or is the authorized agent of the owner;
 3. Address and legal description of the property;
 4. The application shall be accompanied by such sketches or drawings as may be necessary by the planning division to clearly show the applicant's proposal;
 5. The purposes of the conditional use permit and the general description of the use proposed;
 6. Additional information as required by the historic preservation advisory committee.
 7. Additional technical studies or reports, as required by the Site Plan Review Committee.
 8. A traffic study or analysis prepared by a certified traffic engineer, as required by the Site Plan Review Committee or Traffic Engineer, that identifies traffic service levels of surrounding arterials, collectors, access roads, and regionally significant roadways impacted by the project and any required improvements to be included as a condition or mitigation measure of the project in order to maintain the required services levels identified in the General Plan Circulation Element.
- B. The application shall be accompanied by a fee set by resolution of the city council sufficient to cover the cost of handling the application.

17.38.030 Lapse of conditional use permit.

A conditional use permit shall lapse and shall become void twenty-four (24) months after the date on which it became effective, unless the conditions of the permit allowed a shorter or greater time limit, or

unless prior to the expiration of twenty-four (24) months a building permit is issued by the city and construction is commenced and diligently pursued toward completion on the site that was the subject of the permit. A permit may be renewed for an additional period of one year; provided, that prior to the expiration of twenty-four (24) months from the date the permit originally became effective, an application for renewal is filed with the planning commission. The commission may grant or deny an application for renewal of a conditional use permit. In the case of a planned residential development, the recording of a final map and improvements thereto shall be deemed the same as a building permit in relation to this section.

17.38.040 Revocation.

Upon violation of any applicable provision of this title, or, if granted subject to a condition or conditions, upon failure to comply with the condition or conditions, a conditional use permit shall be suspended automatically. The planning commission shall hold a public hearing within sixty (60) days, in accordance with the procedure prescribed in Section 17.38.080, and if not satisfied that the regulation, general provision or condition is being complied with, may revoke the permit or take such action as may be necessary to insure compliance with the regulation, general provision or condition. Appeals of the decision of the planning commission may be made to the city council as provided in Section 17.38.120.

17.38.050 New application.

Following the denial of a conditional use permit application or the revocation of a conditional use permit, no application for a conditional use permit for the same or substantially the same conditional use on the same or substantially the same site shall be filed within one year from the date of denial or revocation of the permit unless such denial was a denial without prejudice by the planning commission or city council.

17.38.060 Conditional use permit to run with the land.

A conditional use permit granted pursuant to the provisions of this chapter shall run with the land and shall continue to be valid upon a change of ownership of the site or structure that was the subject of the permit application subject to the provisions of Section 17.38.065.

17.38.065 Abandonment of conditional use permit.

If the use for which a conditional use permit was approved is discontinued for a period of one hundred eighty (180) days, the use shall be considered abandoned and any future use of the site as a conditional use will require the approval of a new conditional use permit.

17.38.070 Temporary uses or structures.

- A. Conditional use permits for temporary uses or structures may be processed as administrative matters by the city planner and/or planning division staff. However, the city planner may, at his/her discretion, refer such application to the planning commission for consideration.
- B. The city planner and/or planning division staff is authorized to review applications and to issue such temporary permits, subject to the following conditions:
 1. Conditional use permits granted pursuant to this section shall be for a fixed period not to exceed thirty (30) days for each temporary use not occupying a structure, including promotional enterprises, or six months for all other uses or structures.
 2. Ingress and egress shall be limited to that designated by the planning division. Appropriate directional signing, barricades, fences or landscaping shall be provided where required. A security officer may be required for promotional events.
 3. Off-street parking facilities shall be provided on the site of each temporary use as prescribed in Section 17.34.020.
 4. Upon termination of the temporary permit, or abandonment of the site, the applicant shall remove all materials and equipment and restore the premises to their original condition.
 5. Opening and closing times for promotional enterprises shall coincide with the hours of operation of the sponsoring commercial establishment. Reasonable time limits for other uses may be set by the city planner and planning division staff.
 6. Applicants for a temporary conditional use permit shall have all applicable licenses and permits prior to issuance of a conditional use permit.
 7. Signing for temporary uses shall be subject to the approval of the city planner.
 8. Notwithstanding underlying zoning, temporary conditional use permits may be granted for fruit and vegetable stands on properties primarily within undeveloped agricultural areas. In reviewing

applications for such stands, issues of traffic safety and land use compatibility shall be evaluated and mitigation measures and conditions may be imposed to ensure that the stands are built and are operated consistent with appropriate construction standards, vehicular access and off-street parking. All fruits and vegetables sold at such stands shall be grown by the owner/operator or purchased by said party directly from a grower/farmer.

9. Fruit/Vegetable stands shall be subject to site plan review.

C. The City Planner shall deny a temporary use permit if findings cannot be made, or conditions exist that would be injurious to existing site, improvements, land uses, surrounding development or would be detrimental to the surrounding area.

D. The applicant or any interested person may appeal a decision of temporary use permit to the planning commission, setting forth the reason for such appeal to the commission. Such appeal shall be filed with the city planner in writing with applicable fees, within ten (10) days after notification of such decision. The appeal shall be placed on the agenda of the commission's next regular meeting. If the appeal is filed within five (5) days of the next regular meeting of the commission, the appeal shall be placed on the agenda of the commission's second regular meeting following the filing of the appeal. The commission shall review the temporary use permit and shall uphold or revise the decision of the temporary use permit, based on the findings set forth in Section 17.38.110. The decision of the commission shall be final unless appealed to the council pursuant to Section 17.02.145.

E. A privately owned parcel may be granted up to six (6) temporary use permits per calendar year.

17.38.080 Public hearing--Notice.

A. The planning commission shall hold at least one public hearing on each application for a conditional use permit.

B. Notice of the public hearing shall be given not less than ten days nor more than thirty (30) days prior to the date of the hearing by mailing a notice of the time and place of the hearing to property owners within three hundred (300) feet of the boundaries of the area occupied or to be occupied by the use that is the subject of the hearing, and by publication in a newspaper of general circulation within the city.

17.38.090 Investigation and report.

The planning staff shall make an investigation of the application and shall prepare a report thereon that shall be submitted to the planning commission. The report can recommend modifications to the application as a condition of approval.

17.38.100 Public hearing--Procedure.

At the public hearing the planning commission shall review the application and the statement and drawing submitted therewith and shall receive pertinent evidence concerning the proposed use and the proposed conditions under which it would be operated or maintained, particularly with respect to the findings prescribed in Section 17.38.110. The planning commission may continue a public hearing from time to time as it deems necessary.

17.38.110 Action by planning commission.

A. The planning commission may grant an application for a conditional use permit as requested or in modified form, if, on the basis of the application and the evidence submitted, the commission makes the following findings:

1. That the proposed location of the conditional use is in accordance with the objectives of the zoning ordinance and the purposes of the zone in which the site is located;

2. That the proposed location of the conditional use and the conditions under which it would be operated or maintained will not be detrimental to the public health, safety or welfare, or materially injurious to properties or improvements in the vicinity.

B. A conditional use permit may be revocable, may be granted for a limited time period, or may be granted subject to such conditions as the commission may prescribe. The commission may grant conditional approval for a permit subject to the effective date of a change of zone or other ordinance amendment.

C. The commission may deny an application for a conditional use permit.

17.38.120 Appeal to city council.

The decision of the City planning commission on a conditional use permit shall be subject to the appeal provisions of section 17.02.145.

17.38.130 Effective date of conditional use permit.

A conditional use permit shall become effective immediately when granted or affirmed by the council, or ten days following the granting of the conditional use permit by the planning commission if no appeal has been filed.

RESOLUTION NO 2024-39

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF VISALIA APPROVING RITCHIE RANCH SUBDIVISION MAP NO. 5600: A REQUEST BY LENNAR HOMES OF CALIFORNIA LLC TO SUBDIVIDE A PARCEL TOTALING APPROXIMATELY 44.89 ACRES INTO 320 LOTS FOR SINGLE-FAMILY RESIDENTIAL USE, SIX OUTLOTS FOR LANDSCAPING, AND TWO OUTLOTS FOR USE AS POCKET PARKS, TO BE LOCATED WITHIN THE R-1-5 (SINGLE-FAMILY RESIDENTIAL, 5,000 SQUARE FOOT MINIMUM SITE AREA) ZONE. THE PROJECT SITE IS LOCATED ON THE SOUTHWEST CORNER OF WEST RIVERWAY AVENUE AND NORTH DEMAREE STREET (APN: 077-060-022).

WHEREAS, Ritchie Ranch Subdivision Map No. 5600 is a request by Lennar Homes of California LLC to subdivide a parcel totaling approximately 44.89 acres into 320 lots for single-family residential use, six outlots for landscaping, and two outlots for use as pocket parks, to be located within the R-1-5 (Single-Family Residential, 5,000 square foot minimum site area) zone. The project site is located on the southwest corner of West Riverway Avenue and North Demaree Street (APN: 077-060-022); and

WHEREAS, the Planning Commission of the City of Visalia, after duly published notice held a public hearing before said Commission on August 25, 2025; and

WHEREAS, the Planning Commission of the City of Visalia finds the tentative subdivision map in accordance with Chapter 16.16 of the Subdivision Ordinance of the City of Visalia, based on the evidence contained in the staff report and testimony presented at the public hearing; and

WHEREAS, an Initial Study was prepared which disclosed that environmental impacts are determined to be less than significant with the incorporation of mitigation to address significant impacts; and

NOW, THEREFORE, BE IT RESOLVED that Mitigated Negative Declaration No. 2024-33 was prepared for Ritchie Ranch Tentative Subdivision Map No. 5600 and Conditional Use Permit No. 2024-23, consistent with the California Environmental Quality Act and City of Visalia Environmental Guidelines.

NOW, THEREFORE, BE IT FURTHER RESOLVED, that the Planning Commission of the City of Visalia approves the proposed tentative subdivision map based on the following specific findings and based on the evidence presented:

1. That the proposed location and layout of the Ritchie Ranch Tentative Subdivision Map No. 5600, its improvements and design, and the conditions under which it will be maintained are consistent with the policies and intent of the General Plan, Zoning Ordinance, and Subdivision Ordinance. The 44.89-acre project site, which is the site of the proposed 320-lot single-family residential subdivision is consistent with Land

Use Policy LU-P-19 of the General Plan. Policy LU-P-19 states “ensure that growth occurs in a compact and concentric fashion by implementing the General Plan’s phased growth strategy.

2. That the proposed Ritchie Ranch Tentative Subdivision Map No. 5600, its improvements and design, and the conditions under which it will be maintained will not be detrimental to the public health, safety, or welfare, nor materially injurious to properties or improvements in the vicinity, nor is it likely to cause serious public health problems. The proposed tentative subdivision map will be compatible with adjacent land uses. The project site is bordered by existing residential development, and arterial/collector streets.
3. That the site is physically suitable for the proposed tentative subdivision map. The Ritchie Ranch Tentative Subdivision Map No. 5600 is consistent with the intent of the General Plan, Zoning Ordinance, and Subdivision Ordinance, and is not detrimental to the public health, safety, or welfare or materially injurious to properties or improvements in the vicinity. The project site is adjacent to land zoned for residential development, and the subdivision establishes an arterial, collector, and local street pattern that will serve the subject site and the future development of vacant parcels located to the west of the subject site.
4. That the site is physically suitable for the proposed tentative subdivision map and the project’s density, which is consistent with the underlying Residential Low Density General Plan Land Use Designation. The proposed location and layout of the Ritchie Ranch Tentative Subdivision Map No. 5600, its improvement and design, and the conditions under which it will be maintained is consistent with the policies and intent of the General Plan, Zoning Ordinance, and Subdivision Ordinance. The 44.89-acre project site, which is the site of the proposed 320-lot single-family residential subdivision is consistent with Land Use Policy LU-P-19 of the General Plan. Policy LU-P-19 states “ensure that growth occurs in a compact and concentric fashion by implementing the General Plan’s phased growth strategy.
5. That the proposed Ritchie Ranch Tentative Subdivision Map No. 5600, the design of the subdivision or the type of improvements proposed will not conflict with easements, acquired by the public at large, for access through or use of property within the proposed subdivision. The 320-lot subdivision is designed to comply with the City’s Engineering Improvement Standards for major streets. The development of the site with a 320-lot subdivision will improve arterial and collector streets (North Demaree Street, West Shannon Parkway, and West Riverway Avenue), and extend local streets, infrastructure improvements, utilities, right-of-way improvements and a residential lot pattern consistent with existing residential development found in the area.
6. The proposed location of the tentative subdivision map is in accordance with the Visalia General Plan and the objectives of the Zoning and Subdivision Ordinances. The proposed location of the subdivision is in accordance with the objectives of the Zoning Ordinance and the purposes of the zone in which the site is located. General Plan policies identify the implementation of development standards to ensure that

new single-family residential development will contribute to positive land use compatibility. The size of the property combined with the number of residential lots proposed is consistent and compatible with existing surrounding residential development.

The proposed project will result in the creation of 320 single-family lots, which is consistent with the General Plan land use designation of Residential Low Density, and its corresponding zoning designations of R-1-5 that is applicable to the site.

7. The Housing Accountability Act (GC section 66589.5) requires local agencies to approve housing developments that are consistent with applicable, objective general plan, zoning, and subdivision standards in effect at the time that the housing development project's application is determined to be complete. A local agency cannot disapprove a project or lower its density unless it finds by a preponderance of the evidence that the project would have a specific, adverse impact on public health or safety, and there is no feasible way to mitigate or avoid the impact. There is no evidence that the project would cause quantifiable significant unavoidable impacts on public health and safety. The project is consistent, compliant, and in conformity with the General Plan, Zoning Ordinance, and development standards.
8. That an Initial Study was prepared for this project, consistent with CEQA, which disclosed that environmental impacts are determined to be not significant and that Mitigated Negative Declaration No. 2024-33, is hereby adopted. Furthermore, the design of the subdivision or the proposed improvements are not likely to cause substantial environmental damage nor substantially and avoidably injure fish or wildlife or their habitat.

BE IT FURTHER RESOLVED that the Planning Commission hereby approves Ritchie Ranch Tentative Subdivision Map No. 5600 on the real property hereinabove described in accordance with the terms of this resolution under the provisions of Section 16.16.110 of the Ordinance Code of the City of Visalia, subject to the following conditions:

1. That the subdivision map be developed in substantial compliance with the comments and conditions of the Site Plan Review Committee as set forth under Site Plan Review No. 2023-231 – 1 – 1, incorporated herein by reference.
2. That the Ritchie Ranch Tentative Subdivision Map No. 5600 be prepared in substantial compliance with the subdivision map in Exhibit "A".
3. That setbacks for the Ritchie Ranch Tentative Subdivision Map No 5600 shall be as follows:

SETBACK STANDARDS					
	Front Yard	Side Yard	Street Side Yard	Rear Yard	Garage
EXISTING R-1-5 SETBACKS	15	5	10	25	22
PROPOSED SETBACKS	12	5	10	10	20

4. That the block walls located within the Landscape and Lighting District lots shall transition to three-foot height within the 15-foot front yard setback areas of the adjoining residential lots of the Ritchie Ranch Tentative Subdivision Map No. 5600 (Exhibit “A”).
5. That prior to the issuance of any residential building permit on the site, the applicant / developer shall obtain and provide the City with a valid Will Serve Letter from the California Water Service Company.
6. That the project be developed in substantial compliance with all improvements depicted and described in Exhibits “A” through “F”.
7. That the local streets within Ritchie Ranch Tentative Subdivision Map No. 5600 shall be kept free and clear of vehicles on trash pick-up days. Signage shall be placed throughout the subdivision informing residents of this requirement.
8. That the curvilinear non-standard roadway knuckles within the Ritchie Ranch Tentative Subdivision Map No. 5600 shall be painted red to prevent on-street parking of vehicles.
9. That the Mitigation Monitoring and Reporting Program and its mitigation measures adopted with the Initial Study / Mitigated Negative Declaration No. 2024-33 (State Clearinghouse 2025071349) are hereby incorporated as conditions of Ritchie Ranch Tentative Subdivision Map No. 5600:

<u>Mitigation Measure</u>	<u>Responsible Party</u>	<u>Timeline</u>
Transportation / Traffic Impact Mitigation Measure 1.1: Demaree Street at Shannon Parkway: <ul style="list-style-type: none"> • Provide a 300-foot northbound left turn storage pocket. • Provide a 100-foot eastbound left turn storage pocket. 	Project Applicant	Mitigation shall be enforced and improvements completed prior to final occupancy of any building within the first phase of development.
Transportation / Traffic Impact Mitigation Measure 1.2: Street L/Winslow Street at Shannon Parkway: <ul style="list-style-type: none"> • Provide a 100-foot eastbound left turn storage pocket. • Provide a 100-foot westbound left turn storage pocket. 	Project Applicant	Mitigation shall be enforced and improvements completed prior to final occupancy of any building within the first phase of development.
Transportation / Traffic Impact Mitigation Measure 1.3: Demaree Street at Riggins Avenue: <ul style="list-style-type: none"> • For the southbound left turn storage pocket, the City of Visalia will monitor signal timing at the intersection and make adjustments as necessary to maximize vehicular flow at the intersection, since there is insufficient space to extend the southbound left due to the constraint of the northbound left turn pocket at 	Project Applicant, City of Visalia	Mitigation shall be enforced. The City of Visalia will monitor signal timing at the intersection, and improvements will be completed within five years or as warranted, after the occupancy of the first building within the first phase of development.

<p>the Demaree Street and Jerome Avenue intersection.</p> <ul style="list-style-type: none"> • Provide a 300-foot eastbound left turn storage pocket. 		
<p>Transportation / Traffic Impact Mitigation Measure 1.4: Linwood Street at Riggan Avenue. Since this intersection is currently a 'T' intersection, the City of Visalia will monitor the need for intersection improvements and signalization. Once the north leg of Linwood Street is developed by others, the following improvements are recommended:</p> <ul style="list-style-type: none"> • Provide a 100-foot northbound left turn storage pocket. • Provide a 100-foot southbound left turn storage pocket. • Provide a 100-foot eastbound right turn storage pocket. • Provide a 100-foot westbound right turn storage pocket. 	<p>Project Applicant, City of Visalia</p>	<p>Mitigation shall be enforced. The City of Visalia will monitor traffic counts at the intersection, and improvements will be completed within five years or as warranted, after the occupancy of the first building within the first phase of development.</p>
<p>Biological Resources Mitigation Measure 2.1 (Nesting Raptors and Migratory Birds Including Loggerhead Shrike):</p> <p>Construction Timing: If feasible, the project will be implemented outside of the avian nesting season, typically defined as February 1 to August 31.</p> <p>If construction must occur between February 1 and August 31, a qualified biologist will conduct pre-construction surveys for active bird nests within 10 days prior to the start of construction. The survey area will encompass the site and accessible surrounding lands within 250 feet for nesting migratory birds and 500 feet for raptors.</p> <p>Should any active nests be discovered in or near proposed construction zones, the biologist will identify a suitable construction-free buffer around the nest. This buffer will be identified on the ground with flagging or fencing and will be maintained until the biologist has determined that the young have fledged and are capable of foraging independently.</p>	<p>Project Applicant</p>	<p>Mitigation shall be enforced by the project applicant and carried out during operation.</p>

<p>Biological Resources Mitigation Measure 2.2 (Swainson's Hawk):</p> <p>Construction Timing: Should any active nests be discovered in or near proposed construction zones, the biologist will identify a suitable construction-free buffer around the nest. This buffer will be identified on the ground with flagging or fencing and will be maintained until the biologist has determined that the young have fledged and are capable of foraging independently.</p> <p>Pre-Construction Surveys: If the project must be constructed between March 1 and September 15, a qualified biologist will conduct pre-construction surveys for Swainson's hawk nests on and within ¼ mile of the project site within 10 days of the onset of these activities.</p> <p>Establish Buffers: Should any active nests be discovered in or near proposed construction zones, the biologist will identify a suitable construction-free buffer around the nest. This buffer will be identified on the ground with flagging or fencing and will be maintained until the biologist has determined that the young have fledged.</p> <p>Monitor Nest: Should construction activity be necessary within the designated buffer around an active Swainson's hawk nest, a qualified biologist will monitor the nest daily for one week, and thereafter once a week, for the duration of the activity or until the nest is no longer active, whichever comes first. Should construction activity within the buffer change such that a higher level of disturbance will be generated, monitoring will occur daily for one week and then resume the once-a-week regime. If, at any time, the biologist determines that construction activity may be compromising nesting success, construction activity within the designated buffer will be altered or suspended until the biologist determines that the nest is no longer at risk of failing.</p>	Project Applicant	Mitigation shall be enforced by the project applicant and carried out during operation.
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<p>Biological Resources Mitigation Measure 2.3 (Pallid Bat):</p> <p>Construction Timing: If feasible, demolition and removal of the mature trees will occur outside of the period between April 15 and September 30. This is the time frame within which colony-nesting bats in the vicinity generally assemble, give birth, nurse their young, and ultimately disperse.</p> <p>Pre-Construction Surveys: Within 10 days prior to the removal of the site's trees, a qualified biologist will survey them for roosting bats. The biologist will look for individuals, guano, and staining, and will listen for bat vocalizations. If necessary, the biologist will wait for nighttime emergence of bats from roost sites.</p> <p>Avoidance of Maternity Roosts: Should any active maternity bat roosts be discovered, the biologist will identify a suitable construction-free buffer around the maternity roost. The buffer will be identified on the ground with flagging or fencing, and will be maintained until the biologist has determined that the nursery is no longer active.</p> <p>Humane Eviction of Non-Breeding Bats: If a non-breeding bat colony is found in tree cavities, the individuals will be humanely evicted, under the direction of a qualified biologist, to ensure that bats are not physically harmed by demolition and removal of the trees.</p>	Project Applicant	Mitigation shall be enforced by the project applicant and carried out during operation.
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<p>Biological Resources Mitigation Measure 2.4 (Valley Oaks):</p> <p>Avoidance: Should the applicant choose to avoid oak trees, a Valley Oak Management plan will be prepared and implemented, in accordance with the City of Visalia Parks and Recreation Department Urban Forestry Division's Standard Specifications for Building Around Valley Oaks (2007; Appendix D).</p> <p>Mitigation Fees or Replacement Planting: Should avoidance of oak trees not be possible, the applicant will obtain an oak tree removal permit from the City of Visalia, if required by the City of Visalia Oak Tree Preservation Ordinance (Municipal Code Chapter 12.24) at the time of development. Based on the City's tree protection ordinance, compensation for Valley Oak removal will consist of either payment of a mitigation fee (\$120 multiplied by diameter at breast height (DBH) for each tree removed), replacement planting at a ratio of one new oak tree for every inch of DBH of the tree removed, or some combination of the two, as determined in consultation with the City.</p>	Project Applicant	Mitigation shall be enforced by the project applicant and carried out during operation.
<p>Cultural Resources Mitigation Measure 3.1:</p> <p>If unknown precontact or historic-era cultural resources are encountered during Project activities, all ground-disturbing activities within 50 feet of the find shall cease. A Secretary of the Interior-qualified archaeologist and/or historian, as appropriate to the resource and approved by the City, shall evaluate the significance of the resource and recommend appropriate management measures. The City shall consult with interested Native American representatives in determining appropriate mitigation for unearthed cultural resources if the resources are precontact or Native American in nature. Per CEQA Guidelines Section 15126.4(b)(3), project redesign and preservation in place shall be the preferred means to avoid impacts to significant cultural resources (i.e., historical resources). Consistent with CEQA Guidelines Section 15126.4(b)(3)(C), if it is demonstrated that a historical resource cannot be avoided, the qualified archaeologist shall develop mitigation in consultation with the City and interested Native American representatives if the resources are tribal in nature, which may include data recovery or other appropriate measures. If preservation in place is not possible and additional studies or data recovery mitigation is necessary, the qualified archaeologist will prepare a plan outlining the mitigation steps to be approved by the City and the Santa Rosa Rancheria Tachi Yokut Tribe (SRR). Once the plan has been implemented and the resources mitigated, construction</p>	Project Applicant	Mitigation shall be enforced by the project applicant and carried out during the initial ground disturbance stages of construction for each phase of development.

can recommence based on the direction of the archaeologist and City concurrence. A formal report documenting the results of mitigation must be prepared as outlined in Cultural Resources Mitigation Measure 3.2.		
Cultural Resources Mitigation Measure 3.2: In the event that potential cultural resources are identified, a Secretary of the Interior-qualified archaeologist, approved by the City, will be contracted to provide archaeological monitoring services for the duration of the earthmoving activities. All remaining soils that have not been previously disturbed as part of the project will require archaeological observation. Within 60 days of conclusion of the construction activities, the qualified archaeologist shall prepare a report documenting the results of the monitoring activities, including any finds or other resources observed during the project. All discovered cultural resources will be documented on California Department of Parks and Recreation 523 series forms. A copy of the report shall be provided to City, the SRR, and the Southern San Joaquin Valley Information Center (SSJVIC).	Project Applicant	Mitigation shall be enforced by the project applicant and carried out during development or ground moving activities for each phase of development.
Cultural Resources Mitigation Measure 3.3: As requested by the Santa Rosa Rancheria Tachi Yokut Tribe, the City also will notify the SRR of any inadvertent discoveries within 24 hours of the find. If inadvertent tribal cultural resources are identified, the SRR will be contracted to provide tribal monitoring services for the duration of the earthmoving activities. All remaining soils that have not been previously disturbed as part of the project will require tribal observation.	Project Applicant	Mitigation shall be enforced by the project applicant and carried out during construction of the entire project.
Cultural Resources Mitigation Measure 3.4: In the event human remains are uncovered during Project activities, the Tulare County Coroner is to be immediately notified to evaluate the remains, and follow the procedures and protocols set forth in CEQA Guidelines Section 15064.5 (e)(1). If the remains are identified to be those of a Native American person, California Health and Safety Code 7050.5 requires that the county coroner notify the Native American Heritage Commission within 24 hours of discovery. The NAHC will then identify the Most Likely Descendant, who will be afforded the opportunity to recommend means for treatment of the human remains following protocols in California PRC 5097.98.	Project Applicant	Mitigation shall be enforced by the project applicant and carried out during construction of the entire project.

10. That the following conditions in response to the Department of Toxic Substances Control (DTSC) comment letter be met during construction and upon final occupancy and ongoing operation of the project:
 - a. That prior to site disturbance, the developer/homebuilder shall consult with a qualified hazardous substance professional to determine whether the applicant should obtain soil samples to test for contaminants of concern (COCs), in particular Pesticides and Organochlorine Pesticides (OCPs) historically used on the property. If suggested to be performed, the developer/homebuilder shall have the qualified hazardous substances professional perform the soil sampling per Interim Guidance for Sampling Agricultural Properties from DTSC. The developer/homebuilder shall provide the Planning and Community Preservation Director with a copy of all correspondence between the developer/homebuilder and the qualified hazardous substances professional that details the required direction/recommendation on soil samples to test for COCs/OCPs. The City shall require the developer to comply with specified direction/recommendation as required prior to any further site disturbance.
 - b. All imported soil and fill material shall be tested to ensure that any contaminants are with DTSC's and the US Environmental Protection Agency's (USEPA's) Regional Screening Levels (RSLs).
11. That the height of six foot tall block wall along the southern boundary of Lots 80 through 108 shall be measured from the adjacent grade of the outlot.
12. That a seven-foot-tall block wall shall be installed along the shared boundaries of Outlot F, Lot 182, and Lot 183 of the Ritchie Ranch Tentative Subdivision Map No. 5600. The block wall shall transition to a three-foot-tall block wall within the 15-foot front yard setback areas of Lots 182 and 183. The walls shall also be maintained by the Lighting and Landscape District for the Ritchie Ranch Tentative Subdivision Map No. 5600.
13. That all applicable federal, state, regional, and city policies and ordinances be met.

RESOLUTION NO. 2024-40

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF VISALIA APPROVING CONDITIONAL USE PERMIT NO. 2024-23: A REQUEST BY LENNAR HOMES OF CALIFORNIA LLC FOR A PLANNED RESIDENTIAL DEVELOPMENT ON A 44.89-ACRE PARCEL, CONSISTING OF 320 SINGLE-FAMILY RESIDENTIAL LOTS, LOCATED WITHIN THE R-1-5 (SINGLE-FAMILY RESIDENTIAL, 5,000 SQUARE FOOT MINIMUM SITE AREA) ZONE. THE PROPOSAL WILL INCLUDE NON-STANDARD LOTS THAT WILL BE LESS THAN 5,000 SQUARE FEET IN SIZE, WITH REDUCED LOT WIDTHS, AND REDUCED SETBACKS. THE PROJECT SITE IS LOCATED ON THE SOUTHWEST CORNER OF WEST RIVERWAY AVENUE AND NORTH DEMAREE STREET (APN: 077-060-022).

WHEREAS, Conditional Use Permit No. 2024-23 is a request by Lennar Homes of California LLC for a planned residential development on a 44.89-acre parcel, consisting of 320 single-family residential lots, located within the R-1-5 (Single-Family Residential, 5,000 square foot minimum site area) zone. The proposal will include non-standard lots that will be less than 5,000 square feet in size, with reduced lot widths, and reduced setbacks. The project site is located on the southwest corner of West Riverway Avenue and North Demaree Street (APN: 077-060-022); and

WHEREAS, the Planning Commission of the City of Visalia, after duly published notice did hold a public hearing before said Commission on August 25, 2025; and,

WHEREAS, the Planning Commission of the City of Visalia finds the Conditional Use Permit No. 2024-23, as conditioned, to be in accordance with Chapter 17.26.10 of the Zoning Ordinance of the City of Visalia, based on the evidence contained in the staff report and testimony presented at the public hearing; and,

WHEREAS, an Initial Study was prepared, which disclosed that environmental impacts are determined to be less than significant with the incorporation of mitigation to address significant impacts; and

NOW, THEREFORE, BE IT RESOLVED that Mitigated Negative Declaration No. 2024-33 was prepared for Ritchie Ranch Tentative Subdivision Map No. 5600 and Conditional Use Permit No. 2024-23, consistent with the California Environmental Quality Act and City of Visalia Environmental Guidelines.

NOW, THEREFORE, BE IT FURTHER RESOLVED that the Planning Commission of the City of Visalia makes the following specific findings based on the evidence presented:

1. That the proposed project, as conditioned, will not be detrimental to the public health, safety, or welfare, or materially injurious to properties or improvements in the vicinity.
2. That the proposed conditional use permit is consistent with the policies and intent of the General Plan and Zoning Ordinance. Specifically, the project is consistent with the required findings of Zoning Ordinance Section 17.38.110:
 - a. The proposed location of the conditional use is in accordance with the objectives of the Zoning Ordinance and the purposes of the zone in which the site is

located. The proposed modifications to the R-1-5 zone standards result in buildable lots, as conditioned, that will be fully functional without undue intrusion or conflict with adjacent residences, and which are consistent with the development pattern and residential density of the surrounding area. The 7.13 units per acre density range of the project site within the Low Density Residential land use designation is in keeping with the respective Low Density Residential land use designation and assist in maximizing the lands usage. Setback reductions maintain typical residential standards and dwelling sizes and are offset by the inclusion of two parks with amenities placed within the subdivision. Furthermore, local streets and infrastructure to be installed shall maintain adequate circulation throughout the site, providing access to amenities within and outside of the development.

- b. The proposed location of the conditional use and the conditions under which it would be operated or maintained will not be detrimental to the public health, safety, or welfare, nor materially injurious to properties or improvements in the vicinity. The proposed tentative subdivision map will be compatible with adjacent residential land uses and will improve circulation in the area via improvements to adjacent arterial and collector streets.
 - c. That the proposed project is consistent with the policies and intent of the General Plan, Zoning Ordinance, and Subdivision Ordinance. The project specifically supports General Plan Land Use policy related to efficient land use (Policy LU-P-55).
3. That an Initial Study was prepared for this project, consistent with CEQA, which disclosed that environmental impacts are determined to be not significant and that Mitigated Negative Declaration No. 2024-33, is hereby adopted. Furthermore, the design of the subdivision and the proposed improvements are not likely to cause substantial environmental damage nor substantially and avoidably injure fish or wildlife or their habitat.

BE IT FURTHER RESOLVED that the Planning Commission hereby approves the Conditional Use Permit on the real property here described in accordance with the terms of this resolution under the provisions of Section 17.26.10 of the Ordinance Code of the City of Visalia, subject to the following conditions:

1. That the planned residential development be prepared in substantial compliance with Exhibit "A", which incorporates a total of 320 single-family residential units and related public and private infrastructure.
2. That the subdivision map be developed in substantial compliance with the comments and conditions of the Site Plan Review Committee as set forth under Site Plan Review No. Site Plan Review No. 2023-231 – 1 – 1, incorporated herein by reference.
3. That the project be developed in substantial compliance with all improvements depicted and described in Exhibits "A" through "F".
4. That Ritchie Ranch Tentative Subdivision Map No. 5600 shall be approved, and that requirements of the use permit which relate to this map shall be fulfilled.
5. That the timeline for the lapse of this Conditional Use Permit shall be tied to the timeline for the Ritchie Ranch Tentative Subdivision Map No. 5600.

6. That setbacks for the Ritchie Ranch Tentative Subdivision Map No 5600 shall be as follows:

SETBACK STANDARDS					
	Front Yard	Side Yard	Street Side Yard	Rear Yard	Garage
EXISTING R-1-5 SETBACKS	15	5	10	25	22
PROPOSED SETBACKS	12	5	10	10	20

7. That prior to the issuance of any residential building permit on the site, the applicant / developer shall obtain and provide the City with a valid Will Serve Letter from the California Water Service Company.
8. That the Mitigation Monitoring and Reporting Program and its mitigation measures adopted with the Initial Study / Mitigated Negative Declaration No. 2024-33 (State Clearinghouse 2025071349) are hereby incorporated as conditions of Ritchie Ranch Tentative Subdivision Map No. 5600:

<u>Mitigation Measure</u>	<u>Responsible Party</u>	<u>Timeline</u>
Transportation / Traffic Impact Mitigation Measure 1.1: Demaree Street at Shannon Parkway: <ul style="list-style-type: none"> • Provide a 300-foot northbound left turn storage pocket. • Provide a 100-foot eastbound left turn storage pocket. 	Project Applicant	Mitigation shall be enforced and improvements completed prior to final occupancy of any building within the first phase of development.
Transportation / Traffic Impact Mitigation Measure 1.2: Street L/Winslow Street at Shannon Parkway: <ul style="list-style-type: none"> • Provide a 100-foot eastbound left turn storage pocket. • Provide a 100-foot westbound left turn storage pocket. 	Project Applicant	Mitigation shall be enforced and improvements completed prior to final occupancy of any building within the first phase of development.
Transportation / Traffic Impact Mitigation Measure 1.3: Demaree Street at Riggin Avenue: <ul style="list-style-type: none"> • For the southbound left turn storage pocket, the City of Visalia will monitor signal timing at the intersection and make adjustments as necessary to maximize vehicular flow at the intersection, since there is insufficient space to extend the southbound left due to the constraint of the northbound left turn pocket at the Demaree Street and Jerome Avenue intersection. • Provide a 300-foot eastbound left turn storage pocket. 	Project Applicant, City of Visalia	Mitigation shall be enforced. The City of Visalia will monitor signal timing at the intersection, and improvements will be completed within five years or as warranted, after the occupancy of the first building within the first phase of development.

<p>Transportation / Traffic Impact Mitigation Measure 1.4: Linwood Street at Riggan Avenue. Since this intersection is currently a 'T' intersection, the City of Visalia will monitor the need for intersection improvements and signalization. Once the north leg of Linwood Street is developed by others, the following improvements are recommended:</p> <ul style="list-style-type: none"> • Provide a 100-foot northbound left turn storage pocket. • Provide a 100-foot southbound left turn storage pocket. • Provide a 100-foot eastbound right turn storage pocket. • Provide a 100-foot westbound right turn storage pocket. 	Project Applicant, City of Visalia	Mitigation shall be enforced. The City of Visalia will monitor traffic counts at the intersection, and improvements will be completed within five years or as warranted, after the occupancy of the first building within the first phase of development.
<p>Biological Resources Mitigation Measure 2.1 (Nesting Raptors and Migratory Birds Including Loggerhead Shrike):</p> <p>Construction Timing: If feasible, the project will be implemented outside of the avian nesting season, typically defined as February 1 to August 31.</p> <p>If construction must occur between February 1 and August 31, a qualified biologist will conduct pre-construction surveys for active bird nests within 10 days prior to the start of construction. The survey area will encompass the site and accessible surrounding lands within 250 feet for nesting migratory birds and 500 feet for raptors.</p> <p>Should any active nests be discovered in or near proposed construction zones, the biologist will identify a suitable construction-free buffer around the nest. This buffer will be identified on the ground with flagging or fencing and will be maintained until the biologist has determined that the young have fledged and are capable of foraging independently.</p>	Project Applicant	Mitigation shall be enforced by the project applicant and carried out during operation.

<p>Biological Resources Mitigation Measure 2.2 (Swainson's Hawk):</p> <p>Construction Timing: Should any active nests be discovered in or near proposed construction zones, the biologist will identify a suitable construction-free buffer around the nest. This buffer will be identified on the ground with flagging or fencing and will be maintained until the biologist has determined that the young have fledged and are capable of foraging independently.</p> <p>Pre-Construction Surveys: If the project must be constructed between March 1 and September 15, a qualified biologist will conduct pre-construction surveys for Swainson's hawk nests on and within ¼ mile of the project site within 10 days of the onset of these activities.</p> <p>Establish Buffers: Should any active nests be discovered in or near proposed construction zones, the biologist will identify a suitable construction-free buffer around the nest. This buffer will be identified on the ground with flagging or fencing and will be maintained until the biologist has determined that the young have fledged.</p> <p>Monitor Nest: Should construction activity be necessary within the designated buffer around an active Swainson's hawk nest, a qualified biologist will monitor the nest daily for one week, and thereafter once a week, for the duration of the activity or until the nest is no longer active, whichever comes first. Should construction activity within the buffer change such that a higher level of disturbance will be generated, monitoring will occur daily for one week and then resume the once-a-week regime. If, at any time, the biologist determines that construction activity may be compromising nesting success, construction activity within the designated buffer will be altered or suspended until the biologist determines that the nest is no longer at risk of failing.</p>	Project Applicant	Mitigation shall be enforced by the project applicant and carried out during operation.
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<p>Biological Resources Mitigation Measure 2.3 (Pallid Bat):</p> <p>Construction Timing: If feasible, demolition and removal of the mature trees will occur outside of the period between April 15 and September 30. This is the time frame within which colony-nesting bats in the vicinity generally assemble, give birth, nurse their young, and ultimately disperse.</p> <p>Pre-Construction Surveys: Within 10 days prior to the removal of the site's trees, a qualified biologist will survey them for roosting bats. The biologist will look for individuals, guano, and staining, and will listen for bat vocalizations. If necessary, the biologist will wait for nighttime emergence of bats from roost sites.</p> <p>Avoidance of Maternity Roosts: Should any active maternity bat roosts be discovered, the biologist will identify a suitable construction-free buffer around the maternity roost. The buffer will be identified on the ground with flagging or fencing, and will be maintained until the biologist has determined that the nursery is no longer active.</p> <p>Humane Eviction of Non-Breeding Bats: If a non-breeding bat colony is found in tree cavities, the individuals will be humanely evicted, under the direction of a qualified biologist, to ensure that bats are not physically harmed by demolition and removal of the trees.</p>	Project Applicant	Mitigation shall be enforced by the project applicant and carried out during operation.
<p>Biological Resources Mitigation Measure 2.4 (Valley Oaks):</p> <p>Avoidance: Should the applicant choose to avoid oak trees, a Valley Oak Management plan will be prepared and implemented, in accordance with the City of Visalia Parks and Recreation Department Urban Forestry Division's Standard Specifications for Building Around Valley Oaks (2007; Appendix D).</p> <p>Mitigation Fees or Replacement Planting: Should avoidance of oak trees not be possible, the applicant will obtain an oak tree removal permit from the City of Visalia, if required by the City of Visalia Oak Tree Preservation Ordinance (Municipal Code Chapter 12.24) at the time of development. Based on the City's tree protection ordinance, compensation for Valley Oak removal will consist of either payment of a mitigation fee (\$120 multiplied by diameter at breast height (DBH) for each tree removed), replacement planting at a ratio of one new oak tree for every inch of DBH of the tree removed, or some combination of the two, as determined in consultation with the City.</p>	Project Applicant	Mitigation shall be enforced by the project applicant and carried out during operation.

<p>Cultural Resources Mitigation Measure 3.1: If unknown precontact or historic-era cultural resources are encountered during Project activities, all ground-disturbing activities within 50 feet of the find shall cease. A Secretary of the Interior-qualified archaeologist and/or historian, as appropriate to the resource and approved by the City, shall evaluate the significance of the resource and recommend appropriate management measures. The City shall consult with interested Native American representatives in determining appropriate mitigation for unearthed cultural resources if the resources are precontact or Native American in nature. Per CEQA Guidelines Section 15126.4(b)(3), project redesign and preservation in place shall be the preferred means to avoid impacts to significant cultural resources (i.e., historical resources). Consistent with CEQA Guidelines Section 15126.4(b)(3)(C), if it is demonstrated that a historical resource cannot be avoided, the qualified archaeologist shall develop mitigation in consultation with the City and interested Native American representatives if the resources are tribal in nature, which may include data recovery or other appropriate measures. If preservation in place is not possible and additional studies or data recovery mitigation is necessary, the qualified archaeologist will prepare a plan outlining the mitigation steps to be approved by the City and the Santa Rosa Rancheria Tachi Yokut Tribe (SRR). Once the plan has been implemented and the resources mitigated, construction can recommence based on the direction of the archaeologist and City concurrence. A formal report documenting the results of mitigation must be prepared as outlined in Cultural Resources Mitigation Measure 3.2.</p>	Project Applicant	Mitigation shall be enforced by the project applicant and carried out during the initial ground disturbance stages of construction for each phase of development.
<p>Cultural Resources Mitigation Measure 3.2: In the event that potential cultural resources are identified, a Secretary of the Interior-qualified archaeologist, approved by the City, will be contracted to provide archaeological monitoring services for the duration of the earthmoving activities. All remaining soils that have not been previously disturbed as part of the project will require archaeological observation. Within 60 days of conclusion of the construction activities, the qualified archaeologist shall prepare a report documenting the results of the monitoring activities, including any finds or other resources observed during the project. All discovered cultural resources will be documented on California Department of Parks and Recreation 523 series forms. A copy of the report shall be provided to City, the SRR, and the Southern San Joaquin Valley Information Center (SSJVIC).</p>	Project Applicant	Mitigation shall be enforced by the project applicant and carried out during development or ground moving activities for each phase of development.

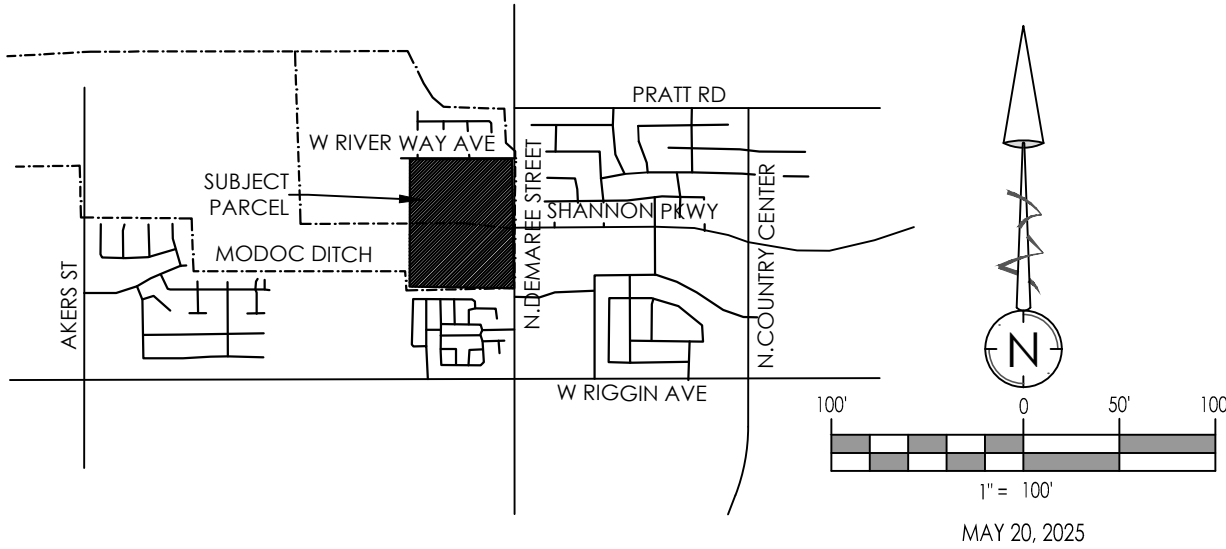
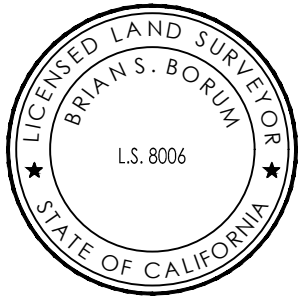
<p>Cultural Resources Mitigation Measure 3.3: As requested by the Santa Rosa Rancheria Tachi Yokut Tribe, the City also will notify the SRR of any inadvertent discoveries within 24 hours of the find. If inadvertent tribal cultural resources are identified, the SRR will be contracted to provide tribal monitoring services for the duration of the earthmoving activities. All remaining soils that have not been previously disturbed as part of the project will require tribal observation.</p>	Project Applicant	Mitigation shall be enforced by the project applicant and carried out during construction of the entire project.
<p>Cultural Resources Mitigation Measure 3.4: In the event human remains are uncovered during Project activities, the Tulare County Coroner is to be immediately notified to evaluate the remains, and follow the procedures and protocols set forth in CEQA Guidelines Section 15064.5 (e)(1). If the remains are identified to be those of a Native American person, California Health and Safety Code 7050.5 requires that the county coroner notify the Native American Heritage Commission within 24 hours of discovery. The NAHC will then identify the Most Likely Descendant, who will be afforded the opportunity to recommend means for treatment of the human remains following protocols in California PRC 5097.98.</p>	Project Applicant	Mitigation shall be enforced by the project applicant and carried out during construction of the entire project.

9. That the height of six foot tall block wall along the southern boundary of Lots 80 through 108 shall be measured from the adjacent grade of the outlot.
10. That a seven-foot-tall block wall shall be installed along the shared boundaries of Outlot F, Lot 182, and Lot 183 of the Ritchie Ranch Tentative Subdivision Map No. 5600. The block wall shall transition to a three-foot-tall block wall within the 15-foot front yard setback areas of Lots 182 and 183. The walls shall also be maintained by the Lighting and Landscape District for the Ritchie Ranch Tentative Subdivision Map No. 5600.
11. That all applicable federal, state, regional, and city policies and ordinances be met.

EXHIBIT A

RITCHIE RANCH
TENTATIVE SUBDIVISION MAP

MARCH, 2024
BEING A PORTION OF SECTION 14, TOWNSHIP 18 SOUTH, RANGE 24 EAST, MOUNT
DIABLO MERIDIAN IN THE CITY OF VISALIA, COUNTY OF TULARE, STATE OF CALIFORNIA.
APN NO. 077-060-022-000



OWNERS: LARRY RITCHIE
AUTHORIZED AGENT: AW ENGINEERING
810 W. ACEQUIA AVE
VISALIA, CA 93291
(559) 713-6139
LAND SURVEYOR: BRIAN S. BORUM LS
1445 W. GRAND AVE STE C
GROVER BEACH, CA 93433
(805) 270-4154
APPLICANT: N & M LLC
1878 NORTH MOONEY BLVD, SUITE J
TULARE, CA 93274
559-799-6993

SITE DATA
APN: 077-060-022
EXISTING ZONING DESIGNATION: SINGLE FAMILY RESIDENTIAL
EXISTING USE: AGRICULTURE
PROPOSED USE: SINGLE FAMILY RESIDENTIAL
TOTAL EXISTING AREA: 344.89 ACRES
TOTAL PROPOSED AREA: 444.77 ACRES
ELECTRICITY: SOUTHERN CALIFORNIA EDISON
WATER: CALIFORNIA WATER
SEWER: CITY OF VISALIA
REFUSE: CITY OF VISALIA
TELEPHONE: AT&T
GAS: SO CAL GAS
CATV: SPECTRUM
STORM WATER: CITY OF VISALIA
TOTAL LOTS: 320 LOTS
RESIDENTIAL DENSITY: 7.13 UNITS/ACRE
FLOOD ZONE: X
AVERAGE LOT SIZE: 3,444 SF
MINIMUM LOT SIZE: 2,800 SF
MAXIMUM LOT SIZE: 7,649 SF
LMD OUTLOTS: "B", "C", "D", "E", "G", "H"
POCKET PARK OUTLOTS: "A", "F"

PHASE 1 LOT TOTAL: 94
PHASE 2 LOT TOTAL: 96
PHASE 3 LOT TOTAL: 48
PHASE 4 LOT TOTAL: 82
TOTAL LOTS: 320
TYPICAL R-1-5 SETBACK
SIDE YARD: 5'
STREET SIDE YARD: 10'
REAR YARD: 25'
FRONT GARAGE: 22'
FRONT LIVING SPACE: 15'

SETBACK DEVIATION
REAR YARD: 10'
FRONT GARAGE: 20'
FRONT LIVING SPACE: 12'

STREET BULB DEVIATION
KNUCKLES TO DEVIATE FROM TYPICAL STREET
BULB CONNECTION CITY STANDARD P-17, TO
PROVIDE ADDITIONAL BACK YARD AND
FRONT YARD SPACE, UNLESS OTHERWISE NOTED

LOTS INCLUDING DEVIATION
10' REAR YARD DEVIATION:
1-320

20' FRONT GARAGE/12' LIVING SPACE DEVIATION:
1-320

LLMD OUTLOT	TOTAL AREA	MIN. - MAX. WIDTH
B	925 SF	10'
C	5,029 SF	5' - 10'
D	14,073 SF	5' - 10'
E	6,357 SF	5' - 10'
G	12,837 SF	5' - 10'
H	8,132 SF	6' - 10'

BENCHMARK

CITY BENCHMARK NO. 701
PK NAIL IN TOP OF CURB EAST RADIUS POINT
NORTHEAST CORNER OF THE INTERSECTION
ELEV=316.580'

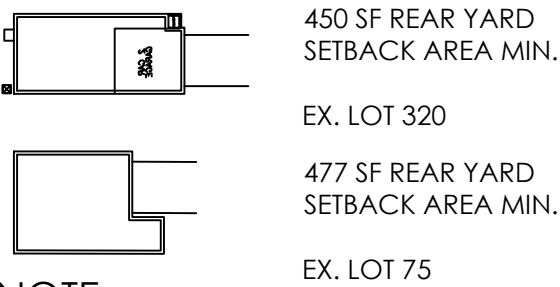
BASIS OF BEARINGS

THE EAST LINE OF THE SOUTHEAST QUARTER
OF SECTION 14-18-24 WHICH BEARS N00°16'58"E.
PER PARCEL MAP 4649, REC. IN BK 47 OF PARCEL
MAPS, PAGE 54, T.C.R.

FLOODNOTE

AS DELINEATED ON THE FEDERAL INSURANCE
ADMINISTRATIONS FLOOD INSURANCE RATE MAPS,
EFFECTIVE DATE JUNE 16, 2009 FOR TULARE COUNTY,
CALIFORNIA (COMMUNIT NO. 065066), PANEL NO.
06107C0930E, THE PROPERTY SHOWN ON THIS MAP
LIES WITHIN FLOOD HAZARD AREAS DESIGNATED AS
ZONE X.

**SMALLEST MIN. USABLE REAR YARD
SETBACK AREA ON A SIDE LOT**



NOTE:
INDIVIDUAL TRASH RECEPTACLES, 3 RECEPTACLES
PER DWELLING, (2 PICKUP ON 1 DAY AND 1 ON
OTHER DAY OF WEEK)

THE CURVILINEAR NON-STANDARD ROADWAY KNUCKLES
WITHIN THE SUBDIVISION SHALL BE PAINTED RED TO PREVENT
ON-STREET PARKING OF VEHICLES.

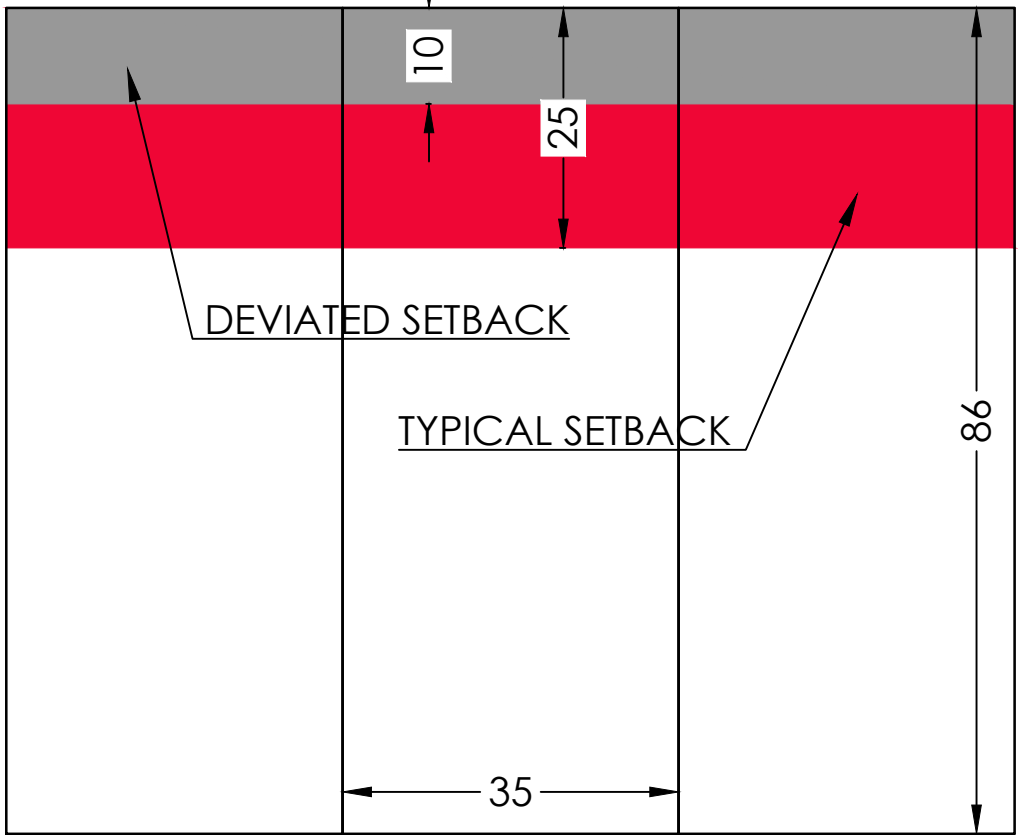
LOTS BY SQUARE FEET:

5,000 SF MIN: 28, 47, 49, 67, 144-145, 171, 200, 206,
214-216, 244-245, 271, 284
TOTAL: 16

4,000 - 4,999 SF: 9-10, 27, 46, 50-51, 68, 109, 114,
172, 191-192, 198-199, 201-205, 209-213, 217-219,
240-243, 246-259, 269-270, 272-273, 283
TOTAL: 51

3,000 - 3,999 SF: 1-8, 11-19, 36-37, 52-66, 70-80, 69, 107,
110-113, 115, 132-133, 157-158, 173-190, 193-197,
193-197, 207-208, 220-239, 260-268, 274-282, 285-320
TOTAL: 155

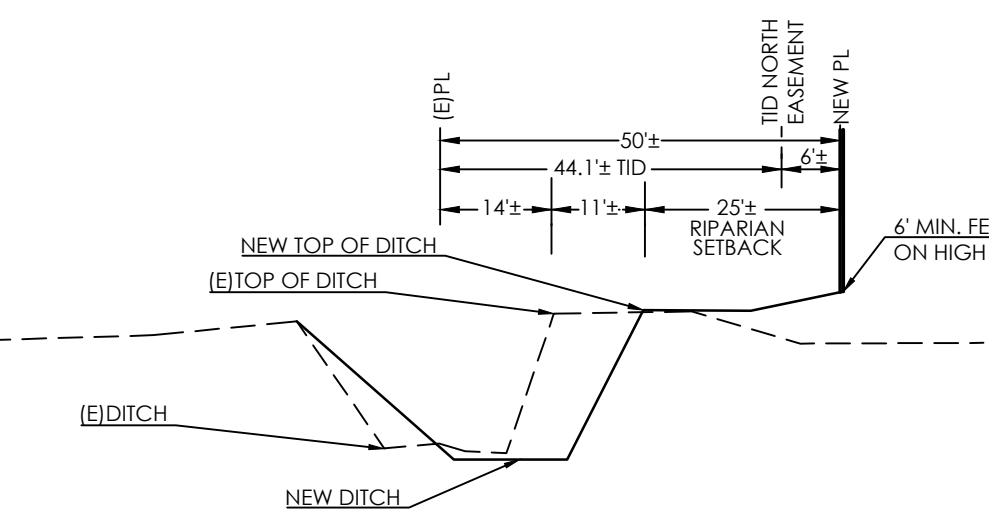
2,800 - 2,999 SF: 20-26, 29-35, 38-45, 48, 81-106, 116-131,
134-143, 146-156, 159-170
TOTAL: 98



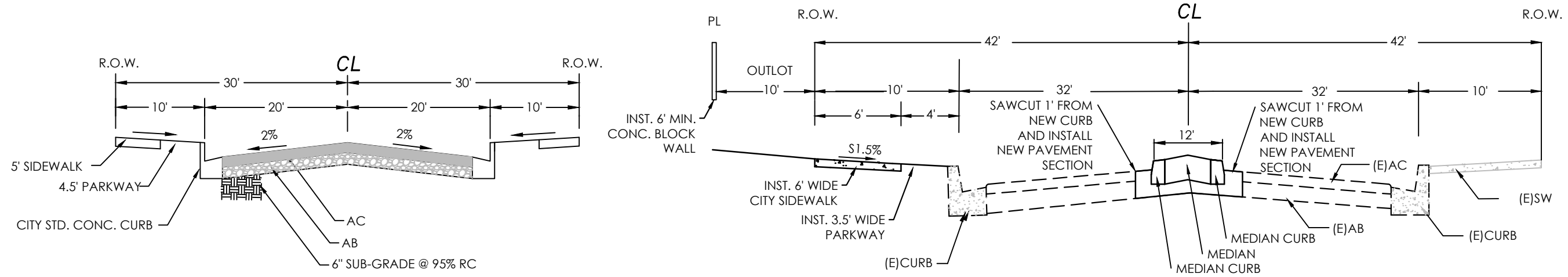
**TYPICAL INTERIOR LOT PRIVATE
YARD AREA REDUCTION DETAIL**

TOTAL PRIVATE YARD AREA WITH NO DEVIATION	TOTAL PRIVATE YARD AREA REMOVED	TOTAL PRIVATE YARD AREA PROVIDED	TOTAL S.F. OF POCKET PARKS PROVIDED
7.97 Acres 347,114 SF	4.77 Acres 207,783 SF	3.20 Acres 139,331 SF	1.94 Acres 84,512 SF

SETBACK TYPE	TYPICAL REAR YARD LOT AREA PROVIDED
DEVIATED SETBACK	350 S.F.
TYPICAL SETBACK	1,250 S.F.

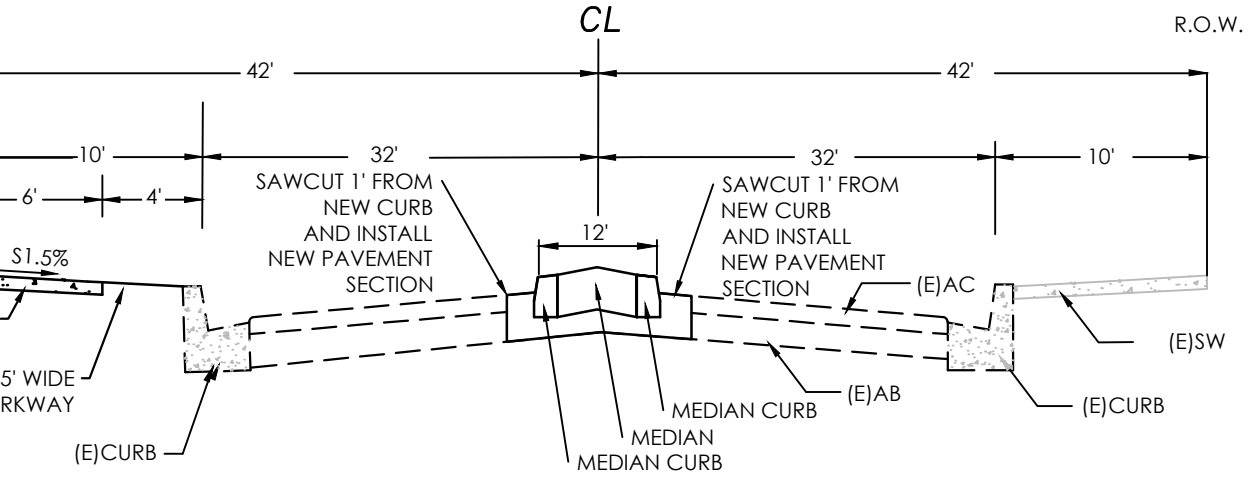


**MODOC DITCH ALONG SOUTH PROPERTY LINE
LOOKING WEST (X-X)**



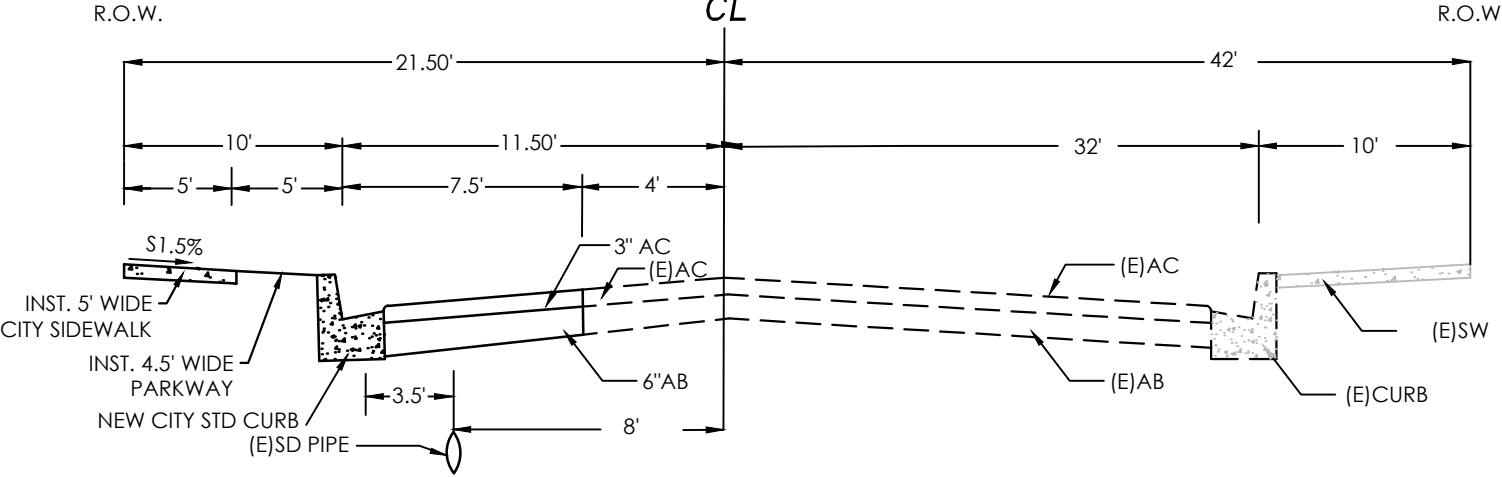
LOCAL STREETS

T.I. = 5.5 R-VALUE = TBD MIN 2.5" AC OVER 8" AB



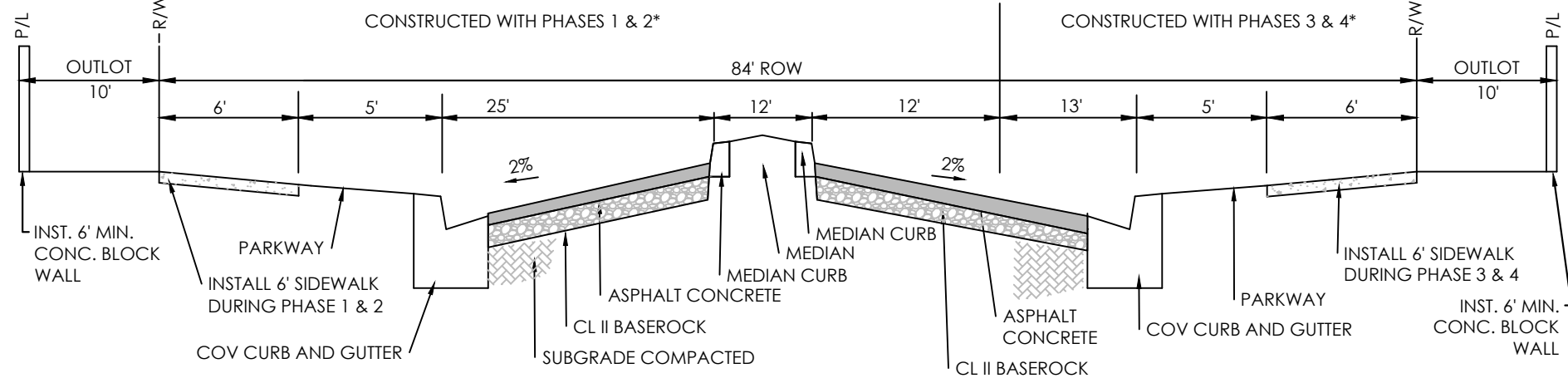
NORTH DEMAREE STREET

T.I. = 8 R-VALUE = TBD MIN 5" AC OVER 8" AB



RIVERWAY AVENUE

T.I. = 8 R-VALUE = TBD MIN 5" AC OVER 8" AB



SHANNON PARKWAY

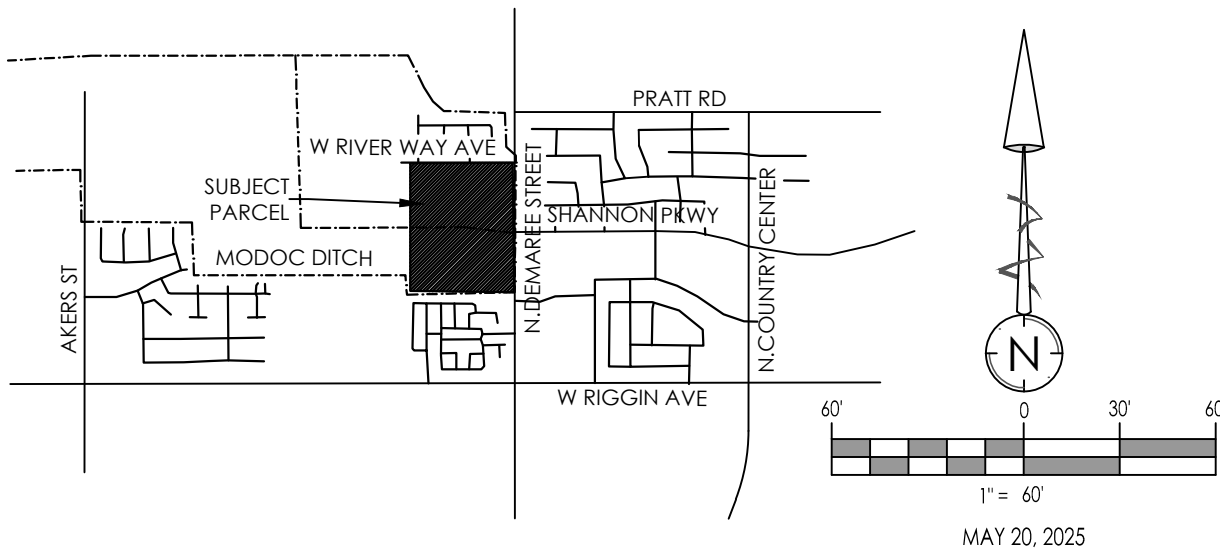
T.I. = 8, R-VALUE = TBD MIN 5" AC OVER 8" A.B.



RITCHIE RANCH
TENTATIVE SUBDIVISION MAP

MARCH, 2024

BEING A PORTION OF SECTION 14, TOWNSHIP 18 SOUTH, RANGE 24 EAST, MOUNT
DIABLO MERIDIAN IN THE CITY OF VISALIA, COUNTY OF TULARE, STATE OF CALIFORNIA.
APN NO. 077-060-022-000



OWNERS:
LARRY RITCHIE

APPLICANT

N & M LLC
1878 NORTH MOONEY BLVD, SUITE J
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559-799-6993

LAND SURVEYOR

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AUTHORIZED AGENT

AW ENGINEERING
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EXISTING USE: AGRICULTURE
PROPOSED USE: SINGLE FAMILY RESIDENTIAL
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TOTAL LOTS: 320

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STREET SIDE YARD: 10'
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KNICKLES TO DEVIATE FROM TYPICAL STREET
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NORTHEAST CORNER OF THE INTERSECTION
ELEV=316.580'

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ZONE X.

SMALLEST MIN. USABLE REAR YARD
SETBACK AREA ON A SIDE LOT

	450 SF REAR YARD SETBACK AREA MIN.
	EX. LOT 320
	477 SF REAR YARD SETBACK AREA MIN.
	EX. LOT 75

NOTE:

INDIVIDUAL TRASH RECEPTACLES, 3 RECEPTACLES
PER DWELLING, (2 PICKUP ON 1 DAY AND 1 ON
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LOTS BY SQUARE FEET:

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TOTAL: 155

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134-143, 146-156, 159-170
TOTAL: 98



LOCAL STREETS

T1 = 5.5 R-VALUE = TBD MIN 2.5' AC OVER 7' AB

N.T.S.

NORTH DEMAREE STREET

T1 = 8 R-VALUE = TBD MIN 5' AC OVER 8' AB

N.T.S.

RIVERWAY AVENUE

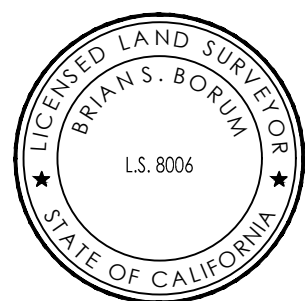
T1 = 8 R-VALUE = TBD MIN 5' AC OVER 8' AB

N.T.S.

SHANNON PARKWAY

T1 = 8, R-VALUE = TBD MIN 5' AC OVER 8' AB

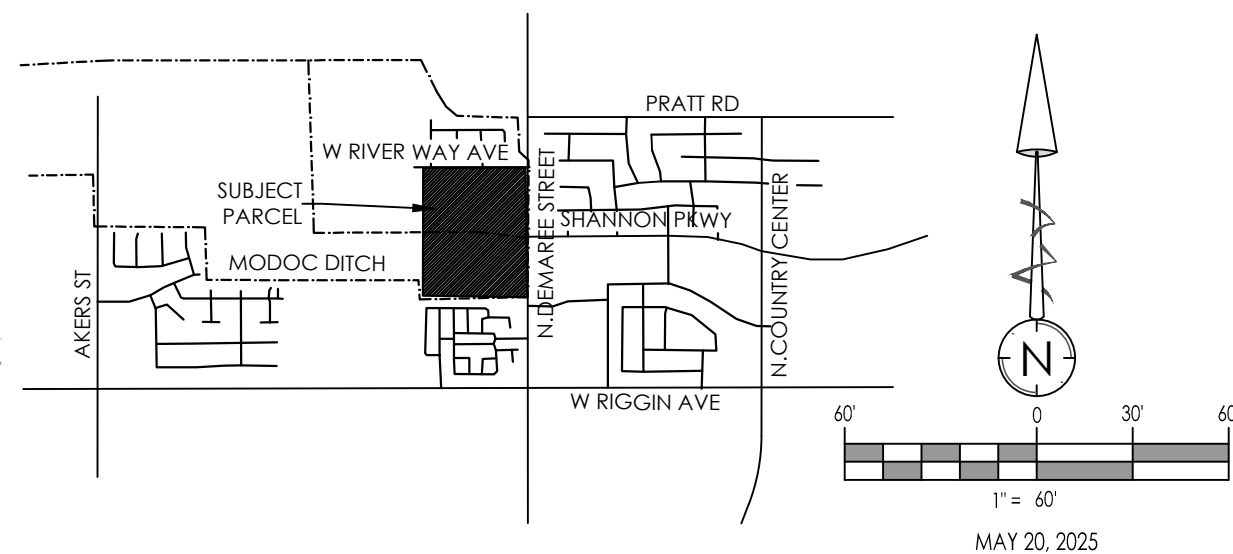
N.T.S.



RITCHIE RANCH TENTATIVE SUBDIVISION MAP

MARCH, 2024

BEING A PORTION OF SECTION 14, TOWNSHIP 18 SOUTH, RANGE 24 EAST, MOUNT DIABLO MERIDIAN IN THE CITY OF VISALIA, COUNTY OF TULARE, STATE OF CALIFORNIA.
APN NO. 077-060-022-000



OWNERS:
LARRY RITCHIE

APPLICANT
N & M LLC
1878 NORTH MOONEY BLVD, SUITE J
TULARE, CA 93274
559-799-6993

LAND SURVEYOR
BRIAN S. BORUM LS
1445 W. GRAND AVE STE C
GROVER BEACH, CA 93433
(805)270-4154

AUTHORIZED AGENT
AW ENGINEERING
810 W. ACEQUIA AVE
VISALIA, CA 93291
(559) 713-6139

SITE DATA

APN: 077-060-022
EXISTING ZONING DESIGNATION: SINGLE FAMILY RESIDENTIAL
EXISTING USE: AGRICULTURE
PROPOSED USE: SINGLE FAMILY RESIDENTIAL
TOTAL EXISTING AREA: 344.89 ACRES
TOTAL PROPOSED AREA: 444.77 ACRES
ELECTRICITY: SOUTHERN CALIFORNIA EDISON
WATER: CALIFORNIA WATER
SEWER: CITY OF VISALIA
REFUSE: CITY OF VISALIA
TELEPHONE: AT&T
GAS: SO CAL GAS
CATV: SPECTRUM
STORM WATER: CITY OF VISALIA
TOTAL LOTS: 320 LOTS
RESIDENTIAL DENSITY: 7.13 UNITS/ACRE
FLOOD ZONE: X
AVERAGE LOT SIZE: 3,444 SF
MINIMUM LOT SIZE: 2,800 SF
MAXIMUM LOT SIZE: 7,649 SF
LMD OUTLOTS: "B", "C", "D", "E", "G", "H"
POCKET PARK OUTLOTS: "A", "F"

PHASE 1 LOT TOTAL: 94
PHASE 2 LOT TOTAL: 96
PHASE 3 LOT TOTAL: 48
PHASE 4 LOT TOTAL: 82

TOTAL LOTS: 320

TYPICAL R-1-5 SETBACK

SIDE YARD: 5'
STREET SIDE YARD: 10'
REAR YARD: 25'
FRONT GARAGE: 22'
FRONT LIVING SPACE: 15'

SETBACK DEVIATION

REAR YARD: 10'
FRONT GARAGE: 20'
FRONT LIVING SPACE: 12'

STREET BULB DEVIATION

KNICKLES TO DEVIATE FROM TYPICAL STREET BULB CONNECTION CITY STANDARD P-17, TO PROVIDE ADDITIONAL BACK YARD AND FRONT YARD SPACE, UNLESS OTHERWISE NOTED

LOTS INCLUDING DEVIATION

10' REAR YARD DEVIATION:
1-320

20' FRONT GARAGE/12' LIVING SPACE DEVIATION:
1-320

L/LMD OUTLOT	TOTAL AREA	MIN. - MAX. WIDTH
B	925 SF	10'
C	5,029 SF	5' - 10'
D	14,073 SF	5' - 10'
E	6,357 SF	5' - 10'
G	12,837 SF	5' - 10'
H	8,132 SF	6' - 10'

BENCHMARK

CITY BENCHMARK NO. 701
PK NAIL IN TOP OF CURB EAST RADIUS POINT
NORTHEAST CORNER OF THE INTERSECTION
ELEV=316.580'

BASIS OF BEARINGS

THE EAST LINE OF THE SOUTHEAST QUARTER OF SECTION 14-18-24 WHICH BEARS N00°16'58"E, PER PARCEL MAP 4649, REC. IN BK 47 OF PARCEL MAPS, PAGE 54, T.C.R.

FLOODNOTE

AS DELINEATED ON THE FEDERAL INSURANCE ADMINISTRATIONS FLOOD INSURANCE RATE MAPS, EFFECTIVE DATE JUNE 16, 2009 FOR TULARE COUNTY, CALIFORNIA (COMMUNIT NO. 065066), PANEL NO. 06107C0930E, THE PROPERTY SHOWN ON THIS MAP LIES WITHIN FLOOD HAZARD AREAS DESIGNATED AS ZONE X.

SMALLEST MIN. USABLE REAR YARD SETBACK AREA ON A SIDE LOT

	450 SF REAR YARD SETBACK AREA MIN.
	EX. LOT 320
	477 SF REAR YARD SETBACK AREA MIN.
	EX. LOT 75

NOTE:

INDIVIDUAL TRASH RECEPTACLES, 3 RECEPTACLES PER DWELLING, (2 PICKUP ON 1 DAY AND 1 ON OTHER DAY OF WEEK)

THE CURVILINEAR NON-STANDARD ROADWAY KNUCKLES WITHIN THE SUBDIVISION SHALL BE PAINTED RED TO PREVENT ON-STREET PARKING OF VEHICLES.

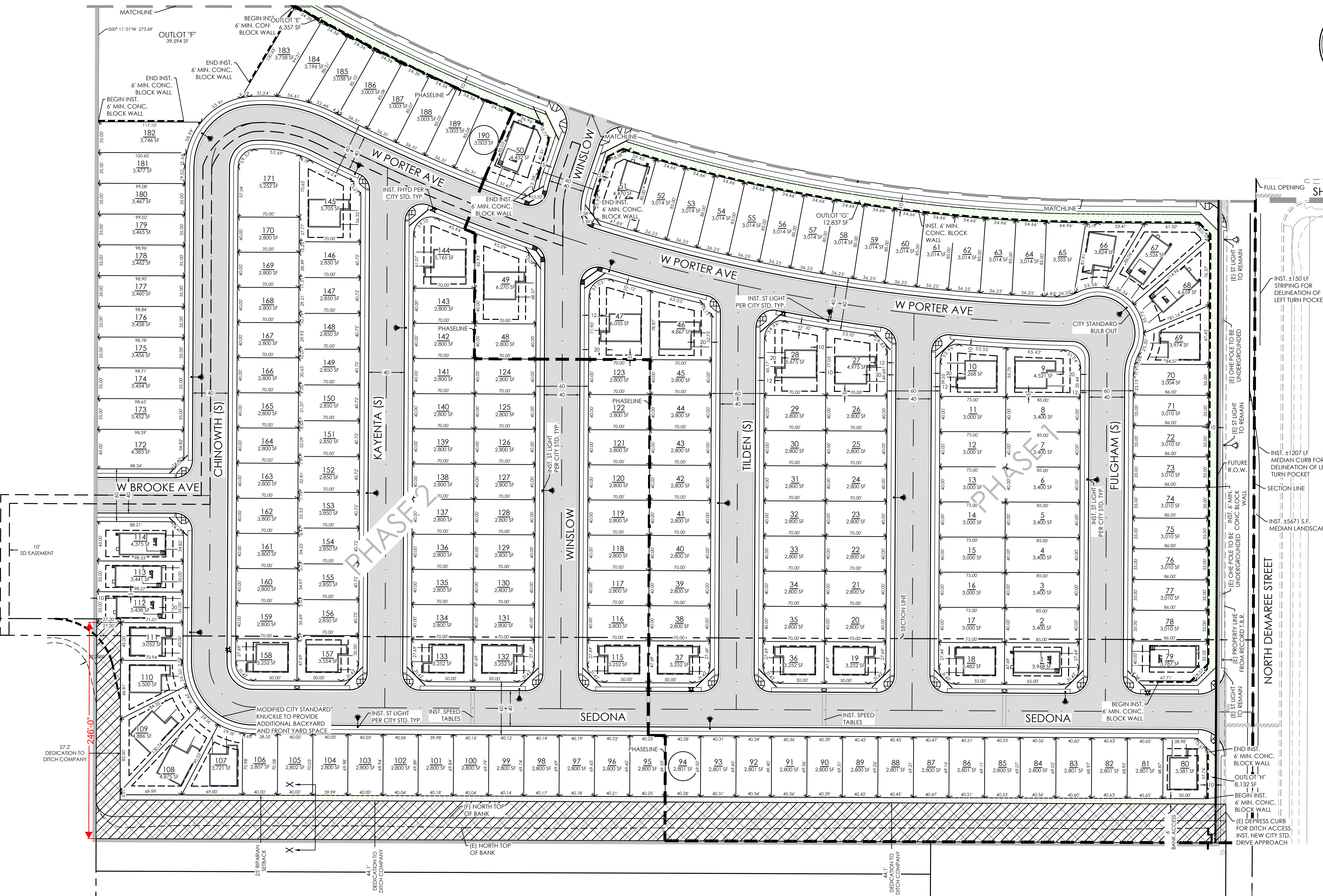
LOTS BY SQUARE FEET:

5,000 SF MIN: 28, 47, 67, 144-145, 171, 200, 206, 214-216, 244-245, 271, 284
TOTAL: 16

4,000 - 4,999 SF: 9-10, 27, 46, 50-51, 68, 109, 114, 172, 191-192, 198-199, 201-205, 209-213, 217-219, 240-243, 246-259, 269-270, 272-273, 283
TOTAL: 51

3,000 - 3,999 SF: 1-8, 11-19, 36-37, 52-66, 70-80, 69, 107, 110-113, 115, 132-133, 157-158, 173-190, 193-197, 193-197, 207-208, 220-239, 260-268, 274-282, 285-320
TOTAL: 155

2,800 - 2,999 SF: 20-26, 29-35, 38-45, 48, 81-106, 116-131, 134-143, 146-156, 159-170
TOTAL: 98



MODOC DITCH ALONG SOUTH PROPERTY LINE
LOOKING WEST (X-X)

LOCAL STREETS

T1 = 5.5 R-VALUE = TBD MIN 2.5' AC OVER 7' AB

N.T.S.

NORTH DEMAREE STREET

T1 = 8 R-VALUE = TBD MIN 5' AC OVER 8' AB

N.T.S.

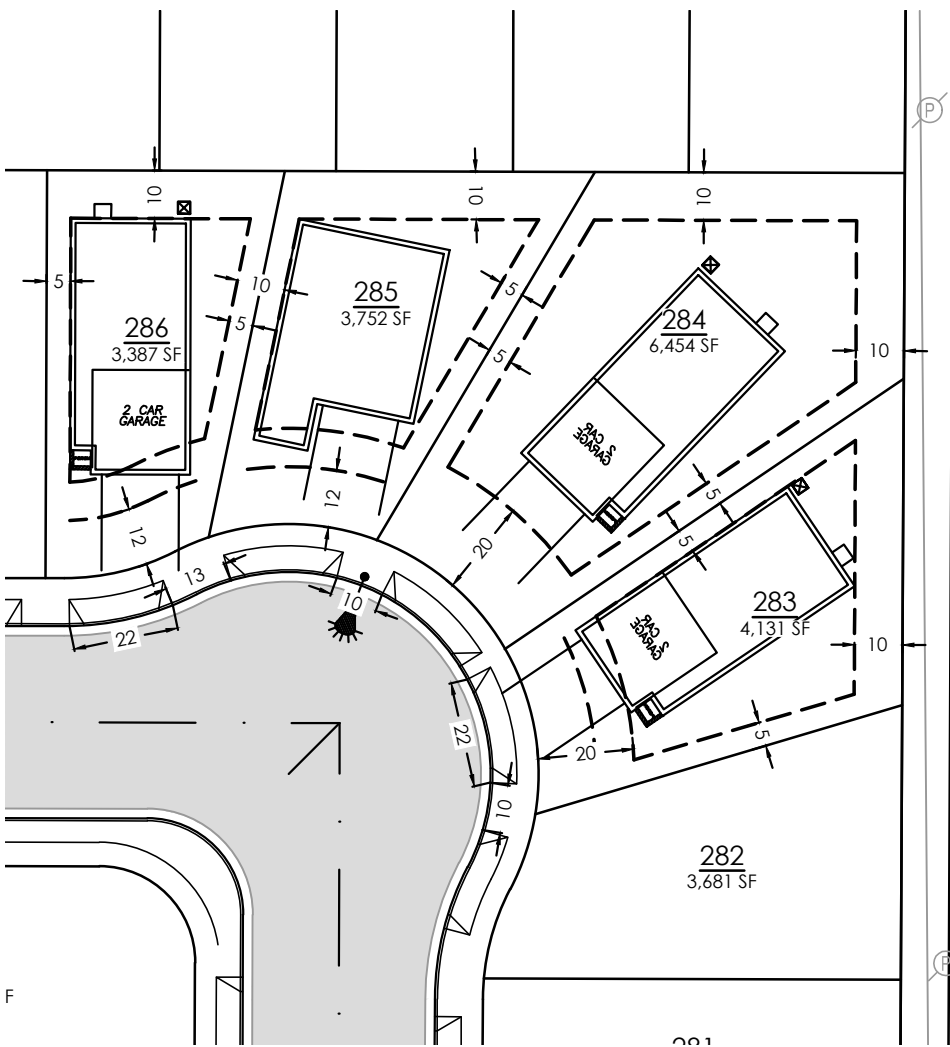
SHANNON PARKWAY

T1 = 8, R-VALUE = TBD MIN 5' A.C. OVER 8' A.B.

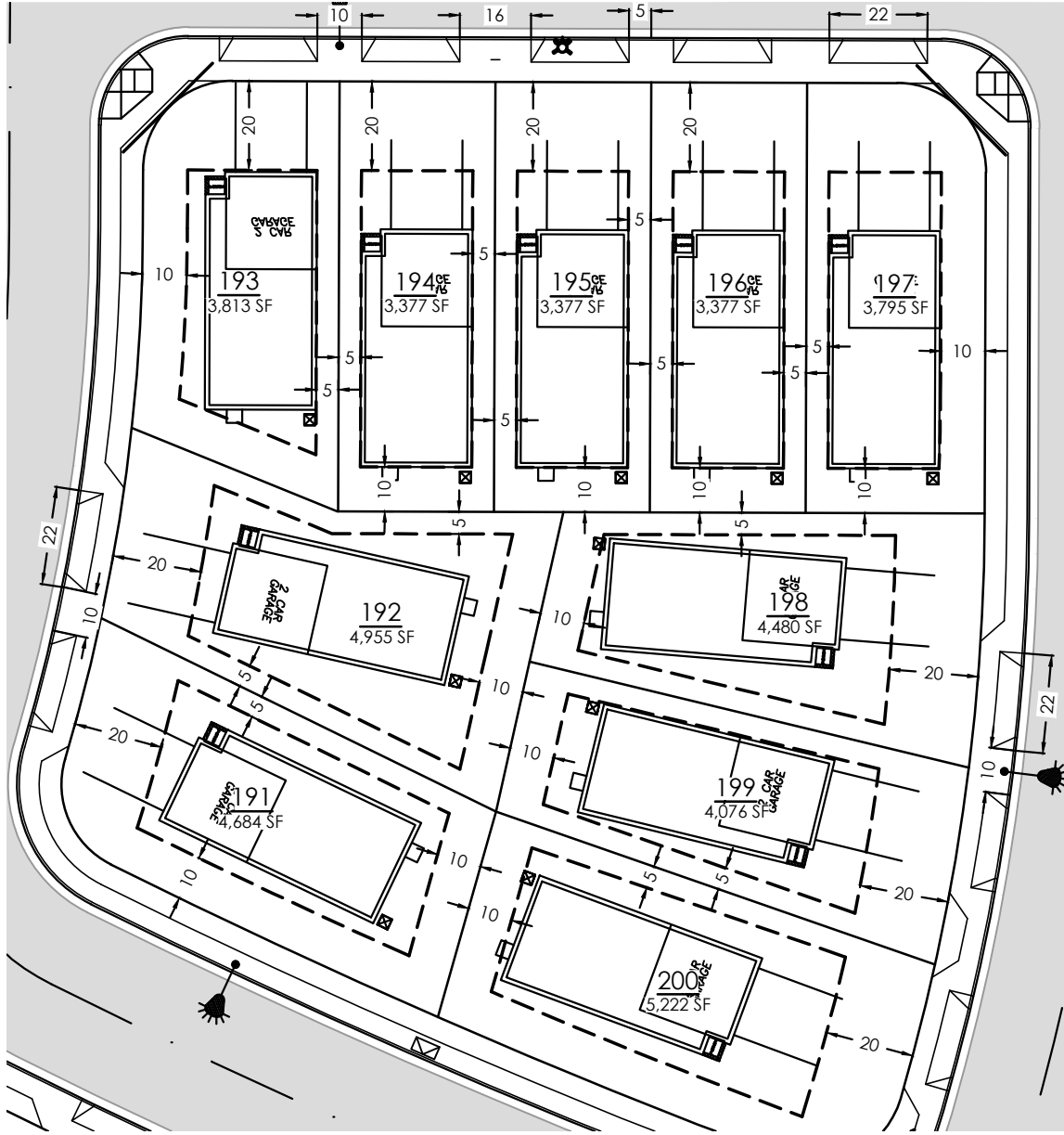
N.T.S.

EXHIBIT B

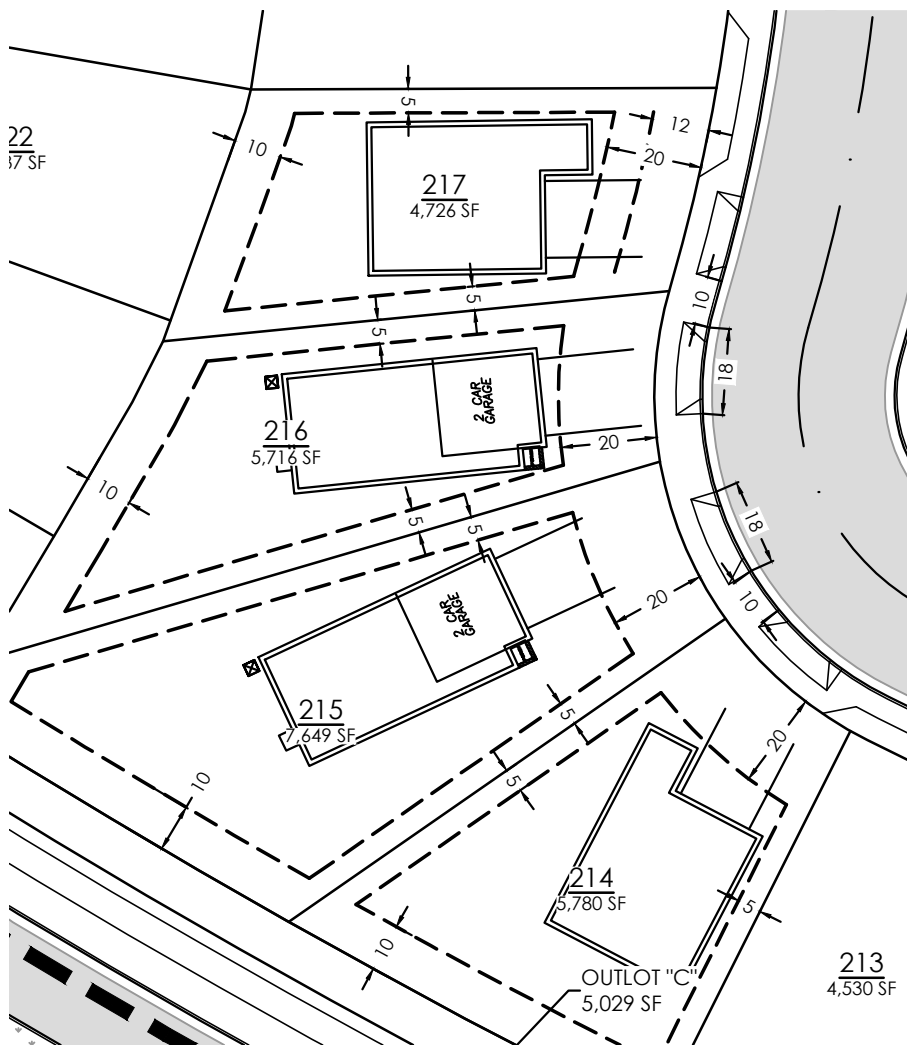
LOT EXHIBIT "A"



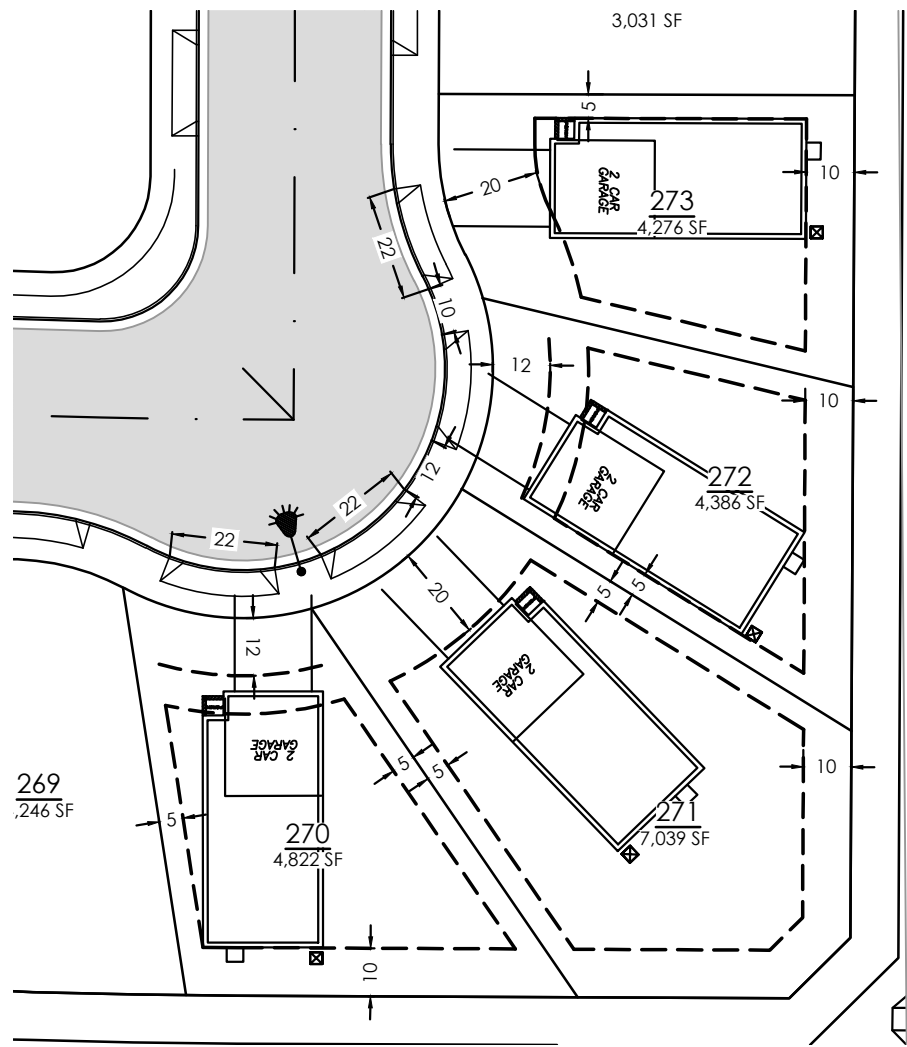
LOT EXHIBIT "B"



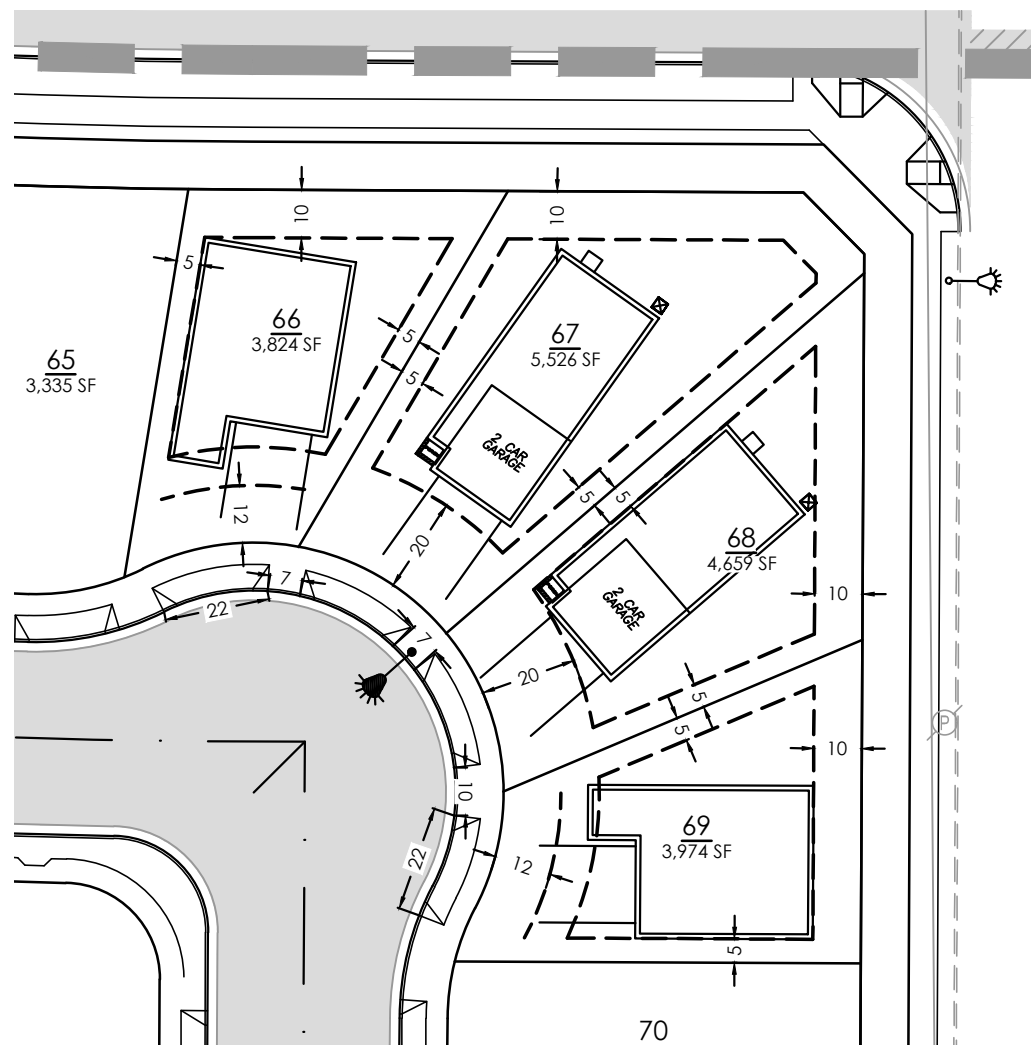
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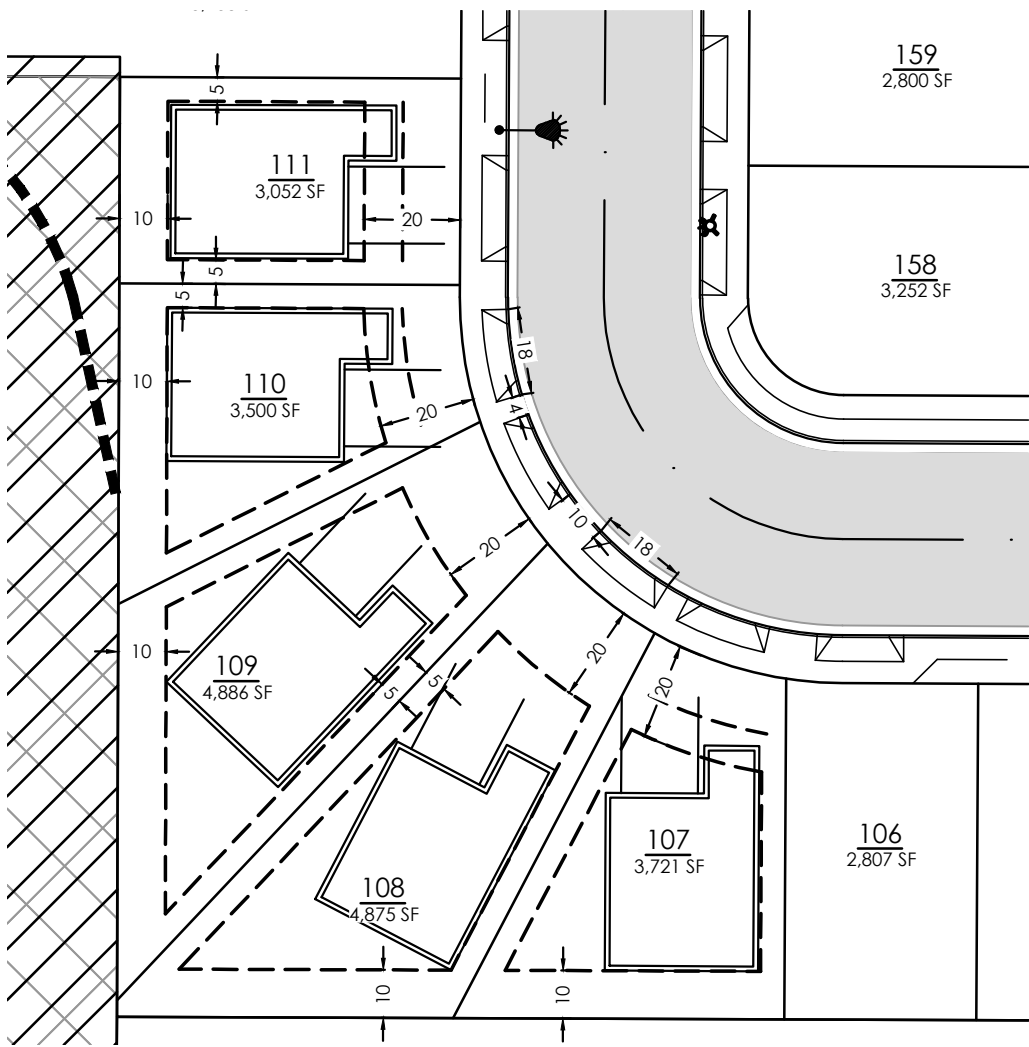
LOT EXHIBIT "D"



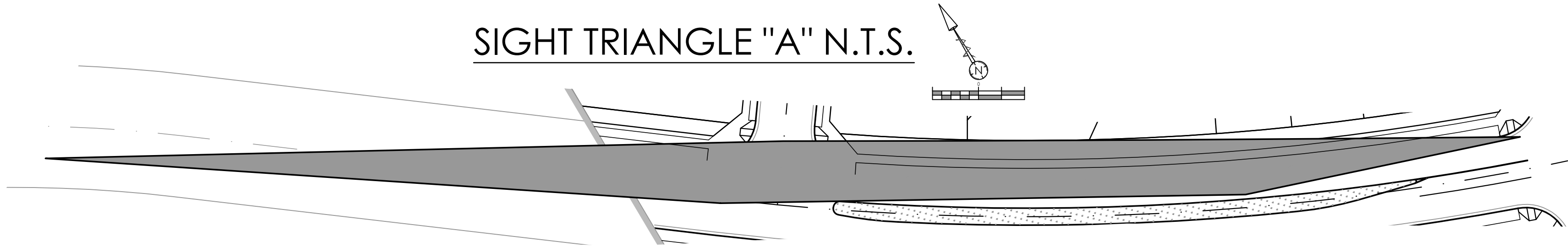
LOT EXHIBIT "E"



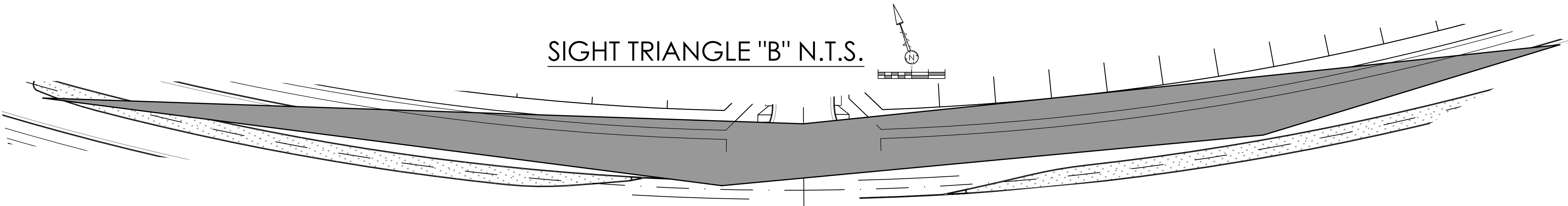
LOT EXHIBIT "F"



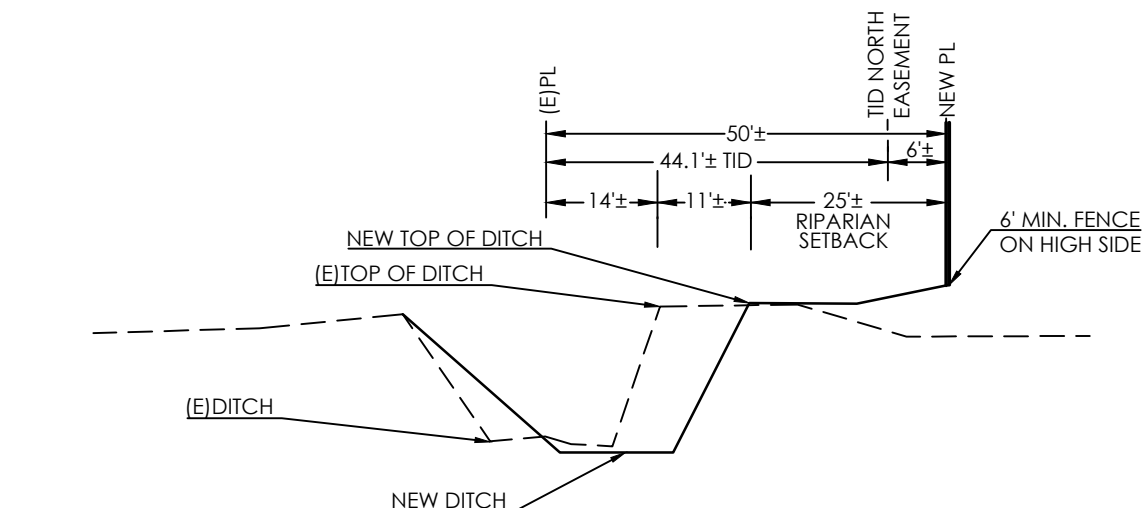
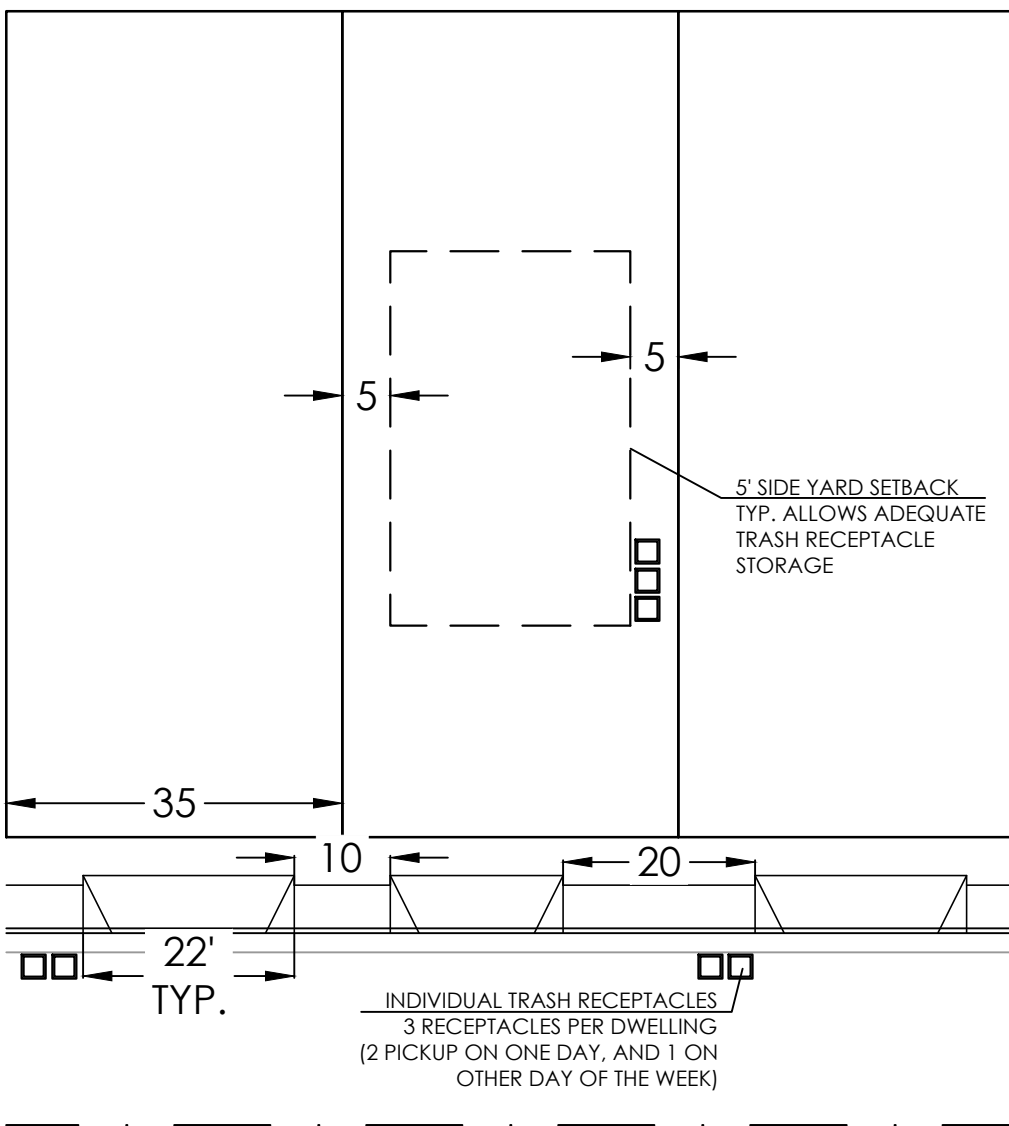
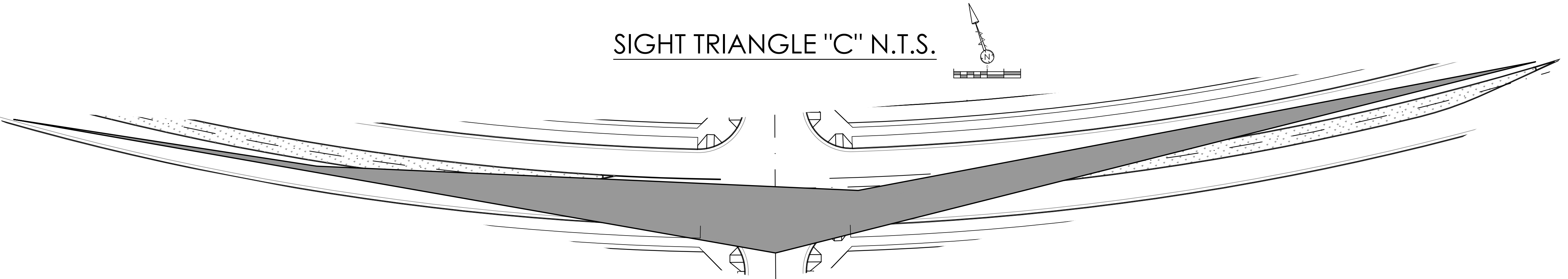
SIGHT TRIANGLE "A" N.T.S.



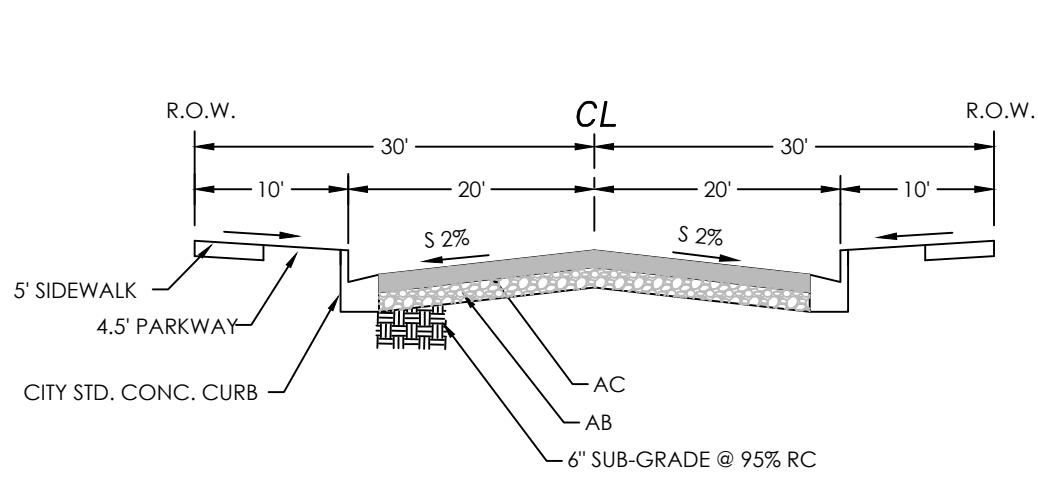
SIGHT TRIANGLE "B" N.T.S.



SIGHT TRIANGLE "C" N.T.S.



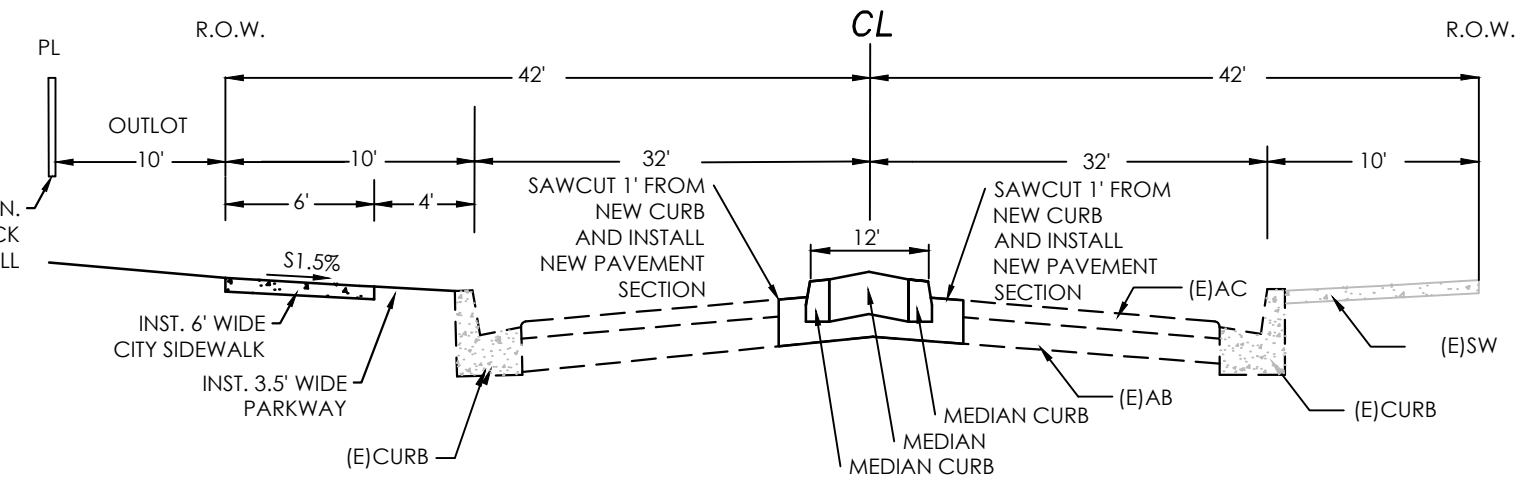
MODOC DITCH ALONG SOUTH PROPERTY LINE
LOOKING WEST (X-X)



LOCAL STREETS

T1 = 5.5 R-VALUE = TBD MIN 5.5' AC OVER 7" AB

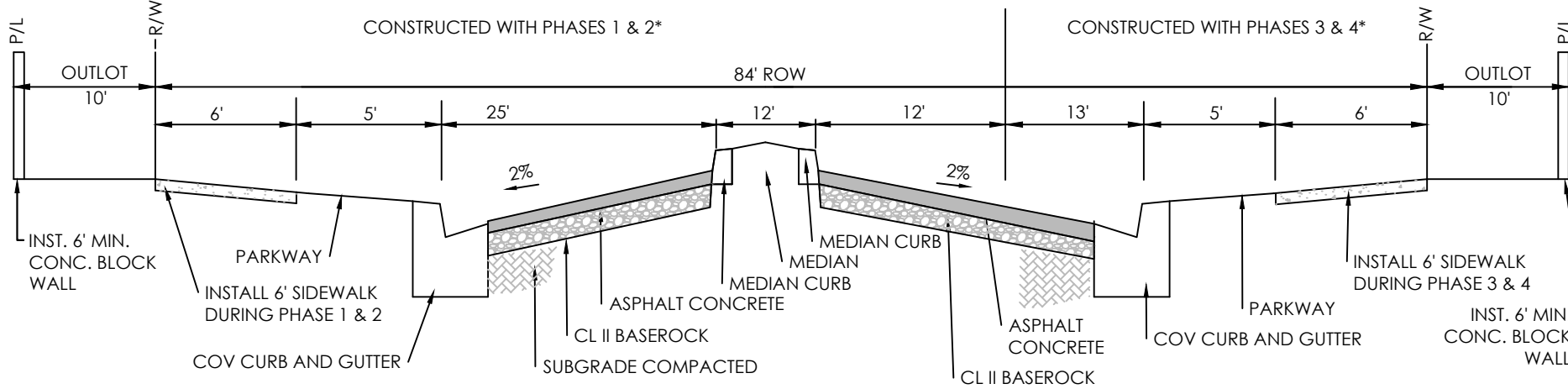
N.T.S.



NORTH DEMAREE STREET

T1 = 8 R-VALUE = TBD MIN 5' AC OVER 8" AB

N.T.S.



SHANNON PARKWAY

T1 = 8, R-VALUE = TBD MIN 5' A.C. OVER 8" A.B.

N.T.S.

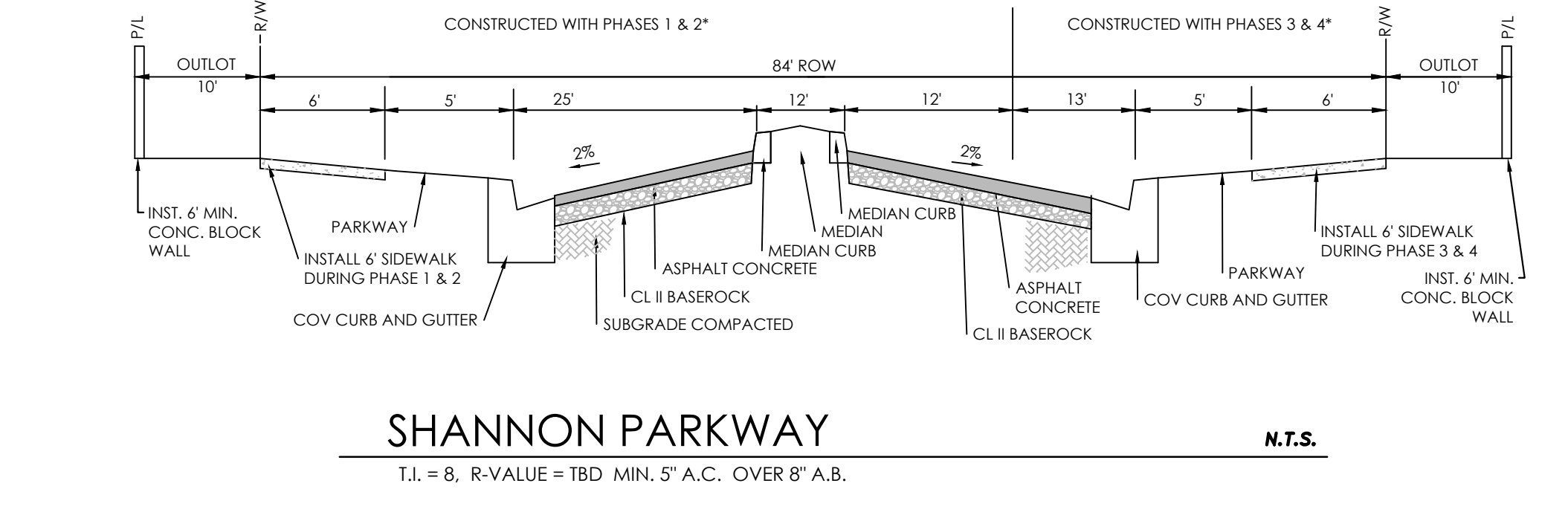
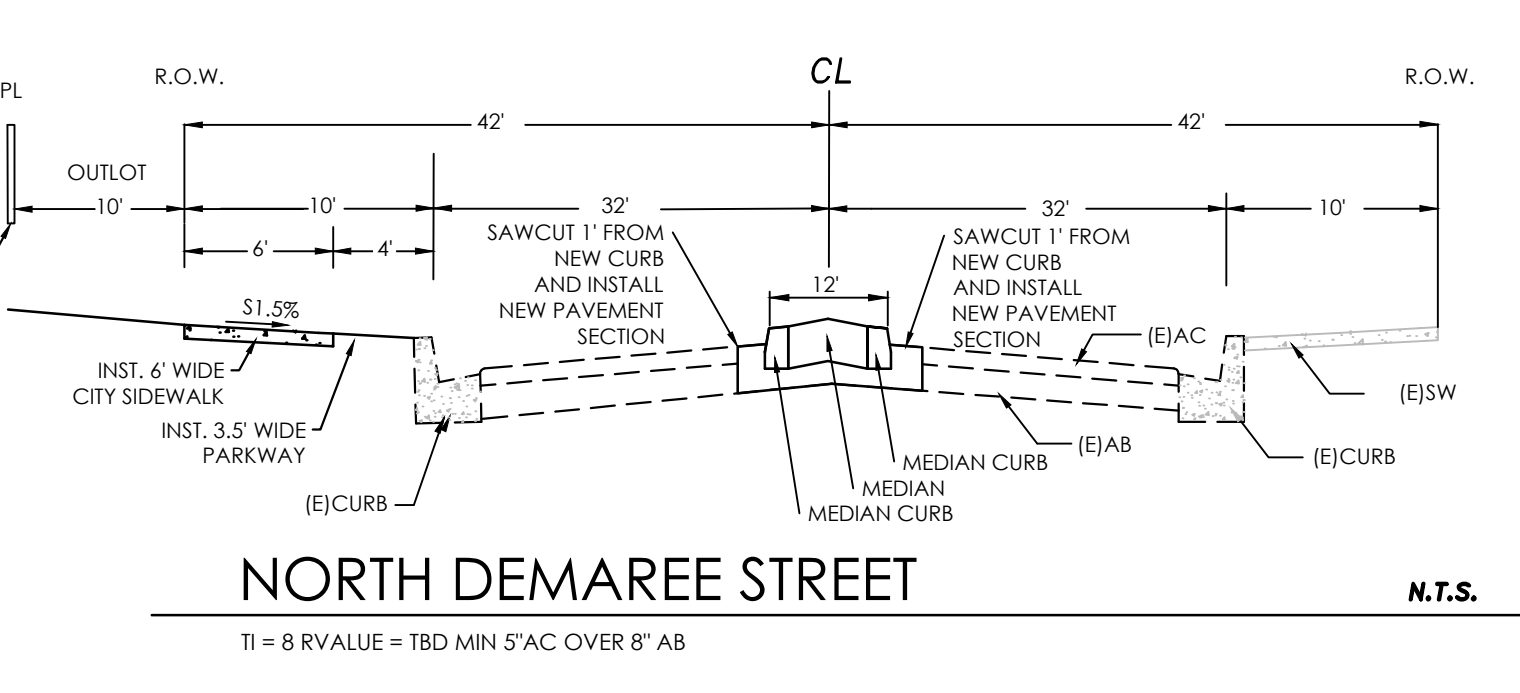
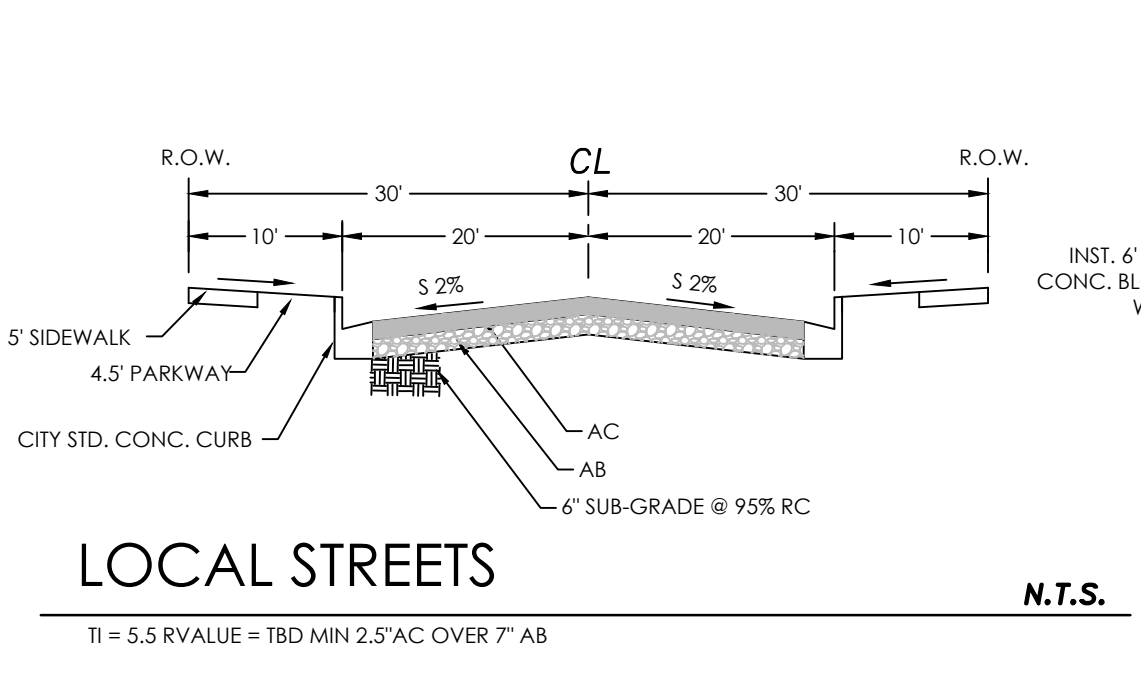
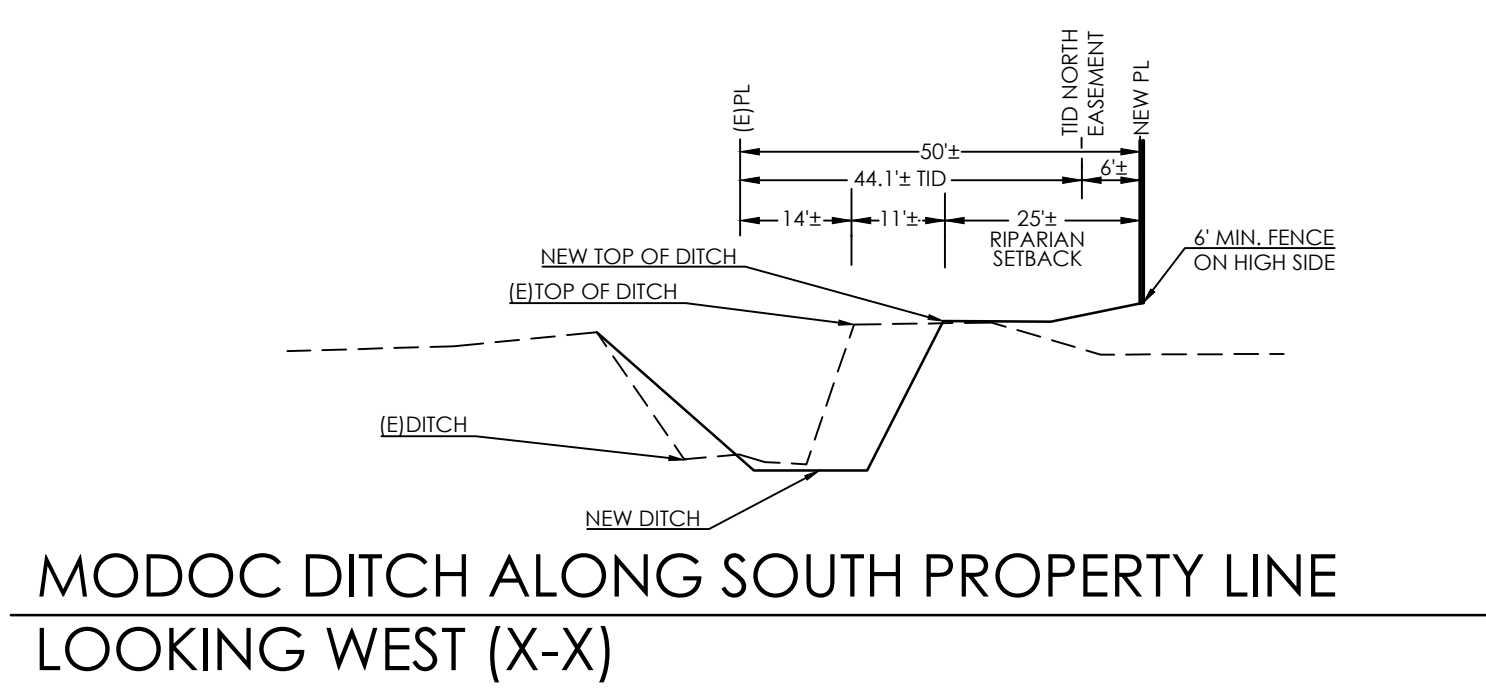
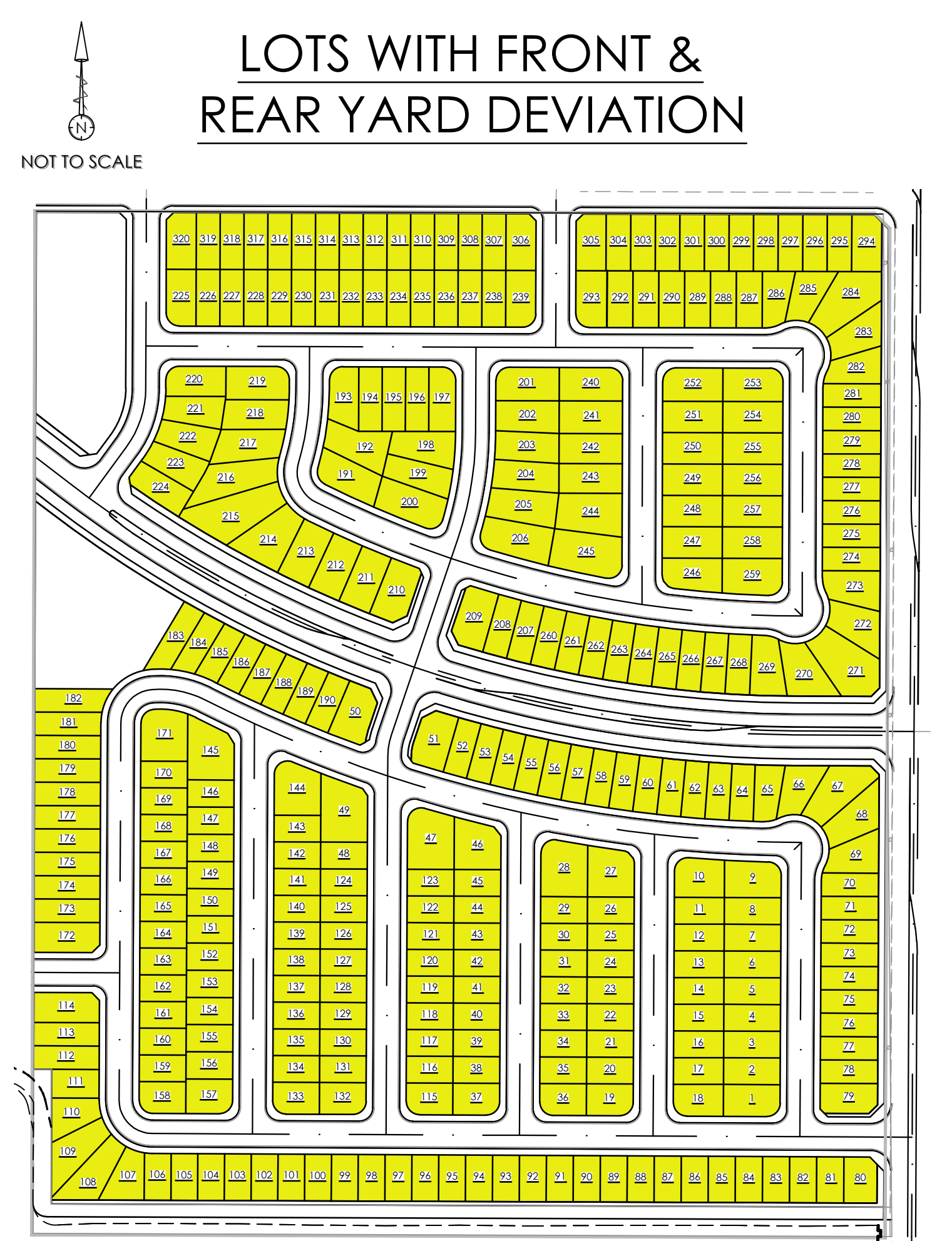
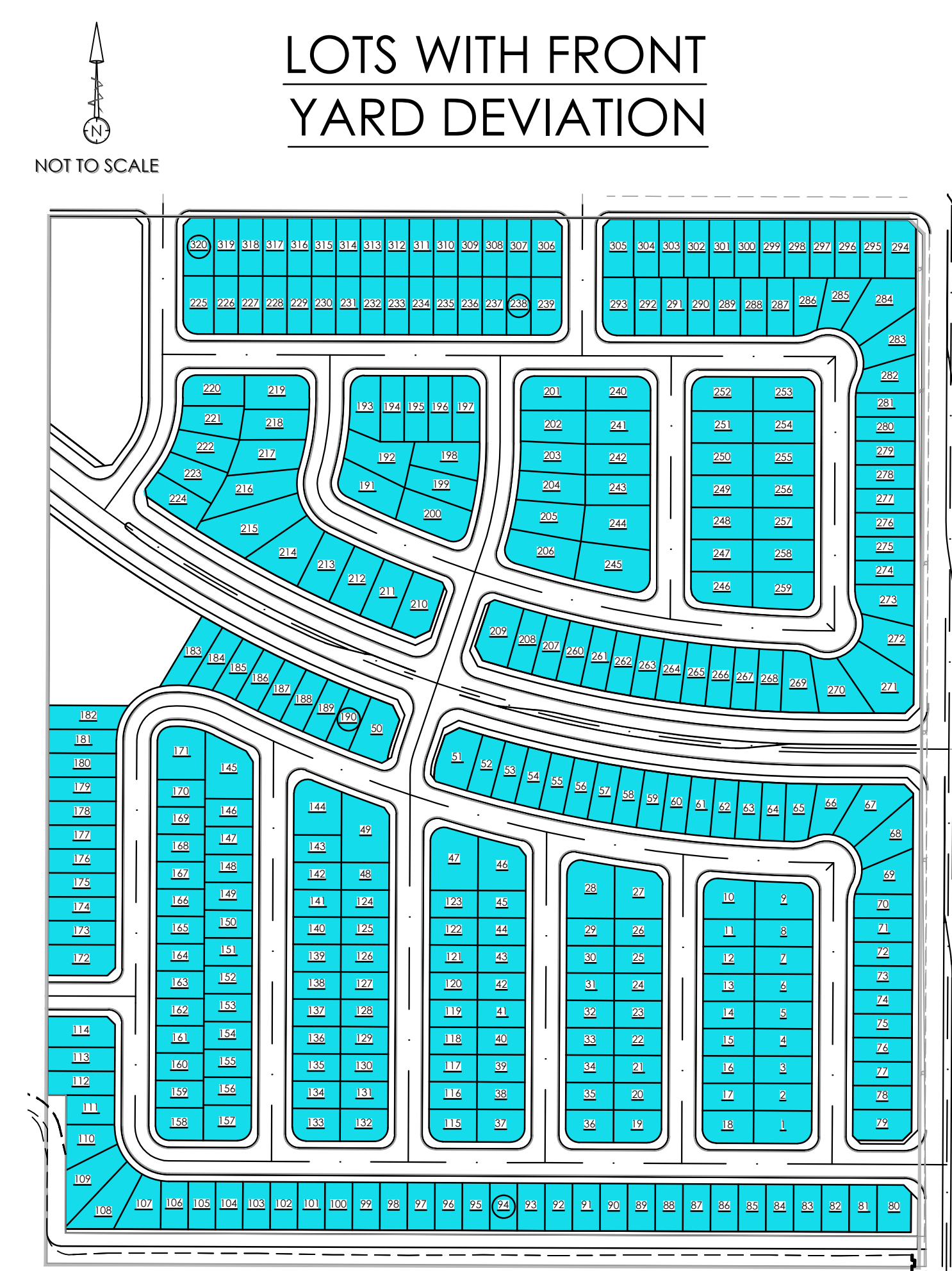
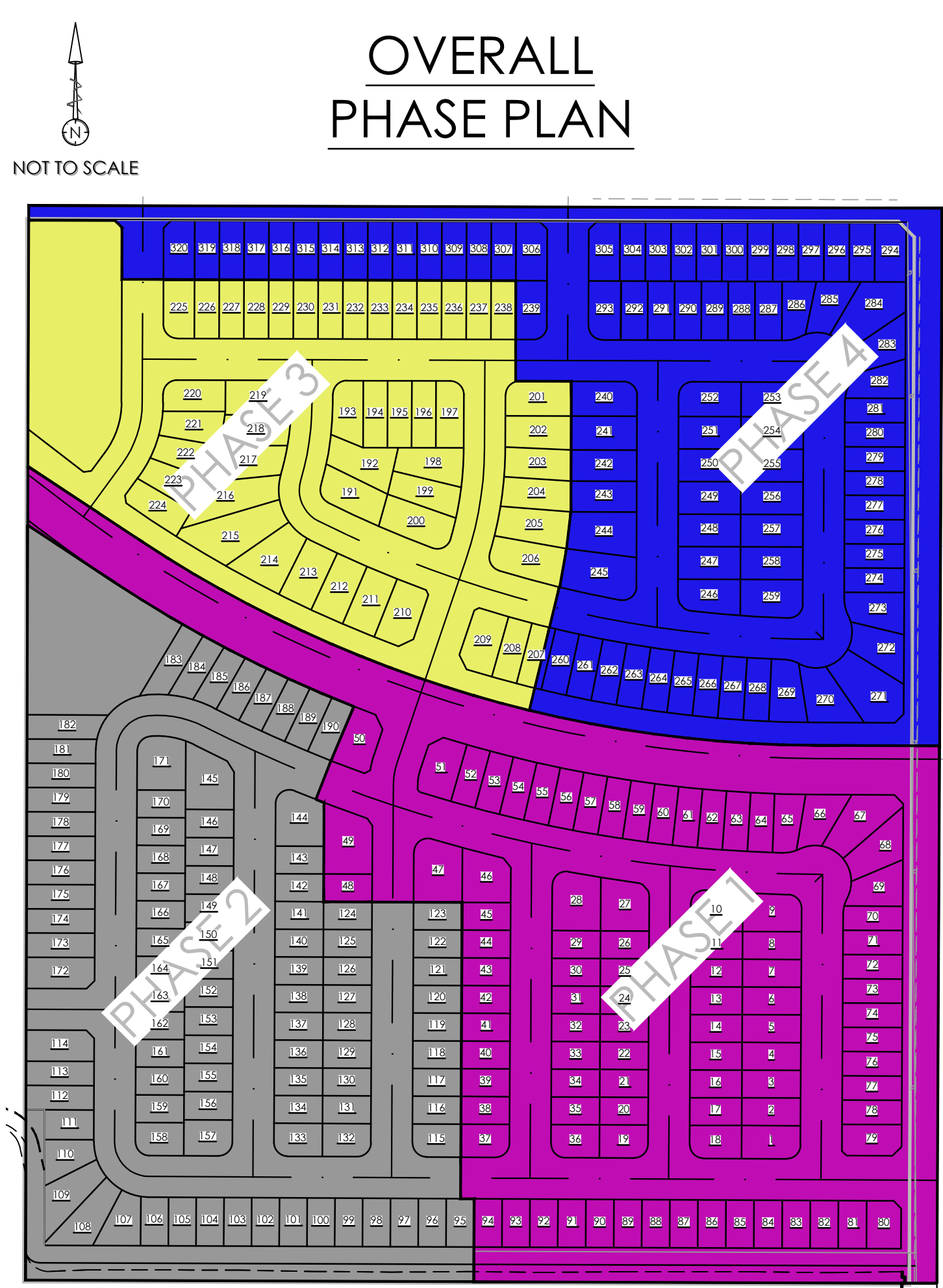
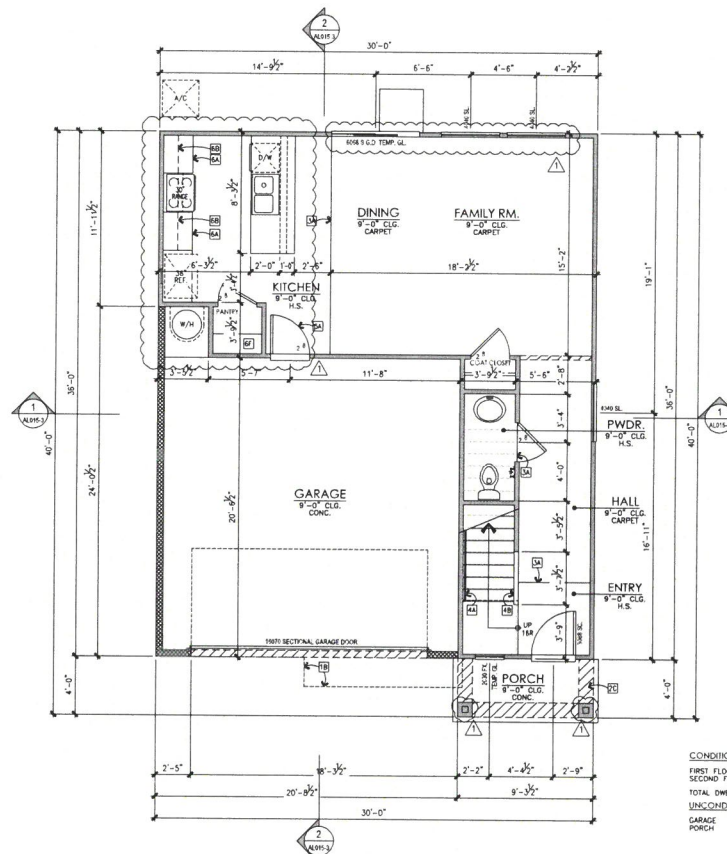


EXHIBIT D
- ALFA



FIRST FLOOR PLAN

194

FLOOR PLAN - GENERAL NOTES

SCALE: 1/4" = 1'-0"

- [illegible]

FLOOR PLAN - KEYNOTES

- [illegible]

FLOOR PLAN - WALL SYMBOL

- 2x4 WALL FRAMING - REFER TO STRUCTURAL
- 2x6 WALL FRAMING - REFER TO STRUCTURAL
- DOUBLE 2x4 WALL FRAMING OR 2x6 WALL FRAMING - REFER TO STRUCTURAL
- 2x WALL FRAMING w/ 2x BATTING FOR AGING IN PLACE - SEE SHEET 10C

<u>CONDITIONED SPACE</u>	
FIRST FLOOR AREA	645 SQ. FT.
SECOND FLOOR AREA	931 SQ. FT.
TOTAL DWELLING	1,576 SQ. FT.
<u>UNCONDITIONED SPACE</u>	
GARAGE	438 SQ. FT.
PORCH	36 SQ. FT.

LENNAR HOMES
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Phone: (951) 817-3582 Fax: (951) 817-3650

WEST REGION 30' CLOVIS

City, CA

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Phone (949) 660-1587

www.klcarch.com

Issue Date:
02/28/25
Revision Date:
03/03/25



Project #: 25007

Sheet Name:

First Floor Plan

Sheet #:

AL015-1

Accepted 1 August 2005
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Journal of Animal Ecology, **74**,
1005–1015

ATTIC VENTILATION REQUIREMENTS (CONC. TILE) FOR ELEVATION "A", "B", & "C"

ATTIC AREA "1" = 879 SQ. FT.
REQUIRED VENTILATION AREA = ATTIC AREA (879 SQ. FT.) / 150
= 5.86 SQ. FT. X 144 = 844.64 SQ. IN.

VENTILATION PROVIDED:
(1) "2x4" 3.5"x12" EAVE VENTS AT 81 SQ. IN. = 549 SQ. IN.
(4) "2x4" RAFTER GABLE END VENTS AT 119 SQ. IN. = 476 SQ. IN.
TOTAL VENTILATION PROVIDED: 1,025 SQ. IN.

ATTIC AREA "2" = 158 SQ. FT.
REQUIRED VENTILATION AREA = ATTIC AREA (158 SQ. FT.) / 150
= 1.06 SQ. FT. X 144 = 153 SQ. IN.

VENTILATION PROVIDED:
(2) "2x4" 3.5"x12" EAVE VENTS AT 81 SQ. IN. = 172 SQ. IN.
(1) FLAT TILE "TYPICAL" CROWNED VENT TILES AT 72 SQ. IN. = 86.72 SQ. IN.
TOTAL VENTILATION PROVIDED: 258.72 SQ. IN.

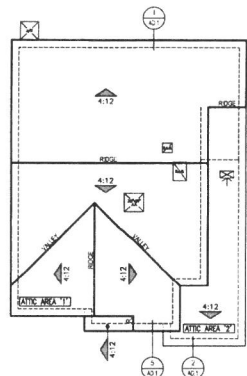
ATTIC VENTILATION REQUIREMENTS (COMP. SHINGLE) FOR ELEVATION "A", "B", & "C"

ATTIC AREA "1" = 879 SQ. FT.
REQUIRED VENTILATION AREA = ATTIC AREA (879 SQ. FT.) / 150
= 5.86 SQ. FT. X 144 = 844.64 SQ. IN.

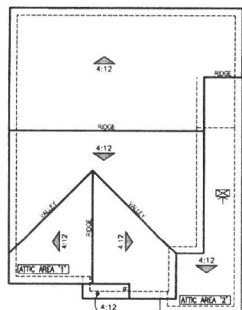
VENTILATION PROVIDED:
(1) "2x4" 3.5"x12" EAVE VENTS AT 81 SQ. IN. = 549 SQ. IN.
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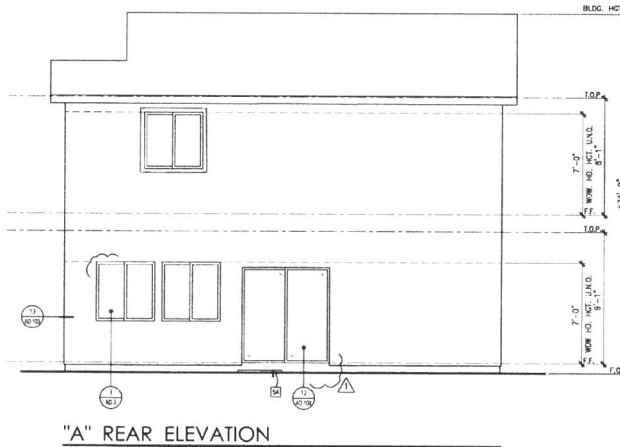
VENTILATION PROVIDED:
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(1) FLAT TILE "TYPICAL" CROWNED VENT TILES AT 72 SQ. IN. = 86.72 SQ. IN.
TOTAL VENTILATION PROVIDED: 258.72 SQ. IN.



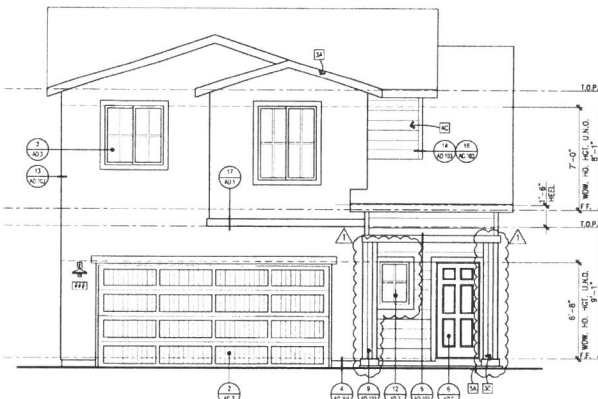
(CONC. TILE)
"A" ROOF PLAN



(COMP.)
"A" ROOF PLAN



"A" REAR ELEVATION



"A" FRONT ELEVATION

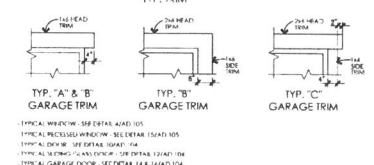
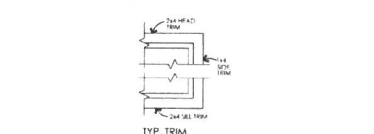
EXTERIOR ELEVATION - GENERAL NOTES

1. REFER TO STANDARD DETAILS FOR INFORMATION NOT SHOWN IN ADDENDA AND OPTIONAL REQUIREMENTS.
2. ALL FINISHES, DETAILS AND DIMENSIONS ARE TYPICAL TO THEIR CORRESPONDING ELEVATION.
3. EXTERIOR FINISHES: PLASTER (U.S.), WATER RESISTIVE BARRIER SHALL BE INSTALLED AS REQUIRED IN SECTION 0502 AND UNDER FINISHES OVER WOOD SHAPING, SHALL INCLUDE A WATER RESISTIVE BARRIER. THE BARRIER SHALL BE INSTALLED INDEPENDENTLY OF THE FINISHES AND SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS. THE BARRIER SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS. THE BARRIER SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS.
4. ALL FINISHES (PAINTED) SHALL BE DONE AS LOT'S REQUIREMENTS (MANUFACTURER'S INSTRUCTIONS).
5. WHEN A WINDOW IS ADJACENT TO A DOOR, A DOOR WINDOW HEATER SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS.
6. ALL EXTERIOR WINDOWS SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS.
7. FINE AND BOLD FINISHES SHALL BE DONE IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS.
8. SALTER BACKING, SEE DETAIL 104-105.
9. EXTERIOR DOOR THRESHOLD, SEE DETAIL 104-105.
10. TYPICAL GABLE, SEE DETAIL 104-105.
11. TYPICAL WINDOW CORNER, SEE DETAIL 104-105.
12. TYPICAL WINDOW CORNER, SEE DETAIL 104-105.
13. TYPICAL WINDOW CORNER, SEE DETAIL 104-105.
14. TYPICAL WINDOW CORNER, SEE DETAIL 104-105.
15. TYPICAL WINDOW CORNER, SEE DETAIL 104-105.
16. TYPICAL WINDOW CORNER, SEE DETAIL 104-105.
17. EXTERIOR WINDOW SHALL BE INSTALLED PER DETAIL 104-105.

EXTERIOR ELEVATION - KEYNOTES

1. EXTERIOR FINISHES
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ELEVATION	FINISHES	DETAILS	FINISHES	DETAILS	FINISHES	DETAILS
"A"	PLASTER (U.S.)	104-105	WOOD SHAPING	104-105	WOOD SHAPING	104-105
"B"	PLASTER (U.S.)	104-105	WOOD SHAPING	104-105	WOOD SHAPING	104-105
"C"	PLASTER (U.S.)	104-105	WOOD SHAPING	104-105	WOOD SHAPING	104-105



ROOF PLAN - GENERAL NOTES

1. REFER TO STANDARD DETAILS FOR INFORMATION NOT SHOWN IN ADDENDA AND OPTIONAL REQUIREMENTS.
2. ALL FINISHES, DETAILS AND DIMENSIONS ARE TYPICAL TO THEIR CORRESPONDING ELEVATION.
3. PROVIDE BARRIER IN GABLE CORNER RESISTANT METAL FLASHING AT ALL VALLEYS AND ROOF TO WALL CONNECTIONS.
4. ALL ROOF WALL AND ROOF FINISHES SHALL BE SCREENED WITH CORROSION RESISTANT, NON-CONDUCTIVE MESH WITH 1/4" MAXIMUM MESH OPENING.
5. REFER TO STANDARD DETAILS FOR ALL ROOF FINISHES AND ELECTRICAL METAL FLASHING CONNECTIONS.
6. PROVIDE EXTERIOR FLASHING AT ALL FLASH TO WALL TERMINATIONS. SEE DETAIL 104-105.
7. ROOF TO WALL FLASHING, SEE DETAIL 104-105.
8. ATTIC WALL, SEE DETAIL 104-105.
9. ROOF TO WALL FLASHING, SEE DETAIL 104-105.

ROOF PLAN - KEYNOTES

1. CORROSION RESISTANT METAL FLASHING, SEE DETAIL 104-105.
2. CORROSION RESISTANT METAL FLASHING, SEE DETAIL 104-105.
3. CORROSION RESISTANT METAL FLASHING, SEE DETAIL 104-105.

ROOF FINISHES/DETAIL NOTES

ELEVATION	FINISHES	DETAILS	FINISHES	DETAILS	FINISHES	DETAILS
"A"	PLASTER (U.S.)	104-105	WOOD SHAPING	104-105	WOOD SHAPING	104-105
"B"	PLASTER (U.S.)	104-105	WOOD SHAPING	104-105	WOOD SHAPING	104-105
"C"	PLASTER (U.S.)	104-105	WOOD SHAPING	104-105	WOOD SHAPING	104-105

VERIFY ALL FINISHES AND DETAILS WITH THE MANUFACTURER'S INSTRUCTIONS.

LENNAR HOMES
1025 Croydon Blvd., Suite 200, Irvine, CA 92614
Phone (949) 817-3882 Fax (949) 817-3883

WEST REGION 30' CLOVIS ALFA

Kevin L. Crook Architect, Inc.
1360 Reynolds Ave., Suite # 110 Irvine, CA 92614
Phone (949) 660-1587
www.klcaarch.com

Issue Date: 02/28/25
Revision Date: 03/03/25

LICENSED ARCHITECT
KEVIN L. CROOK
No. C-10811
Exp. 9-30-25
STATE OF CALIFORNIA

Project #: 25007
Sheet Name: "A" Elevations and Roof Plan
Sheet #: AL015-4



Project #:	25007
Sheet Name:	"B" Elevations and Roof Plan
Sheet #:	AL015-6



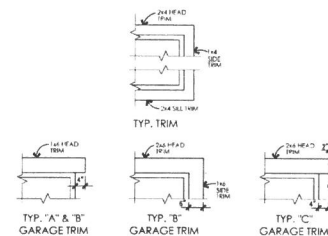
SCALE 1/24" = 1'-0"

- [illegible]

(SEE EXTERIOR ELEVATION FINISHES)

- [illegible]

LEVEL AREA	STRUCTURE	STRUCTURAL FINISH	SHIMMED WOOD SIDING FINISH	SHIMMED WOOD TRUSS COVER FINISH	SHEETERS
A	16/20 SAND FLOAT	16/20 SAND FLOAT	WOOD GRAIN	WOOD GRAIN	WOOD GRAIN
B	16/20 SAND FLOAT	16/20 SAND FLOAT	WOOD GRAIN	WOOD GRAIN	WOOD GRAIN
C	16/20 SAND FLOAT	16/20 SAND FLOAT	WOOD GRAIN	WOOD GRAIN	WOOD GRAIN



- TYPICAL WINDOW - SEE DETAIL A1401-105
- TYPICAL RECESSED WINDOW - SEE DETAIL 15/AD-105
- TYPICAL DOOR - SEE DETAIL 10/AD-114
- TYPICAL SLIDING GLASS DOOR - SEE DETAIL 13/AD-104
- TYPICAL GARAGE DOOR - SEE DETAIL 14 & 16/AD-104

SCALE 1 CM = 1 CM

1. REFER TO SCHEDULE 5 FOR PLANS FOR INFORMATION. SEE SHEET CH-100 FOR ADDITIONAL ROOM PLANS.
2. ALL KITCHENS, DETAILS AND DIMENSIONS ARE TYPICAL FOR THIS CATEGORY IN UNIT.
3. PROVIDE ANCHORS IN CONCRETE FOR RESISTANT METAL FLASHING AT ALL WALLS AND ROOF-TO-WALL CONNECTIONS.
4. ALL ROOF AND EAVE FLASHINGS SHALL BE SCREENED WITH CORROSION RESISTANT, NON-COMBUSTIBLE WIRE MESH (SEE SCHEDULE 5 FOR SCREENING).
5. REFER TO SCHEDULE 5 FOR PLANS FOR ALL SHEET METAL AND ELECTRICAL INSTALLATION REQUIREMENTS.
6. PROVIDE KICK OUT FLASHING AT ALL FASCIA TO WALL TERMINATIONS. SEE DETAIL 7240-102.
7. EAVE TO WALL FLASHING. SEE DETAIL 7240-102.
8. ATTIC F.A.U. SEE DETAIL 1140-102.
9. FIRE VENT PENETRATIONS. SEE DETAIL 1140-102.

1. CORROSION-RESISTANT METAL CRIBS - SPECIFIED 316L 102

3. (DIFFERENTIAL) PAK

ELEVATION	DOOR FILE	DETAIL	PAGE NO.	SHEET NO.	ASSEMBLY NAME, UNIT	
					DATE	NAME
100	100-100-100-100-100-100	100-100-100-100-100-100				

"A"	FLAT RILE / COMP. SHINGLE	2 & 4/4101	2x6	2x6	6'	6'
"B"	FLAT RILE / COMP. SHINGLE	2 & 4/4101	2x6	2x6	6'	6'
"C"	FLAT RILE / COMP. SHINGLE	2 & 4/4101	2x6	2x6	6'	6'

NOTES: ALL ROOF FRAMES WITH ABOVE SIZES OF JOISTS

TABLE 1. HALL, KILGUST, FARRINGTON, AND HARRIS, 1987. REPRODUCTION OF *CL. CAURUS* IN THE 1980s.

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WEST REGION 30' CLOVIS
ALFA

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Issue Date: 02/28/25
Revision Date: 03/03/25



Project #: 25007
Sheet Name: C" Elevations and Roof Plan
Sheet #: AL015-8

Figure 11. 3.5 (b)

ATTIC AREA '2' = 120 SQ. FT.

REQUIRED VENTILATION AREA = ATTIC AREA (120 SQ. FT.) / 150
= 0.80 SQ. FT. x 144 = 115 SQ. IN.

VENTILATION PROVIDED:

(2) "C&P" 3.5"x22" EAVE VENTS AT 61 SQ. IN. = 122 SQ. IN.

TOTAL VENTILATION PROVIDED: 122 SQ. IN.

FOR ELEVATION A, B & C	
ATTIC AREA '1' =	1,062 SQ. FT.
REQUIRED VENTILATION AREA = ATTIC AREA (1,062 SQ. FT.) / 150	
= 7.08 SQ. FT. X 144 =	1,020 SQ. IN.
VENTILATION PROVIDED:	
(17) "6x" 3.5"x22" EAVE VENTS AT 81 SQ. IN. =	1,037 SQ. IN.
TOTAL VENTILATION PROVIDED:	1,037 SQ. IN.

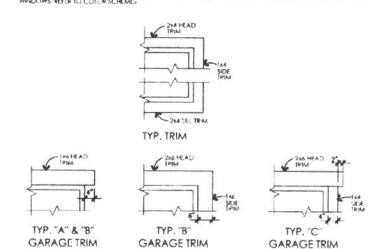
ATTIC AREA '2' = 120 SQ. FT.

REQUIRED VENTILATION AREA = ATTIC AREA (120 SQ. FT.) / 150
= 0.80 SQ. FT. X 144 = 115 SQ. IN.

VENTILATION PROVIDED:

(2) "CA" 3.5"x22" EAVE VENTS AT 81 SQ. IN. = 122 SQ. IN.

TOTAL VENTILATION PROVIDED: 122 SQ. IN.

[illegible][illegible]

ITEMS 1 THROUGH 10 ARE FOR INFORMATION ONLY. SHOWING THE GENERAL SCOPE AND
2 ALL UTILITIES AND REMEDIATION ARE TYPICAL TO THEIR CONSTRUCTION.
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VERY TALL WOOD FINCHES WITH ATTRACTIVE COLOURS, FEARS.

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Issue Date: 02/28/25
Revision Date: 03/03/25



<u>Project #:</u> 25007
<u>Sheet Name:</u> "A" Elevations and Roof Plan
<u>Sheet #:</u> AL017-4

† $\Delta H_{\text{fusion}} = 10.1 \text{ kJ mol}^{-1}$ at 300 K ,
‡ $\Delta H_{\text{fusion}} = 10.1 \text{ kJ mol}^{-1}$ at 300 K .



EXTERIOR ELEVATION - GENERAL NOTES

SCALE 1/4" = 1'-0"

- [illegible]

EXTERIOR ELEVATION - KEYNOTES

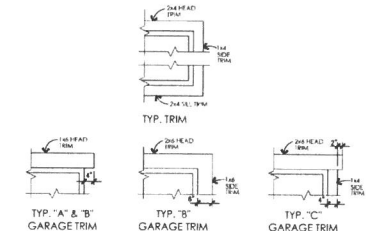
(SEE EXTERIOR ELEVATION FINISHES)

1. EXPANDED POLYSTYRENE
- 1A. STUCCO OVER EXPANDED POLYSTYRENE (E.P.S.) FOAM TRIM
- 1B. DECORATIVE LAQUEURED GABLE END VINYL
- 1C. STUCCO FINISHED IMPERMEABLE BRICKS
- 1D. STUCCO OVER EXPANDED POLYSTYRENE FOAM (CERBOL)
2. METALS
- 2A. CORROSION RESISTANT METAL CORNICE
- 2B. CORROSION RESISTANT METAL CORNICE FINISH
- 2C. CORROSION RESISTANT METAL SADDLE FINISH
- 2D. CORROSION RESISTANT METAL CORNICE JOINT
3. WOOD
- 3A. WOOD FACIAL BRIDGE BOARD - REFLECT BACK INSIDE (DUAL NEUTRALITY)
- 3B. WOOD TRIM
- 3C. WOOD TRIM
- 3D. WOOD TRIM JOINT

4. UNILATERAL PULPIT: INSTALL ALL CEMENT/PORE FILL PINS TO BE SCALED IN.
5. AMAL FILL RESTORATION OR HIGH CEMENTITY P.S. FILLING PLAIN CANTAIN SHEET
6. CEMENTIOUS FREE TISSUE
7. CEMENTIOUS FREE P.S. AIR SEWING
8. CEMENTIOUS FREE SHINOLE SHEET
9. CEMENTIOUS FREE VERTICAL BATH AT 26°C. OVER CEMENTIOUS FREE PANEL SEWING
10. AMAL FILL POLYMER OR HIGH CEMENTITY P.S. FILLING PLAIN
11. AMAL FILL POLYMER OR HIGH CEMENTITY P.S. FILLING PLAIN ON MATERIAL
12. MARGIN & CONCRETE
13. FILL WITH CEMENTIOUS FREE OR SHINOLE PLAIN FILL USE
14. MAKE CEMENTIOUS FREE VERTICAL ADHESION TO UNILCO. BLENDED CEMENTIOUS FREE 1215 OR APPROXIMATE EQUAL
15. INSTALL PER MARGINAL P.S. FILLING PLAIN
16. MAKE VERTICAL ADHESION TO UNILCO. INSTALL PER MARGINAL P.S. FILLING PLAIN

6A FALSE CLAY

- | EXTERIOR ELEVATION FINISHES | | | | | |
|-----------------------------|------------------|----------------------------------|---------------------------------|---------------------------------|------------|
| ELEVATION | STRUCTURE FINISH | STOCK DOOR/Window
CORE FINISH | SHAKE/SLATE/WOOD
SHAKE/SLATE | SHAKE/SLATE/WOOD
SHAKE/SLATE | SHAKES |
| A | 1/2" DOOR/SLATE | 1/2" DOOR/SLATE | WOOD GRAIN | WOOD GRAIN | WOOD GRAIN |
| B | 1/2" DOOR/SLATE | 1/2" DOOR/SLATE | WOOD GRAIN | WOOD GRAIN | WOOD GRAIN |
| C | 1/2" DOOR/SLATE | 1/2" DOOR/SLATE | WOOD GRAIN | WOOD GRAIN | WOOD GRAIN |
| D | 1/2" DOOR/SLATE | 1/2" DOOR/SLATE | WOOD GRAIN | WOOD GRAIN | WOOD GRAIN |



ROOF PLAN - GENERAL NOTES

SCALE 100 = 1.00

1. ALL TO/ FROM STAIRWELL DOOR PLAN IS PERPENDICULAR TO THE INTERIOR AND EXTERIOR DOOR PLANS.
2. ALL WEIRDS, INLET AND OUTLET DRAINAGE ARE IDENTICAL TO NEW CONCRETE SLAB.
3. PROVIDE MEMBRANE TO CORROSION RESISTANT AFTER FLASHING AT ALL VALLEYS AND ROOF TO WALL CONNECTIONS.
4. INTERIOR WALL AND EXTERIOR WALL SHALL BE FLASHED WITH CORROSION RESISTANT MOUNT CORROSION RESISTANT WIRE.
5. INTERIOR WALL AND EXTERIOR WALL FLASHING.
6. REFER TO S-10.5 PLAN FOR INTERIOR PANEL AND ELECTRICAL INTERIOR AND EXTERIOR TYPICALS.
7. PROVIDE ROOF OUT FLASHING AT ALL ROOF TO WALL TERMINATIONS. SEE DETAIL 3747.100.
8. REFER TO WALL FLASHING. SEE DETAIL 3748.100.
9. ATROF P.A.U. SEE DETAIL 4047.100.
10. PREVENT PENETRATIONS. SEE DETAIL 3749.100.

ROOF PLAN - KEYNOTES

1. CORROSION RESISTANT METAL FROCKET - SEE DETAIL 3/AD 162
2. CORROSION RESISTANT GUTTER AND DOWNSPOUTS - DRAIN TO CONC. FLATWORK/ SPLASH BLOC
3. OPTIONAL PAINT

ROOF FINISHES/ DETAIL NOTES						
ELEVATION	ROOMS	DETAIL	FINISH UNCL	RAPI (S)	BRICKWORK BRICKS (CLAY)	RAPI
"A"	FLATIRE / COMP SHINGLE	2 & 4" AD 101	2x6	2x6	6"	6"
"B"	FLATIRE / COMP SHINGLE	2 & 4" AD 101	2x6	2x6	6"	6"
"C"	FLATIRE / COMP SHINGLE	2 & 4" AD 101	2x6	2x6	6"	6"

VERIFY ALL ROUGH FINISHES WITH APPROVED COLOR SAMPLES

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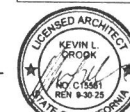
WEST REGION 30' CLOVIS
ALFA

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02/28/25
Revision Date
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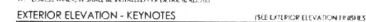
"A" Elevation

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A1017

Figure 10. A1317 (cont.)

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TRANSPORTATION TO THE COURTS



ROOF PLAN - GENERAL NOTES

ROOF PLAN - KEYNOTES

ROOF FINISHES/ DETAIL NOTES					
ELEVATION	POSITION	DETAIL	TA/TA	RA/RA	WIND DIRECTION

VERIFY ALL ROOF FINISHES WITH APPROVED COLOR SCHEMES

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Issue Date:
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03/03/25



Project #:	25007
Sheet Name:	"B" Elevations and Roof Plan
Sheet #:	AL017-6



EXTERIOR ELEVATION - GENERAL NOTES

$$S(A|F)/K = 1/0$$

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EXTERIOR ELEVATION - KEYNOTES

(SEE EXTERIOR ELEVATION FINISHES)

1. COATING FINISH
- 1A. STUCCO OVER EXPANDED POLYSTYRENE (EPS) INSULATION
- 1B. EXTERIOR COATABLE LIGHT ENVIDIT
- 1C. TRACED AND/OR PAINTED FINISHES
- 1D. STUCCO OVER EXPANDED POLYSTYRENE FOAM CORREL
2. METALS
- 2A. CORROSION RESISTANT METAL ROOFING
- 2B. CORROSION RESISTANT METAL OVERLAY FINISH
- 2C. CORROSION RESISTANT METAL BASED FLASHING
- 2D. CORROSION RESISTANT METAL CORROSION JOINT
3. GLASS
- 3A. INSULATED GLASS BARRE BOARD - REFER TO BOOF INSULATION DETAILS NOTES IN D.
- 3B. INSULATED
- 3C. INSULATED
- 3D. INSULATED

4. $\text{SUM} \leftarrow \text{ATEQ}(\text{WH}, \text{CO})$

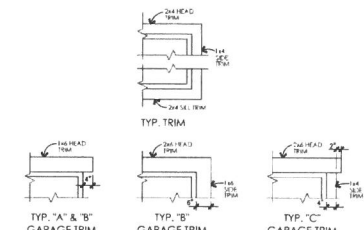
ALL CEMENTITIOUS FIBER TRING TO BE 5/4x UN O

4. **APPLY TOP SURFACING COAT OR HIGH DENSITY E.P.S. FOAM PLANE ON FOAM SHEETER**
5. **CONCENTRIC FREE INFLAT SANDING**
6. **CONCENTRIC FREE INFLAT SANDING**
7. **EXTRUSION FROM VERTICAL MATING AT 240°C OVER CONCENTRIC FREE PLANE SANDING**
8. **APPLY POLY VINYLIDENE CHLORIDE E.P.S. FOAM PLANE**
9. **APPLY TOP SURFACING COAT OR HIGH DENSITY E.P.S. FOAM PLANE ON RATEDER**
10. **MATERIALS & COMPONENTS**
11. **CONCRETE STOPCOCK (REF. 1) 30.000 GRS. FOR 20.000 GRS.**
12. **MATERIALS & COMPONENTS**
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100. **MATERIALS & COMPONENTS**

AB - OPTIONAL DOOR/ WINDOW - SEE FLOOR PLAN

EXTERIOR ELEVATION FINISHES					
ELEVATION	STRUCTURE FINISH	STRUCTURE TRIM CORNER FINISH	IMULATED WOOD SIDING FINISH	IMULATED WOOD TRIM CORNER FINISH	SHUTTER:
"A"	16/20 SAND FLOAT	16/20 SAND FLOAT	WOOD GRAIN	WOOD GRAIN	WOOD GRAIN
"B"	16/20 SAND FLOAT	16/20 SAND FLOAT	WOOD GRAIN	WOOD GRAIN	WOOD GRAIN
"C"	16/20 SAND FLOAT	16/20 SAND FLOAT	WOOD GRAIN	WOOD GRAIN	WOOD GRAIN

WINDOWS, REFER TO COLOR SCHEMES



ROOF PLAN - GENERAL NOTES

SCALE 1/8" = 1'-0"

7. REFER TO STANDARD BOOF PLAN FOR INFORMATION RE: DRAIN IN ADJACENT ROOF PLANS.
8. ALL REINFORCING DETAILS AND DIMENSIONS ARE TYPICAL TO THIS CONSTRUCTION TYPE.
9. PROVIDE MINIMUM 26 GA. CORROSION RESISTANT METAL FLASHING AT ALL VALLEYS AND ROOF-TO-WALL CONNECTIONS.
10. ALL ROOF, WALL AND CEILING SURFACES SHALL BE SCREENED WITH CORROSION RESISTANT, NON-FLAMMABLE WIRE MESHING.
11. REFER TO SOLAR PLANS FOR ALL SLAB PANELS AND ELECTRICAL INSTALLATION INSTRUCTIONS.
12. PROVIDE REINFORCING FLASHING AT ALL RASER TO WALL TERMINATIONS - SEE DETAIL 27AD-100
13. ROOF-TO-WALL FLASHING - SEE DETAIL 27AD-100
14. ATIC / A.U. - SEE DETAIL 42AD-100
15. PIPE/VENT PENETRATIONS - SEE DETAIL 112AD-100

ROOF PLAN - KEYNOTES

1. CORROSION RESISTANT METAL CRIBET - SEE DETAIL 3/AD 102
2. CORROSION RESISTANT GUTTER AND DOWNGUTS - DRAIN TO CONC. FLATWORK/ SPLASH BLOCK
3. EXTERIOR PAINT

ROOF FINISHES/ DETAIL NOTES

REVISED	DESCRIPTION	SECTOR	FACILITY	BASEL	SPENDING (MILLION US\$)	
					BASEL	BASEL
'A'	FLATTEE / COMP. SPRINGER	2 & 4/AD (0)	266	266	5	8
'B'	FLATTEE / COMP. SPRINGER	2 & 4/AD (0)	266	266	5	8
'C'	FLATTEE / COMP. SPRINGER	2 & 4/AD (0)	266	266	5	8

VERIFY ALL RUFF FINISHES WITH APPROVED COLOR SCHEMES

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1025 Creekside Ridge Drive, Suite 240 Roseville, CA 95678
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**WEST REGION 30' CLOVIS
ALFA**

Kevin L. Crook Architect, Inc.
1360 Reynolds Ave., Suite #110 Irvine, CA. 92614
Phone (949) 660-1387
www.klcarch.com

Issue Date:
02/28/25
Revision Date:
03/03/25

Project #:	25007
Sheet Name:	"B" Elevations
Sheet #:	AL017-7

12511



SCALE 1/4" = 1'-0"

- (SEE EXTERIOR FURNITURE FINISHES)

THE UNIVERSITY OF CHICAGO PRESS


Site	5-8-8-A-110-MC-000	Site	5-8-8-A-110-MC-000	Task	117
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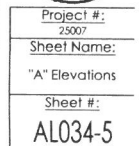
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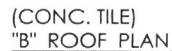


SCALE 1/8" = 1' 0"

E 3/42.102

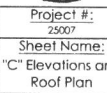
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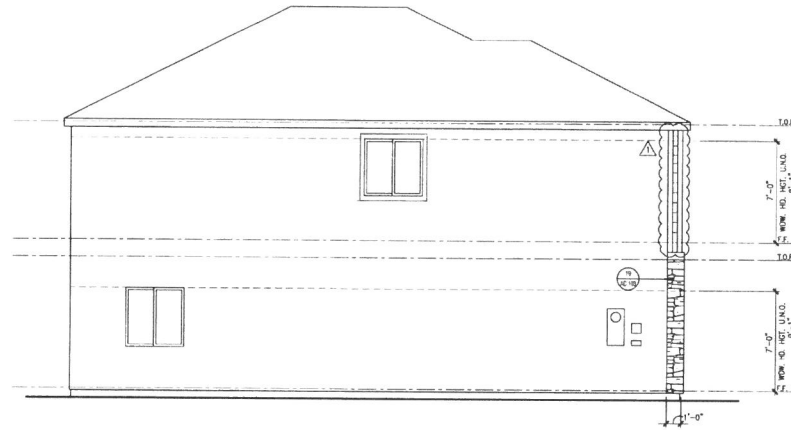


- Project #:
25007
- Sheet Name:
"B" Elevations and
Roof Plan
- Sheet #:
AL034-6

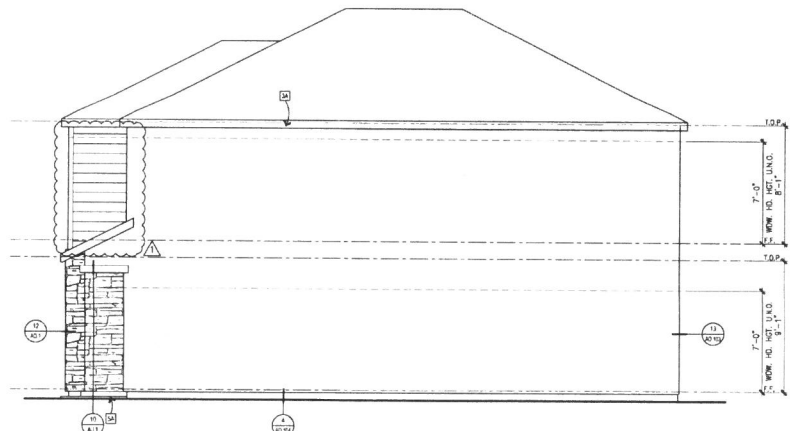




Sheet #:
AL034-8



"C" LEFT ELEVATION



"C" RIGHT ELEVATION

EXTERIOR ELEVATION - GENERAL NOTES

1. REFER TO STANDARD ELEVATION FOR INFORMATION NOT SHOWN ON ADDITIONAL OR OPTIONAL ELEVATIONS.
2. ALL FINISHES, DETAILS AND DIMENSIONS ARE TYPICAL TO THESE CONSTRUCTION STANDARDS.
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EXTERIOR ELEVATION - KEYNOTES

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EXTERIOR ELEVATION FINISHES

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WEST REGION 30' CLOVIS ALFA

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Issue Date:
02/28/25
Revision Date:
03/03/25



Project #:
25007
Sheet Name:
"C" Elevations
Sheet #:
AL034-9

ATTIC VENTILATION REQUIREMENTS (CONC. TILE)
FOR ELEVATION "A", "B", & "C"

ATTIC AREA "A" = 1,180 SQ. FT.

REQUIRED VENTILATION AREA = ATTIC AREA (1,180 SQ. FT. / 150) = 7.87 SQ. FT. x 144" = 1,133 SQ. IN.

VENTILATION PROVIDED:

(1) "2x6" 3.5"x22" GABLE VENTS AT 81 SQ. IN. = 793 SQ. IN.

(2) "2x6" BAYHILL GABLE END VENTS AT 86 SQ. IN. = 76 SQ. IN.

(3) "2x6" BAYHILL GABLE END VENTS AT 118 SQ. IN. = 357 SQ. IN.

TOTAL VENTILATION PROVIDED = 1,226 SQ. IN.

ATTIC VENTILATION REQUIREMENTS (COMP. SHINGLE)
FOR ELEVATION "A", "B", & "C"

ATTIC AREA "A" = 1,180 SQ. FT.

REQUIRED VENTILATION AREA = ATTIC AREA (1,180 SQ. FT. / 150) = 7.87 SQ. FT. x 144" = 1,133 SQ. IN.

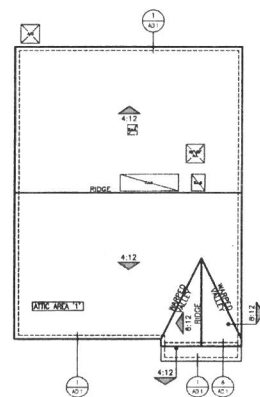
VENTILATION PROVIDED:

(1) "2x6" 3.5"x22" GABLE VENTS AT 81 SQ. IN. = 793 SQ. IN.

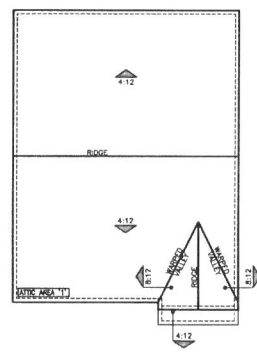
(2) "2x6" BAYHILL GABLE END VENTS AT 86 SQ. IN. = 76 SQ. IN.

(3) "2x6" BAYHILL GABLE END VENTS AT 118 SQ. IN. = 357 SQ. IN.

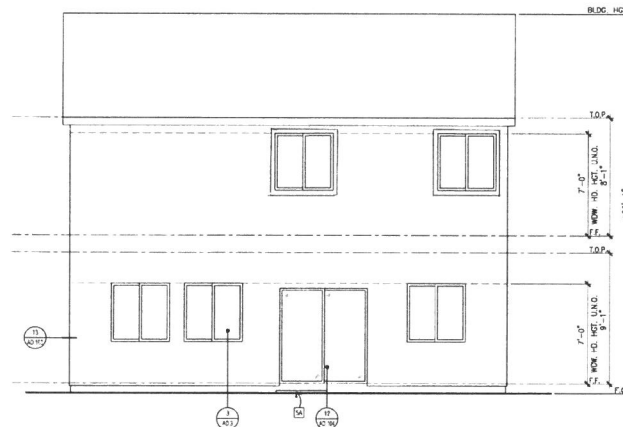
TOTAL VENTILATION PROVIDED = 1,226 SQ. IN.



(CONC. TILE)
"A" ROOF PLAN



(COMP.)
"A" ROOF PLAN



"A" REAR ELEVATION



"A" FRONT ELEVATION

EXTERIOR ELEVATION - GENERAL NOTES

1. REFER TO STANDARD ELEVATIONS FOR INFORMATION NOT SHOWN ON ATTACHED AND OPTIONAL ELEVATIONS.
2. ALL KEYNOTES, DETAILS AND DIMENSIONS ARE TYPICAL TO THEIR CONDITION UNLESS OTHERWISE NOTED.
3. EXTERIOR FINISHES: PLASTER (INT.) - WATER RESISTANT BARRIERS SHALL BE INSTALLED AT ROOF/WALL INTERSECTIONS, FLOORS AND BASES. INTERIOR EXTERIOR WOOD BASES, SIPS/SHEATHING SHALL INCLUDE A WATER RESISTANT BARRIER. VAPOR PERMEABLE BARRIERS WITH A PERMEANCE AT LEAST EQUIVALENT TO TWO (2) MILS. IF CALICED TO FLOOR, THE PERMEABLE BARRIER SHALL BE INSTALLED EXTERIORLY AT SUCH FLOOR LEVELS. PROVIDE A SEPARATE DETAIL FOR FLOOR AND WALL FINISHING. INSTALLED IN ALL CORNERS AND WITH SECTIONS TO A AND INSTALLED TO A AND TO THE WATER RESISTANT BARRIER TO DETECT BETWEEN THE FINISHES (S.E.C. 7.03.1.3).
4. ALL FINISH MATERIALS SHALL OCCUR AT EXTERIOR. REQUIREMENTS FOR FINISHES (S.E.C. 7.03.1.3).
5. WHEN A WINDOW IS ADJACENT TO A DOOR THE WINDOW HEADER SHALL ALIGN WITH THE DOOR HEADER.
6. ALL FINISHED WINDOWS AND DOOR CORNERS, ETC. TO HAVE HIDDEN HARDWARE AND CORNERS (S.E.C. 7.03.1.3).
7. HIDE AND ALL PROJECTIONS. SEE DETAIL 17 (A.D. 103).
8. INTERIOR BACKING. SEE DETAIL 17 (A.D. 103).
9. EXTERIOR FINISHES SHALL BE INSTALLED PER DETAIL 17 (A.D. 103).
10. FINISH FINISHES. SEE DETAIL 17 (A.D. 103).
11. TYPICAL FINISHES FOR FINISH. SEE DETAIL 17 (A.D. 103).
12. TYPICAL FINISHES FOR FINISHES OR FINISHES OR FINISHES OR FINISHES. SEE DETAIL 17 (A.D. 103).
13. FINISH FINISHES. SEE DETAIL 17 (A.D. 103).
14. FINISH FINISHES. SEE DETAIL 17 (A.D. 103).
15. FINISH FINISHES. SEE DETAIL 17 (A.D. 103).
16. FINISH FINISHES. SEE DETAIL 17 (A.D. 103).
17. EXTERIOR FINISHES SHALL BE INSTALLED PER DETAIL 17 (A.D. 103).

EXTERIOR ELEVATION - KEYNOTES

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EXTERIOR ELEVATION FINISHES

ELEVATION	FINISHES	FINISHES	FINISHES	FINISHES	FINISHES	FINISHES
"A"	FADED SAND/FLAT	FADED SAND/FLAT	FADED SAND/FLAT	FADED SAND/FLAT	FADED SAND/FLAT	FADED SAND/FLAT
"B"	FADED SAND/FLAT	FADED SAND/FLAT	FADED SAND/FLAT	FADED SAND/FLAT	FADED SAND/FLAT	FADED SAND/FLAT
"C"	FADED SAND/FLAT	FADED SAND/FLAT	FADED SAND/FLAT	FADED SAND/FLAT	FADED SAND/FLAT	FADED SAND/FLAT

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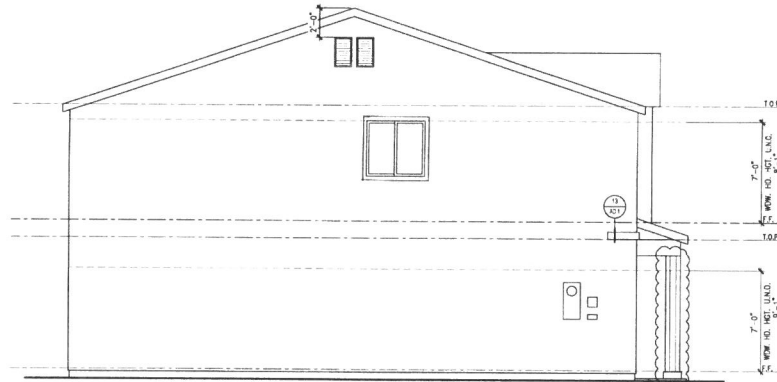
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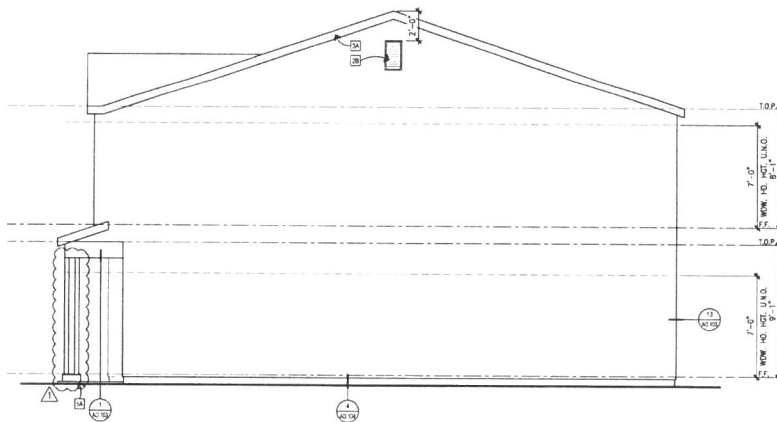
Issue Date: 02/28/25
Revision Date: 03/03/25



Project #: 25007
Sheet Name: "A" Elevations and Roof Plan
Sheet #: AL016-4



"A" LEFT ELEVATION



"A" RIGHT ELEVATION

EXTERIOR ELEVATION - GENERAL NOTES

1. REFER TO STANDARD ELEVATION FOR INFORMATION NOT SHOWN ON GENERAL ELEVATIONS.
2. ALL MATERIALS, DETAILS AND DIMENSIONS ARE TYPICAL TO NEW CONSTRUCTION UNLESS NOTED OTHERWISE.
3. EXTERIOR FINISHES: PLASTER (UNLESS NOTED OTHERWISE) SHALL BE INSTALLED AS REQUIRED BY SECTION 0500 AND INTERIORS OVER WOODWORK SHALL BE FINISHED WITH A FINISH SYSTEM. VAPOR-BARRIER BARRIER WITH A PERFORMANCE AT LEAST EQUIVALENT TO TWO LAYERS OF GARBAGE PAPER. THE FINISHES LAYERS SHALL BE INSTALLED INDEPENDENTLY TO EACH LAYER PROVIDING A SEPARATE COEFFICIENT OF FLEXIBILITY AND AIR TIGHTNESS. INSTALLATION ACCORDANCE WITH SECTION 0500 AND NOTED TO BE IN THE INTERIOR FINISHES BARRIER IS UNLESS NOTED OTHERWISE IN THE LAYERS. (C.F.C. 102.10)
4. ALL FINISH MATERIALS SHALL BE INSTALLED IN ACCORDANCE WITH THE LAYERS. (C.F.C. 102.10)
5. WHEN A WINDOW IS ADJACENT TO A DOOR THE WINDOW HEATER SHALL ALSO BE ADJACENT TO THE DOOR HEATER.
6. ALL EXTERIOR DOOR AND WINDOW DOORS SHALL BE INSTALLED WITH THE DOOR HEATER.
7. REFER TO SECTION 0500 FOR DETAILS. SEE DETAIL 1000-100.
8. SEE DETAIL 1000-100.
9. EXTERIOR DOOR THRESHOLD: SEE DETAIL 1000-100.
10. TYPICAL SECURITY: SEE DETAIL 1000-100.
11. TYPICAL SECURITY: SEE DETAIL 1000-100.
12. TYPICAL LAP JOINTS: SEE DETAIL 1000-100.
13. TYPICAL LAP JOINTS: SEE DETAIL 1000-100.
14. TYPICAL LAP JOINTS: SEE DETAIL 1000-100.
15. TYPICAL LAP JOINTS: SEE DETAIL 1000-100.
16. TYPICAL LAP JOINTS: SEE DETAIL 1000-100.
17. EXTERIOR WINDOW SHALL BE INSTALLED PER DETAIL 1000-100.

EXTERIOR ELEVATION - KEYNOTES

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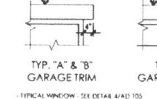
EXTERIOR ELEVATION FINISHES

ELEVATION	FINISH	FINISH	FINISH	FINISH	FINISH
"A"	PLASTER	PLASTER	PLASTER	PLASTER	PLASTER
"B"	PLASTER	PLASTER	PLASTER	PLASTER	PLASTER
"C"	PLASTER	PLASTER	PLASTER	PLASTER	PLASTER

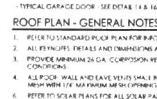
VERIFY ALL FINISHES WITH THE ARCHITECT'S COLOR GUIDE.



TYP. TRIM



TYP. "A" & "B" GARAGE TRIM



TYP. "C" GARAGE TRIM

ROOF PLAN - GENERAL NOTES

1. REFER TO STANDARD ELEVATION FOR INFORMATION NOT SHOWN ON GENERAL ELEVATIONS.
2. ALL FINISHES, DETAILS AND DIMENSIONS ARE TYPICAL TO NEW CONSTRUCTION UNLESS NOTED OTHERWISE.
3. PROVIDE DRAINAGE IN ALL CORNERS, ROOFSIDE WALLS, AND AT ALL VALLEYS AND ROOFSIDE WALLS.
4. ALL ROOF WALLS AND GABLE WALLS SHALL BE CONCRETE WITH CORROSION-RESISTANT NON-COMBUSTIBLE WIRE MESH WITH 1/2" MAXIMUM SPACING.
5. REFER TO SECTION 0500 FOR ALL ROOF WALLS AND ELECTRICAL INSTALLATION INSTRUCTIONS.
6. PROVIDE DRAINAGE IN ALL CORNERS, ROOFSIDE WALLS, AND AT ALL VALLEYS AND ROOFSIDE WALLS.
7. REFER TO SECTION 0500 FOR ALL ROOF WALLS AND ELECTRICAL INSTALLATION INSTRUCTIONS.
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ROOF PLAN - KEYNOTES

ELEVATION	FINISH	FINISH	FINISH	FINISH	FINISH
"A"	PLASTER	PLASTER	PLASTER	PLASTER	PLASTER
"B"	PLASTER	PLASTER	PLASTER	PLASTER	PLASTER
"C"	PLASTER	PLASTER	PLASTER	PLASTER	PLASTER

VERIFY ALL FINISHES WITH THE ARCHITECT'S COLOR GUIDE.

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WEST REGION 30' ELEVATIONS

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Issue Date: 02/28/25
Revision Date: 03/03/25

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Project #: 25007
Sheet Name: "A" Elevations
Sheet #: AL016-5



Project #: 25007
Sheet Name: "B" Elevations
Sheet #: AL016-7



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Issue Date: 02/28/25
Revision Date: 03/03/25



Project #:	25007
Sheet Name:	"C" Elevations and Roof Plan
Sheet #:	AL016-8

"A" FLOOR PLAN



SCALE 1/4" = 1' 0"

- [illegible]

SPATIAL

- 4A 54" HIGH CONTINUOUS WALL-MOUNTED HANDRAIL - SEE DETAIL 1/AD-107
- 4B 42" HIGH OPTIMUM BOARD PONTONWALL / GUARDWALL - SEE DETAIL 1/AD-107
- 4C 42" HIGH GUARDRAIL WITH BALUSTERS SPACED AT 3.99' MAXIMUM CLEAR - SEE DETAIL 1/AD-107
- 4D OPTIONAL STRUT BRACING (SEE HIGH ABOVE STRUT BRACING) WITH BALUSTERS SPACED AT 3.99' MAX. - SEE DETAIL 2/AD-105
- 4E 45" HIGH OPTIMUM BOARD PONTONWALL / GUARDWALL - SEE DETAIL 1/AD-107

- | FLOOR PLAN - WALL SYMBOL | |
|--------------------------|--|
| | 2x4 WALL FRAMING - REFER TO STRUCTURAL |
| | 2x6 WALL FRAMING - REFER TO STRUCTURAL |
| | DOUBLE 2x4 WALL FRAMING OR 2x6 WALL FRAMING - REFER TO STRUCTURAL |
| | 2x4 WALL FRAMING w/ 2x4 BACKING FOR AGING IN PLACE - SEE SHEET 02C |

Project #:	24068
Sheet Name:	"A" Floor Plan

Sheet #:

A2501-2

7/2001



Project #:	24068
Sheet Name:	"A" Second Floor Plan
Sheet #:	A2501-3

ATTIC AREA '1' =	1,338.50 SQ. FT.
REQUIRED VENTILATION AREA = ATTIC AREA (1,338.50 SQ. FT.) / 150	8.92 SQ. IN.
VENTILATION PROVIDED:	
(10) TAB "3.5\"/2\" CORK VENTS AT 61 SQ. IN. =	61.00 SQ. IN.
TOTAL TAB "3.5\"/2\" CORKED VENT 10.15 AT 101.75 SQ. IN. =	101.75 SQ. IN.
VENTILATION PROVIDED:	101.75 SQ. IN.
ATTIC AREA '2' =	17,332 SQ. FT.
REQUIRED VENTILATION AREA = ATTIC AREA (17,332 SQ. FT.) / 150	115.55 SQ. IN.
VENTILATION PROVIDED:	
(1) TAB "3.5\"/2\" CORK VENTS AT 61 SQ. IN. =	61.00 SQ. IN.
TOTAL VENTILATION PROVIDED:	61.00 SQ. IN.

ATTIC AREA "1" = $1,138.50 \text{ SF}$

REQUIRED VENTILATION AREA = ATTIC AREA $\times (1.330 \text{ SQ. FT.} / 150$
 $= 7.59 \text{ SQ. FT.} \times 144 = 1,092.50$

VENTILATION PROVIDED:

(15) "CALF 3.5\" x 22\" EAVE VENTS AT 81 SQ. IN. = 81.0 SQ. IN.
 COMBINATION "DOWNH" CLOAKED VENT INL. AT 72 SQ. IN. = 72.0 SQ. IN.
 TOTAL VENTILATION PROVIDED = $1,137.50 \text{ IN.}$

ATTIC AREA "2" = 17.33 SQ. FT.

REQUIRED VENTILATION AREA = ATTIC AREA $\times (17.33 \text{ SQ. FT.} / 150$
 $= 0.12 \text{ SQ. FT.} \times 144 = 16.63 \text{ SQ. IN.}$

VENTILATION PROVIDED:

(15) "CALF 3.5\" x 22\" EAVE VENTS AT 81 SQ. IN. = 81.0 SQ. IN.
 TOTAL VENTILATION PROVIDED = 81.0 SQ. IN.

[illegible][illegible]

EXTERIOR ELEVATION FINISHES					
ELEVATION	STRUCTURE FINISH	2ND CO STAIR CORNER FINISH	PAINTED WOOD Siding FINISH	PAINTED WOOD TRIM CORNER FINISH	SHUTTERS
"A"	16/20 SAND FLOAT	16/20 SAND FLOAT	SMOOTH	SMOOTH	SMOOTH
"B"	16/20 SAND FLOAT	16/20 SAND FLOAT	SMOOTH	SMOOTH	SMOOTH
"C"	16/20 SAND FLOAT	16/20 SAND FLOAT	SMOOTH	SMOOTH	SMOOTH

[illegible]

ROOF PLAN - KEYNOTES

1. CORROSION RESISTANT METAL CHIMNEY - SEE DETAIL 3/AD-102
2. CORROSION RESISTANT OUTLET AND DOWNSPOUTS - DRAIN TO CONC. PLATEWORK/ SPLASH BLOC
3. OPTIONAL PATIO

ITEMIZATION	ROOF TYPE	DETAIL	ASFLA (L/F)	UNFLO (S/F)	ROOF COVERED AREA (S/F)	
					LAYER	RALE
A	COMP SHINGLE	ALAD 101	2x6	2x6	6"	6"
B	C.T. COMP SHINGLE	ALAD 101	2x6	2x6	6"	6"
C	COMP SHINGLE	ALAD 101	2x6	2x6	6"	6"

NOTE: ALL ROOF FINISHES WITH APPROXIMATE 2% DRAINAGE

ROOF FINISHES/ DETAIL NOTES (TILE ROOF)						
ELEVATION	FINISH	DETAIL	FASCIA U.N.O.	DARK U.N.O.	ROOF COVERING U.N.O.	
					LEFT	RIGHT
"A"	CONC. TILE	3/4" 101	2x6	2x6	6"	6"
"B"	CONC. TILE	3/4" 101	2x6	2x6	6"	6"
"C"	CONC. TILE	3/4" 101	2x6	2x6	6"	6"

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Issue Date: 07/18/24 Revision Date:	
	
Project #: 24068 Sheet Name: "A" Elevations and Roof Plan Sheet #: A2501-5	



EXTERIOR ELEVATION - GENERAL NOTES

SCALE 1/4" = 1'-0"

- [illegible]

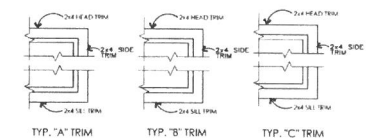
EXTERIOR ELEVATION - KEYNOTES

(SEE FIGURE 11 FOR AN ENLARGED VERSION)

- [illegible]

EXTERIOR ELEVATION FINISHES

HEIGHT	STRUCTURE	STRUCTURE	SHALLER WOOD	SHALLER WOOD	SHUTTERS
	CONCRETE	CONCRETE	SHUTTERS	SHUTTERS	
A	16/20 SAND FLOAT	16/20 SAND FLOAT	SMOOTH	SMOOTH	SMOOTH
B	16/20 SAND FLOAT	16/20 SAND FLOAT	SMOOTH	SMOOTH	SMOOTH
C	16/20 SAND FLOAT	16/20 SAND FLOAT	SMOOTH	SMOOTH	SMOOTH



- TYPICAL WINDOW - SEE DETAIL 41A/105
- TYPICAL PICTURED WINDOW - SEE DETAIL 15A/105
- TYPICAL DOOR - SEE DETAIL 10A/104
- TYPICAL SLIDING GLASS DOOR - SEE DETAIL 12A/104
- TYPICAL GARAGE DOOR - SEE DETAIL 1A/104/105

ROOF PLAN - GENERAL NOTES

SCALE 1/8" = 1'-0"

1. REFER TO STANDARD ROOF PLAN FOR INFORMATION REGARDING CHIMNEY ROOF PLANS.
2. ALL VERTICALS, EIGHTED AND DIMENSIONS ARE TYPICAL FOR THESE CONSTRUCTION DETAILS.
3. PROVIDE WELDING DATA: C.A. CORNER RESISTANT METAL FLASHING AT ALL WALLS AND ROOF-TO-WALL CONNECTIONS.
4. ALL ROOF, WALL AND EAVE SYSTEM SHALL BE SHEATHED WITH CHIMNEY RESISTANT ROOF OR COMBUSTIBLE WEATHER RESISTANT BOARDING WITH 1" PERIOD.
5. REFER TO SOLAR PANEL AND ALL SOLAR PANEL AND ELECTRICAL INSTALLATION INSTRUCTIONS.
6. PROVIDER ROCK FLOUT FLASHING AT ALL FLASHES TO WALL TERMINATIONS. SEE DETAILS 2/20/2022.
7. REFER TO WALL FLASHING. SEE DETAILS 2/20/2022.
8. ATTIC F.A.U. SEE DETAILS 2/20/2022.
9. REFER TO WALL FLASHING. SEE DETAILS 2/20/2022.

ROOF PLAN - KEYNOTES

1. CORROSION-RESISTANT METAL CRACKER - SEE DFLAL 3VAL102
2. CORROSION-RESISTANT GUTTER AND DOWNSPOUTS - DRAIN TO CONC. PLATWORK SPASH BECK
3. (SPECIAL NOTE)

ROOF FINISHES/ DETAIL NOTES (COMP SHINGLE)						
ELEVATION	ROOF TYPE	DETAIL	FATICA UNO	MARGE UNO	ROOF OVERLAP UNO	
					FACE	BACK
A	COMP SHINGLE	ALAD 101	2x6	2x6	6"	6"
B	COMP SHINGLE	ALAD 101	2x6	2x6	6"	6"
C	COMP SHINGLE	ALAD 101	2x6	2x6	6"	6"

VERIFY ALL R/J JOINT FINISHES WITH APPROVED COLOR SCHEMES.

ROOF FINISHES/ DETAIL NOTES (TILE ROOF)						
ELEVATION	ROOF TYPE	DETAIL	FLASHING U.O.	RAINF. U.O.	PRICE COVERING U.O.	
					PAVE	WALK
A	CLAY TILE	3/4" AD 101	2nd	2nd	6"	6"
B	CONC. TILE	3/4" AD 101	2nd	2nd	6"	6"
C	CLAY TILE	3/4" AD 101	2nd	2nd	6"	6"

VERIFY ALL ROOF FINISHES WITH APPROVED COLOR SAMPLES.

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Project #:

24068

Sheet Name:
"A" Elevations

Sheet #:

A2501-6



EXTERIOR ELEVATION - GENERAL NOTES

- [illegible]

EXTERIOR ELEVATION - KEYNOTES

- [illegible]

EXTERIOR ELEVATION FINISHES

ELEVATION	STRUCTURAL	STRUCTURAL (FLOOR FINISH)	SIMULATED WOOD SOUND FINISH	SIMULATED WOOD TRIM (CROWN FINISH)	SUBTILES
"A"	16/20 SAND FLOAT	16/20 SAND FLOAT	SACBOTH	SACBOTH	SACBOTH
"B"	16/20 SAND FLOAT	16/20 SAND FLOAT	SACBOTH	SACBOTH	SACBOTH
"C"	16/20 SAND FLOAT	16/20 SAND FLOAT	SACBOTH	SACBOTH	SACBOTH



ROOF PLAN - GENERAL NOTES

1. REFER TO STANDARD SPEC PLAN FOR INFORMATION NOT SHOWN ON ACCESSORY PLAN.
2. ALL LENGTHS, DETAILS AND DIMENSIONS ARE TYPICAL, UNLESS OTHERWISE NOTED.
3. FLOOR FINISHES ARE TO BE CONCRETE-RESISTANT METAL PLATING, AT ALL WALLS AND RINGS TO WALL CONNECTIONS.
4. ALL STEEL WALLS AND TIE RODS SHALL BE PROTECTED WITH CORROSION RESISTANT, NON-COMBUSTIBLE AND NON-TOXIC MAINTENANCE FREE FINISHES.
5. REFER TO SCLER AND REIN. FOR SCLER PANELS AND ELECTRICAL INSTALLATION INSTRUCTIONS.
6. PROVIDE FIRE CLIP FLASHING, AT ALL FACES TO WALL PENETRATIONS. SEE DETAIL 77AD 102.
7. RING TO WALL FLASHING. SEE DETAIL 77AD 102.
8. ATTACH TO WALL - SEE DETAIL 77AD 102.
9. PENETRANT PENETRATIONS. SEE DETAIL 77AD 102.

ROOF PLAN - KEYNOTES

1. CORROSION RESISTANT METAL SOCKET - SEE DETAIL 3/4" ID
2. CORROSION RESISTANT CUTTER AND DOWNSPOUTS - DRAIN TO CONC. FLATWORK/ SPLASH BLOC
3. CRITICAL PATH

REVISION	REASON	DATE	BY	CHKD BY	DATE	CHKD BY
A	COMP SHINGLE	10/10/10	2nd	2nd	8'	8'
B	COMP SHINGLE	10/10/10	2nd	2nd	8'	8'
C	COMP SHINGLE	10/10/10	2nd	2nd	8'	8'

ROOF FINISHES/ DETAIL NOTES (TILE ROOF)

LEVEL	R.O.F. FILE	DATE	FASCIA UNIC.	BAND UNIC.	R.O.F. FILE	
					DATE	FILE
A	CONE. TEL.	MAR 101	266	266	6	6
B	CONE. TEL.	MAR 101	266	266	6	6
C	CONE. TEL.	MAR 101	266	266	6	6

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Issue Date: 07/18/24 Revision Date:	
	
Project #: 24068 Sheet Name: "B" Elevations and Roof Plan Sheet #:	
A2501-10	





Project #:	24068
Sheet Name:	"C" Elevations and Roof Plan
Sheet #:	A2501-15





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FLOOR PLAN - GENERAL NOTES

SCALE: 1/4" = 1'-0"

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- [illegible]

6. PLUMBING
1. REFER TO PLUMBING PLANS FOR WATER SERVICE AND SHUT OFF VALVE LOCATIONS.
2. PLUMBING ELECTRICAL AFFIDAVITS SHALL MEET THE REQUIREMENTS IN SECTION 4.03
3. WATER HEATER (T.E.) AT HEAT PUMP WATER HEATER BOSTAL PER MANUFACTURER'S INSTALLATION PRACTICES. PROVIDE PAN-AND-DRAIN WHEN USED FOR FURNACE.
4. THE SHOWERS PER ROOMS HINGED ASS MEET 27" ABOVE CEILING. PROVIDE CURTAIN ROD OR TEMPERED GLASS ENCLOSURE. POSITION SHOWER HEAD AT 7'6" A.F.S.
5. MICHIGAN PER FURNACE IN BLOSS ROOM 72' ABOVE DRAIN. PROVIDE CURTAIN ROD OR TEMPERED GLASS ENCLOSURE. POSITION SHOWER HEAD AT 7'6" A.F.S.
6. MECHANICAL

- 6.1 VERIFY LOCATIONS AND SIZES WITH MECHANICAL PLANS
- 6.2 A MINIMUM OPENING OF 100 SQ. IN. F.R.M. MAKE-UP AIR SHALL BE PROVIDED IN THE LAUNDRY ROOM DOOR OR BY OTHER APPROVED MEANS PER C.F.R. SECTION 504.4.1
- 6.3 FORCED AIR UNITS (IF A U) IN ATTIC: MAINTAIN 3" VERTICAL CLEAR HEADROOM ALONG RISE 24" WIDE PLYWOOD CATWALK TO ATTIC ACCESS. MAXIMUM LENGTH 20' - SEE DETAIL 4.A.3.102
- 6.4 AIR CONDITIONING CONDENSER (S) UNIT SECURELY FASTENED TO CONCRETE OR FIRE-RATED PAD

FLOOR PLAN - KEYNOTES

- | 1. SPATIAL |
|-----------------------------------|
| 1A. LINE OF FLOOR/WALL BELOW |
| 1B. LINE OF FLOOR/WALL ABOVE |
| 1C. LINE OF CEILING HEIGHT CHANGE |
| 1D. OPENING BELOW |
| 1E. OTHER ELEMENT |

- [illegible]

3. INTERCUBS
-
- 3A. LINE OF FLOOR MATERIAL CHANGE
- 3B. 2x6 STUD WALL / SOFFIT FRAMING
- 3C. 2x6 STUD OR DOUBLE 2x4 STUD WALL / SOFFIT FRAMING - REFER TO STRUCTURAL DRAWINGS
- 3D. GYPSUM BOARD FINISHED LOW WALL/SHELF - SEE PLAN FOR HEIGHT
- 3G. ADDING IN-PLACE BATHROOM - REFER TO CN-2 DIVISION 28 FOR REQUIREMENTS





- 3- INSTALL BOULDER
- a. STAIRS
- 4A 36" HIGH CONTINUOUS WALL MOUNTED HANDRAIL - SEE DETAIL 3/AD 107
- 4B 42" HIGH GYPSUM BOARD PONYWALL / GUARDWALL - SEE DETAIL 1/AD 107
- 4C 42" HIGH GUARDRAIL WITH BALUSTERS SPACED AT 3.99' MAXIMUM C/FIR - SEE DETAIL 3/AD 107
- 4D OPTIONAL STAIR RAILING: 36" HIGH ABOVE STAIR TREAD NOSING // BALUSTERS SPACED AT 3.99' MAX. CLEAR - SEE DETAIL 2/AD 107
- 4E 45" HIGH GYPSUM BOARD PONYWALL / GUARDWALL - SEE DETAIL 1/AD 107

- 5A 1 3/4" THICK, SOLID CORE, TIGHT FITTING, SELF-CLOSING, SELF LATCHING, 20 MINUTE RATED DOOR

- ```

4 (NAME AND COUNTRY)
5 (LUMP CARRY)
6 (LUMP CARRY)
7 (LUMP CARRY)
8 (HEAD CARRY) (SEE DATA: 1504, 157)
9 (TATTOO BAR AT 36" AFF)
10 (SHELVING IN NO. (NUMBER OF SHELVES PER RINGER SPEC))
11 (SHELVING IN. OPTIONAL (NUMBER))
12 (SHELVING CARRY)
13 (PUMPER)
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```

- FLOOR PLAN - WALL SYMBOL**
- |                                                                                       |                                                                      |
|---------------------------------------------------------------------------------------|----------------------------------------------------------------------|
|  | 2x4 WALL FRAMING - REFER TO STRUCTURAL                               |
|  | 2x6 WALL FRAMING - REFER TO STRUCTURAL                               |
|  | DOUBLE 2x4 WALL FRAMING OR 2x6 WALL FRAMING - REFER TO STRUCTURAL    |
|  | 2x WALL FRAMING WITH 2x4 BACKING FOR AGING IN PLACE - SEE SHEET 0402 |

- PLAN 2 (1960)
- 
- AREA IRRIGATION

- | AREA TABULATION     |               |
|---------------------|---------------|
| CONDITIONED SPACE   |               |
| FIRST FLOOR AREA    | 793 SQ. FT.   |
| SECOND FLOOR AREA   | 1,187 SQ. FT. |
| TOTAL DWELLING      | 1,980 SQ. FT. |
| UNCONDITIONED SPACE |               |
| GARAGE              | 421 SQ. FT.   |
| PORCH               | 17 SQ. FT.    |

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Issue Date:  
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Revision Date:



Project #: 24068  
Sheet Name: "A" Floor Plan

Sheet #:  
A2502-2

A2502-2





ATTIC AREA '1' = 12.92 SQ. FT.

REQUIRED VENTILATION AREA = ATTIC AREA x (1.213 SQ. FT.) / 150  
= 8.09 SQ. FT. x 144 = 1,165 SQ. IN.

VENTILATION PROVIDED:

(1) "CAL" 3.5"X27" EAVE VENTS AT 61 SQ. IN. = 610 SQ. IN.

(2) "CAL" RVI1242 GABLE END VENTS AT 119 SQ. IN. = 478 SQ. IN.

(3) FLAT FITE "TROMM" CLOAKED VENT TELES AT 98.75 SQ. IN. = 98.75 SQ. IN.

TOTAL VENTILATION PROVIDED: 1,186 SQ. IN.

ATTIC AREA '2' = 17.33 SQ. FT.

REQUIRED VENTILATION AREA = ATTIC AREA x (17.33 SQ. FT.) / 150  
= 0.12 SQ. FT. x 144 = 16.63 SQ. IN.

VENTILATION PROVIDED:

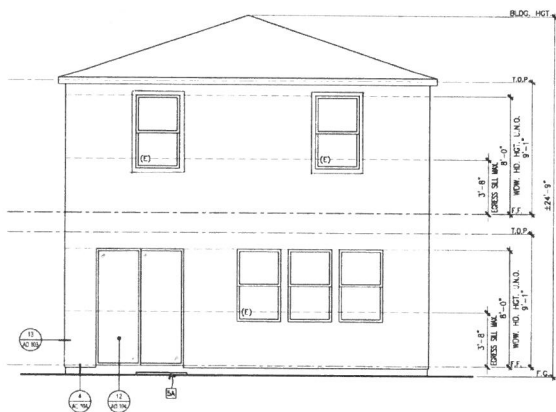
(1) "CAL" 3.5"X27" EAVE VENTS AT 61 SQ. IN. = 610 SQ. IN.

TOTAL VENTILATION PROVIDED: 610 SQ. IN.

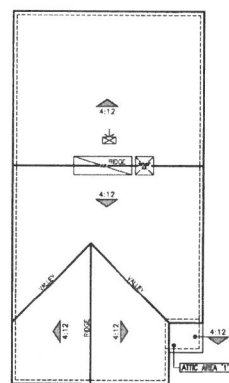
| ELEVATION A, B & C                                                                       |               |
|------------------------------------------------------------------------------------------|---------------|
| ATTIC AREA "1" =                                                                         | 1,213.50 SF   |
| REQUIRED VENTILATION AREA = ATTIC AREA ( 1.213 SF. FT.) / 150<br>= 8.09 SF, FT. X 144 =  | 1,185.50 IN.  |
| VENTILATION PROVIDED:                                                                    |               |
| (1) "CAL" 3.5"X24" EAVE VENTS AT 61 SQ. IN. =                                            | 8.0 SQ. IN.   |
| (4) "CAL" RIVET44 GABLE END VENTS AT 119 SQ. IN. =                                       | 476.50 IN.    |
| (2) COMPOSITE TIE "TOWARD" CLOAKED VENT TILES AT 72 SQ. IN. =                            | 144.00 IN.    |
| TOTAL VENTILATION PROVIDED =                                                             | 1,230.50 IN.  |
| ATTIC AREA "2" =                                                                         | 17,330.50 SF  |
| REQUIRED VENTILATION AREA = ATTIC AREA ( 17,330 SF. FT.) / 150<br>= 0.12 SQ. FT. X 144 = | 16.83 SQ. IN. |
| VENTILATION PROVIDED:                                                                    |               |
| (1) "CAL" 3.5"X24" EAVE VENTS AT 61 SQ. IN. =                                            | 8.0 SQ. IN.   |
| TOTAL VENTILATION PROVIDED =                                                             | 8.0 SQ. IN.   |



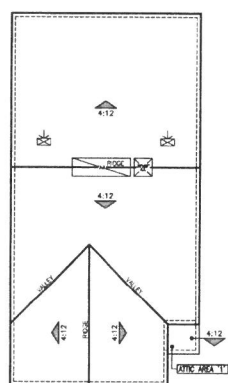
"A" FRONT ELEVATION



"A" REAR ELEVATION



(CONC. TILE)  
"A" ROOF PLAN



(COMP.)  
"A" ROOF PLAN

EXTERIOR ELEVATION - GENERAL NOTES

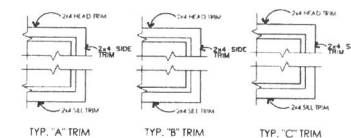
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EXTERIOR ELEVATION - KEYNOTES

- [illegible]

#### EXTERIOR ELEVATION FINISHES

| ELEVATION | STRUCTURE FINISH | FINISH CO. TRIM/ CORNER FINISH | SMOOTHED WOOD SPOKE FINISH | SMOOTHED WOOD TRIM/ CORNER FINISH | SMOOTHED |
|-----------|------------------|--------------------------------|----------------------------|-----------------------------------|----------|
| "A"       | 1/4" SAND FLOAT  | 1/4" SAND FLOAT                | SMOOTH                     | SMOOTH                            | SMOOTH   |
| "B"       | 1/4" SAND FLOAT  | 1/4" SAND FLOAT                | SMOOTH                     | SMOOTH                            | SMOOTH   |
| "C"       | 1/4" SAND FLOAT  | 1/4" SAND FLOAT                | SMOOTH                     | SMOOTH                            | SMOOTH   |



- TYPICAL WINDOW - SEE DETAIL 41/AD 105
- TYPICAL RECESSED WINDOW - SEE DETAIL 15/AD 105
- TYPICAL DOOR - SEE DETAIL 12/AD 104
- TYPICAL SLIDING GLASS DOOR - SEE DETAIL 12/AD 105
- TYPICAL CHARACTER DOOR - SEE DETAIL 14/AD 105

ROOF PLAN - GENERAL NOTES

7. REFER TO STANDARD ROCK PLANTING INFORMATION SHEET SHOWN ON ANCHORING ROCK PLANS.
8. ALL FLOWERS, PLANTS AND DIMENSIONS ARE TYPICAL TO YOUR CLIMATE/REGION.
9. PROVIDE MINIMUM 2" x 6" CORROSION RESISTANT METAL FLASHING AT ALL WALLS AND ROOF SO WALL CONNECTIONS.
10. ALL ROOF, WALL AND LAWN VENTS MUST BE SCREENED WITH CORROSION RESISTANT, NON-CONDUCTIVE WIRE MESH (1/2" MAXIMUM OPENING SIZE).
11. REFER TO SOLAR PLANT FOR ALL SOLAR PANEL AND ELECTRICAL INSTALLATION INSTRUCTIONS.
12. PROVIDE KICK OUT FLASHING AT ALL FLASH TO WALL PENETRATIONS - SEE DETAIL 71AD.100
13. BLOCK TO WALL FLASHING - SEE DETAIL 71AD.100
14. ATTIC F.A.U. - SEE DETAIL 41AD.100
15. PIPE VENT PENETRATIONS - SEE DETAIL 71AD.100

ROOF PLAN - KEYNOTES

1. CORROSION-RESISTANT METAL CURB/KEEL SEE DETAIL 3/AD-102
2. CORROSION-RESISTANT GUTTER AND DOWNSPOUTS DRAIN TO CONC. FLATWORK/ SPLASH BLOCK
3. OPTIONAL PATIO

| ROOF FINISHES/ DETAIL NOTES (COMP SHINGLE) |               |          |            |           |                      |      |
|--------------------------------------------|---------------|----------|------------|-----------|----------------------|------|
| DESCRIPTION                                | ROOF TYPE     | DETAIL   | FLOOR FIN. | LAP JOINT | SHINGLE/SHINGLE TYPE |      |
|                                            |               |          |            |           | TYPE                 | RATE |
| "A"                                        | CLEAR SHINGLE | CLAD 101 | 2nd        | 2nd       | B                    | B    |
| "B"                                        | CLEAR SHINGLE | CLAD 101 | 2nd        | 2nd       | B                    | B    |
| "C"                                        | CLEAR SHINGLE | CLAD 101 | 2nd        | 2nd       | B                    | B    |

ROOF FINISHES/ DETAIL NOTES (TILE ROOF)

| REVENUE | RECEIPT   | DATE     | FASIA<br>SINCO | SARUN<br>SINCO | BUDGETARY UNIT |      |
|---------|-----------|----------|----------------|----------------|----------------|------|
|         |           |          |                |                | FAVE           | FAVE |
| A       | CONG. FEE | 3/14/101 | 266            | 266            | 6              | 6    |
| B       | CONG. FEE | 3/14/101 | 266            | 266            | 6              | 6    |
| C       | CONG. FEE | 3/14/101 | 266            | 266            | 6              | 6    |

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Issue Date:  
07/18/24  
Revision Date



|             |                                 |
|-------------|---------------------------------|
| Project #:  | 24068                           |
| Sheet Name: | "A" Elevations and<br>Roof Plan |
| Sheet #:    | A2502-5                         |

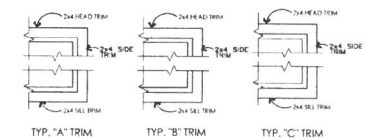


EXTERIOR ELEVATION - GENERAL NOTES

- [illegible]

### EXTERIOR ELEVATION - KEYNOTES

- |   |    |    |    |    |    |    |    |    |    |    |    |    |    |    |    |    |    |    |    |      |    |    |    |    |    |    |    |    |    |    |    |    |    |    |    |    |    |    |    |    |    |    |    |    |    |    |    |    |    |    |    |    |    |    |    |    |    |    |    |    |    |    |    |    |    |    |    |    |    |    |    |    |    |    |    |    |    |    |    |    |    |    |    |    |    |    |    |    |    |     |    |    |    |    |    |    |    |    |     |
|---|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|------|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|-----|----|----|----|----|----|----|----|----|-----|
| 1 | 11 | 12 | 13 | 14 | 15 | 16 | 17 | 18 | 19 | 20 | 21 | 22 | 23 | 24 | 25 | 26 | 27 | 28 | 29 | 30   | 31 | 32 | 33 | 34 | 35 | 36 | 37 | 38 | 39 | 40 | 41 | 42 | 43 | 44 | 45 | 46 | 47 | 48 | 49 | 50 | 51 | 52 | 53 | 54 | 55 | 56 | 57 | 58 | 59 | 60 | 61 | 62 | 63 | 64 | 65 | 66 | 67 | 68 | 69 | 70 | 71 | 72 | 73 | 74 | 75 | 76 | 77 | 78 | 79 | 80 | 81 | 82 | 83 | 84 | 85 | 86 | 87 | 88 | 89 | 90 | 91 | 92 | 93 | 94 | 95 | 96 | 97 | 98 | 99 | 100 |    |    |    |    |    |    |    |    |     |
| 1 | 2  | 3  | 4  | 5  | 6  | 7  | 8  | 9  | 10 | 11 | 12 | 13 | 14 | 15 | 16 | 17 | 18 | 19 | 20 | 21   | 22 | 23 | 24 | 25 | 26 | 27 | 28 | 29 | 30 | 31 | 32 | 33 | 34 | 35 | 36 | 37 | 38 | 39 | 40 | 41 | 42 | 43 | 44 | 45 | 46 | 47 | 48 | 49 | 50 | 51 | 52 | 53 | 54 | 55 | 56 | 57 | 58 | 59 | 60 | 61 | 62 | 63 | 64 | 65 | 66 | 67 | 68 | 69 | 70 | 71 | 72 | 73 | 74 | 75 | 76 | 77 | 78 | 79 | 80 | 81 | 82 | 83 | 84 | 85 | 86 | 87 | 88 | 89 | 90 | 91  | 92 | 93 | 94 | 95 | 96 | 97 | 98 | 99 | 100 |
| 1 | 2  | 3  | 4  | 5  | 6  | 7  | 8  | 9  | 10 | 11 | 12 | 13 | 14 | 15 | 16 | 17 | 18 | 19 | 20 | 21   | 22 | 23 | 24 | 25 | 26 | 27 | 28 | 29 | 30 | 31 | 32 | 33 | 34 | 35 | 36 | 37 | 38 | 39 | 40 | 41 | 42 | 43 | 44 | 45 | 46 | 47 | 48 | 49 | 50 | 51 | 52 | 53 | 54 | 55 | 56 | 57 | 58 | 59 | 60 | 61 | 62 | 63 | 64 | 65 | 66 | 67 | 68 | 69 | 70 | 71 | 72 | 73 | 74 | 75 | 76 | 77 | 78 | 79 | 80 | 81 | 82 | 83 | 84 | 85 | 86 | 87 | 88 | 89 | 90 | 91  | 92 | 93 | 94 | 95 | 96 | 97 | 98 | 99 | 100 |
| 1 | 2  | 3  | 4  | 5  | 6  | 7  | 8  | 9  | 10 | 11 | 12 | 13 | 14 | 15 | 16 | 17 | 18 | 19 | 20 | 21   | 22 | 23 | 24 | 25 | 26 | 27 | 28 | 29 | 30 | 31 | 32 | 33 | 34 | 35 | 36 | 37 | 38 | 39 | 40 | 41 | 42 | 43 | 44 | 45 | 46 | 47 | 48 | 49 | 50 | 51 | 52 | 53 | 54 | 55 | 56 | 57 | 58 | 59 | 60 | 61 | 62 | 63 | 64 | 65 | 66 | 67 | 68 | 69 | 70 | 71 | 72 | 73 | 74 | 75 | 76 | 77 | 78 | 79 | 80 | 81 | 82 | 83 | 84 | 85 | 86 | 87 | 88 | 89 | 90 | 91  | 92 | 93 | 94 | 95 | 96 | 97 | 98 | 99 | 100 |
| 1 | 2  | 3  | 4  | 5  | 6  | 7  | 8  | 9  | 10 | 11 | 12 | 13 | 14 | 15 | 16 | 17 | 18 | 19 | 20 | 21   | 22 | 23 | 24 | 25 | 26 | 27 | 28 | 29 | 30 | 31 | 32 | 33 | 34 | 35 | 36 | 37 | 38 | 39 | 40 | 41 | 42 | 43 | 44 | 45 | 46 | 47 | 48 | 49 | 50 | 51 | 52 | 53 | 54 | 55 | 56 | 57 | 58 | 59 | 60 | 61 | 62 | 63 | 64 | 65 | 66 | 67 | 68 | 69 | 70 | 71 | 72 | 73 | 74 | 75 | 76 | 77 | 78 | 79 | 80 | 81 | 82 | 83 | 84 | 85 | 86 | 87 | 88 | 89 | 90 | 91  | 92 | 93 | 94 | 95 | 96 | 97 | 98 | 99 | 100 |
| 1 | 2  | 3  | 4  | 5  | 6  | 7  | 8  | 9  | 10 | 11 | 12 | 13 | 14 | 15 | 16 | 17 | 18 | 19 | 20 | 21</ |    |    |    |    |    |    |    |    |    |    |    |    |    |    |    |    |    |    |    |    |    |    |    |    |    |    |    |    |    |    |    |    |    |    |    |    |    |    |    |    |    |    |    |    |    |    |    |    |    |    |    |    |    |    |    |    |    |    |    |    |    |    |    |    |    |    |    |    |    |     |    |    |    |    |    |    |    |    |     |



- TYPICAL WINDOW - SEE DETAIL 47/AD 100
- TYPICAL RECESSED WINDOW - SEE DETAIL 15/AD 105
- TYPICAL DOOR - SEE DETAIL 10/AD 104
- TYPICAL SLIDING GLASS DOOR - SEE DETAIL 92/AD 104
- TYPICAL GARAGE DOOR - SEE DETAIL 14 B 14/AD 104

ROOF PLAN - GENERAL NOTES

2. STEP 1 TO STEP 2: RELOC PLANS FROM INFORMATIONAL INTO SECTION 100 ADDING A RELOC PLANS.
3. ALL RELOCATIONS, DETAILS AND DIMENSIONS ARE APPLICABLE TO RELOC CONDITION 1 (1/0).
4. PREVIEW ANNOTATION 261-1-1. CUMULATIVE RESISTANCE NOTED AS FLASHING AT ALL WALLS AND ROOF TOWARD NEIGH WITH 1/2" GALVANIZED WIRE.
5. ALL ROOF, WALL AND FLOOR PLANS FROM INFORMATIONAL AND ELECTRICAL INTO CORRESPONDING RESISTANT, NON-COMBUSTIBLE RELOC WITH 1/2" GALVANIZED WIRE.
6. STEP TO LOCATE PLANS FOR ALL SLOPE, RAMP AND RECTANGULAR INFLAT AREA RELOCATIONS.
7. PROVIDE ROCK OUT FLASHING AT ALL FASCIA TOWARD RELOCATIONS - SEE DETAIL 274-1/100.
8. ROOF TOWARD FLASHING - SEE DETAIL 274-1/102.
9. ATRO 1/1-1/1 - SEE DETAIL 410-1/100.
10. PREVIEW PENETRATIONS - SEE DETAIL 174-1/102.

ROOF PLAN - KEYNOTES

1. CORROSION RESISTANT METAL CORNER - SEE DETAIL 34AD 102
2. CORROSION RESISTANT GUTTER AND DOWNSPOUTS - DRAIN TO CONC. FLATWORK/ SPLASH BLOC
3. OPTIONAL PATIO

| ROOF FINISHES/ DETAIL NOTES (COMP SHINGLE) |              |          |          |           |                            |      |
|--------------------------------------------|--------------|----------|----------|-----------|----------------------------|------|
| ELEVATION                                  | ROOF TYPE    | DETAIL   | FLASHING | SHEATHING | ROOF COVERING AND UNDERLAY |      |
|                                            |              |          |          |           | FAVE                       | BASE |
| "A"                                        | COMP SHINGLE | 4/4D 175 | 2x6      | 2x6       | 6"                         | 6"   |
| "B"                                        | COMP SHINGLE | 4/4D 175 | 2x6      | 2x6       | 6"                         | 6"   |
| "C"                                        | COMP SHINGLE | 4/4D 175 | 2x6      | 2x6       | 6"                         | 6"   |

ROOF FINISHES/ DETAIL NOTES (TILE ROOF)

| REMARK | EQUITY     | DEBIT     | CREDIT | BANK | RECEIVABLES |        |
|--------|------------|-----------|--------|------|-------------|--------|
|        |            |           |        |      | DATE        | AMOUNT |
| 1      | CONC. TEL. | 3/10/1913 | 200    | 200  | 3           | 3      |
| 2      | CONC. TEL. | 3/10/1913 | 200    | 200  | 3           | 3      |
| 3      | CONC. TEL. | 3/10/1913 | 200    | 200  | 3           | 3      |

VERIFY ALL ROOF FINISHES WITH APPROVED COLOR SCHEMES

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CELESTIAL  
Tract No.

Kevin L. Crook **Architect, Inc**

1360 Reynolds Ave., Suite #110 Irvine, CA. 92614  
Phone (949) 660-1587

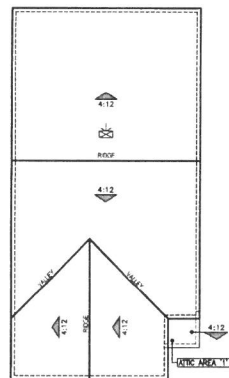
www.klcarch.com

Issue Date:  
07/18/24  
Revision Date:

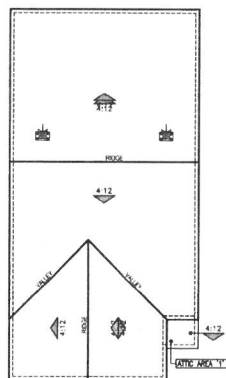


Project #: 24068  
Sheet Name: 'A" Elevations

Sheet #:  
A2502-6



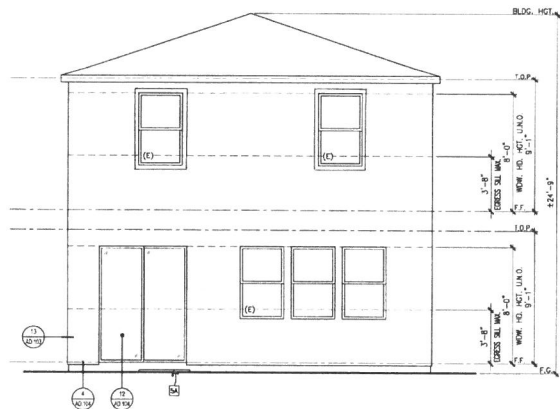
(CONC. TILE)  
"B" ROOF PLAN



(COMP.)  
"B" ROOF PLAN



"B" FRONT ELEVATION



"B" REAR ELEVATION

# EXTERIOR ELEVATION - GENERAL NOTES

SCALE 1/8" = 1'-0"

1. REFER TO STANDARD ELEVATION FOR INFORMATION NOT SHOWN ON ADDENDUM AND/OR SPECIAL REQUIREMENTS.
2. ALL ELEVATION DETAILS AND DIMENSIONS ARE TYPICAL TO THEIR CONDITION UNLESS OTHERWISE NOTED.
3. EXTERIOR FINISH: FINISHES UNLESS OTHERWISE NOTED. WATER RESISTANT BARRIERS SHALL BE INSTALLED AS SHOWN IN SECTION 07531 AND WHERE APPLICABLE OVER WATER-RESISTANT BARRIERS SHALL INCLUDE A WATER-RESISTANT VAPOR PERMEABLE BARRIER WITH A PERFORMANCE AT LEAST EQUIVALENT TO TWO LAYERS OF GRADE 40 PAPER. THE PERMEABLE BARRIER SHALL BE INSTALLED IN ACCORDANCE WITH SECTION 07531 AND SHALL PROVIDE A SEPARATE DRAINAGE PLAN AND ANY DRAINAGE SHALL BE INSTALLED IN ACCORDANCE WITH SECTION 07531 AND SHALL BE INSTALLED TO THE EXTERIOR. THE WATER-RESISTANT BARRIER IS UNLESS OTHERWISE NOTED IN THE ELEVATION (E.C.).
4. ALL EXTERIOR FINISHES SHALL BE INSTALLED IN ACCORDANCE WITH THE ELEVATION (E.C.).
5. WHEN A WINDOW IS ADJACENT TO A DOOR THE WINDOW HEAD SHALL ALIGN WITH THE DOOR HEAD.
6. ALL EXTERIOR DOOR AND WINDOW HEADS SHALL HAVE HEAVY DRAINAGE AND CORRELATION UNLESS OTHERWISE NOTED.
7. DOOR AND WINDOW HEADS SHALL BE INSTALLED IN ACCORDANCE WITH THE ELEVATION (E.C.).
8. SHUTTER BARRIERS: SEE DETAIL 12/10/10.
9. EXTERIOR DOOR AND WINDOW HEADS SHALL BE INSTALLED IN ACCORDANCE WITH THE ELEVATION (E.C.).
10. TYPICAL ELEVATION: SEE DETAIL 12/10/10.
11. TYPICAL STUDY OF DOOR CORNER: SEE DETAIL 12/10/10.
12. TYPICAL LAP JOINT: SHIMMED JOINT OR FRAME SHIMMED OUTSIDE CORNER: SEE DETAIL 12/10/10.
13. TYPICAL LAP JOINT: SHIMMED JOINT OR FRAME SHIMMED OUTSIDE CORNER: SEE DETAIL 12/10/10.
14. WINDOW RUN ATTACHED: SEE DETAIL 12/10/10.
15. TYPICAL POST TO WALL: SEE DETAIL 12/10/10.
16. EXTERIOR AIR FLEX: SEE DETAIL 12/10/10.
17. EXTERIOR WINDOW SHALL BE INSTALLED IN ACCORDANCE WITH THE ELEVATION (E.C.).
18. BUILDING SHALL HAVE APPROVED ADDRESS NUMBERS PLACED IN A POSITION THAT IS VISIBLE FROM THE STREET OR ADJACENT TO THE STREET (SEE DETAIL 12/10/10).
19. ADDRESS NUMBERS SHALL BE INSTALLED IN ACCORDANCE WITH THE ELEVATION (E.C.).

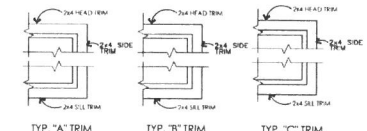
## EXTERIOR ELEVATION - KEYNOTES

(SEE EXTERIOR ELEVATION FINISHES)

1. EXTERIOR ELEVATION FINISHES
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## EXTERIOR ELEVATION FINISHES

| ELEVATION | FINISHES       | FINISHES       | FINISHES       | FINISHES       | FINISHES       | FINISHES       |
|-----------|----------------|----------------|----------------|----------------|----------------|----------------|
| "A"       | 1/2" SAND/FLAT | 1/2" SAND/FLAT | 1/2" SAND/FLAT | 1/2" SAND/FLAT | 1/2" SAND/FLAT | 1/2" SAND/FLAT |
| "B"       | 1/2" SAND/FLAT | 1/2" SAND/FLAT | 1/2" SAND/FLAT | 1/2" SAND/FLAT | 1/2" SAND/FLAT | 1/2" SAND/FLAT |
| "C"       | 1/2" SAND/FLAT | 1/2" SAND/FLAT | 1/2" SAND/FLAT | 1/2" SAND/FLAT | 1/2" SAND/FLAT | 1/2" SAND/FLAT |



TYP. "A" TRIM TYP. "B" TRIM TYP. "C" TRIM

## ROOF PLAN - GENERAL NOTES

SCALE 1/8" = 1'-0"

1. REFER TO STANDARD ELEVATION FOR INFORMATION NOT SHOWN ON ADDENDUM AND/OR SPECIAL REQUIREMENTS.
2. ALL ELEVATION DETAILS AND DIMENSIONS ARE TYPICAL TO THEIR CONDITION UNLESS OTHERWISE NOTED.
3. EXTERIOR FINISH: FINISHES UNLESS OTHERWISE NOTED. WATER RESISTANT BARRIERS SHALL BE INSTALLED AS SHOWN IN SECTION 07531 AND WHERE APPLICABLE OVER WATER-RESISTANT BARRIERS SHALL INCLUDE A WATER-RESISTANT VAPOR PERMEABLE BARRIER WITH A PERFORMANCE AT LEAST EQUIVALENT TO TWO LAYERS OF GRADE 40 PAPER. THE PERMEABLE BARRIER SHALL BE INSTALLED IN ACCORDANCE WITH SECTION 07531 AND SHALL PROVIDE A SEPARATE DRAINAGE PLAN AND ANY DRAINAGE SHALL BE INSTALLED IN ACCORDANCE WITH SECTION 07531 AND SHALL BE INSTALLED TO THE EXTERIOR. THE WATER-RESISTANT BARRIER IS UNLESS OTHERWISE NOTED IN THE ELEVATION (E.C.).
4. ALL EXTERIOR FINISHES SHALL BE INSTALLED IN ACCORDANCE WITH THE ELEVATION (E.C.).
5. WHEN A WINDOW IS ADJACENT TO A DOOR THE WINDOW HEAD SHALL ALIGN WITH THE DOOR HEAD.
6. ALL EXTERIOR DOOR AND WINDOW HEADS SHALL HAVE HEAVY DRAINAGE AND CORRELATION UNLESS OTHERWISE NOTED.
7. DOOR AND WINDOW HEADS SHALL BE INSTALLED IN ACCORDANCE WITH THE ELEVATION (E.C.).
8. SHUTTER BARRIERS: SEE DETAIL 12/10/10.
9. EXTERIOR DOOR AND WINDOW HEADS SHALL BE INSTALLED IN ACCORDANCE WITH THE ELEVATION (E.C.).
10. TYPICAL ELEVATION: SEE DETAIL 12/10/10.
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12. TYPICAL LAP JOINT: SHIMMED JOINT OR FRAME SHIMMED OUTSIDE CORNER: SEE DETAIL 12/10/10.
13. TYPICAL LAP JOINT: SHIMMED JOINT OR FRAME SHIMMED OUTSIDE CORNER: SEE DETAIL 12/10/10.
14. WINDOW RUN ATTACHED: SEE DETAIL 12/10/10.
15. TYPICAL POST TO WALL: SEE DETAIL 12/10/10.
16. EXTERIOR AIR FLEX: SEE DETAIL 12/10/10.
17. EXTERIOR WINDOW SHALL BE INSTALLED IN ACCORDANCE WITH THE ELEVATION (E.C.).
18. BUILDING SHALL HAVE APPROVED ADDRESS NUMBERS PLACED IN A POSITION THAT IS VISIBLE FROM THE STREET OR ADJACENT TO THE STREET (SEE DETAIL 12/10/10).
19. ADDRESS NUMBERS SHALL BE INSTALLED IN ACCORDANCE WITH THE ELEVATION (E.C.).

## ROOF PLAN - KEYNOTES

1. CORROSION RESISTANT METAL CROCKET: SEE DETAIL 12/10/10.
2. CORROSION RESISTANT METAL CROCKET: SEE DETAIL 12/10/10.
3. CORROSION RESISTANT METAL CROCKET: SEE DETAIL 12/10/10.

## ROOF FINISHES/DETAIL NOTES (COMP SHINGLE)

| ELEVATION | FINISHES     | FINISHES     | FINISHES     | FINISHES     | FINISHES     | FINISHES     |
|-----------|--------------|--------------|--------------|--------------|--------------|--------------|
| "A"       | COMP SHINGLE | COMP SHINGLE | COMP SHINGLE | COMP SHINGLE | COMP SHINGLE | COMP SHINGLE |
| "B"       | COMP SHINGLE | COMP SHINGLE | COMP SHINGLE | COMP SHINGLE | COMP SHINGLE | COMP SHINGLE |
| "C"       | COMP SHINGLE | COMP SHINGLE | COMP SHINGLE | COMP SHINGLE | COMP SHINGLE | COMP SHINGLE |

## ROOF FINISHES/DETAIL NOTES (TILE ROOF)

| ELEVATION | FINISHES  | FINISHES  | FINISHES  | FINISHES  | FINISHES  | FINISHES  |
|-----------|-----------|-----------|-----------|-----------|-----------|-----------|
| "A"       | COMP TILE | COMP TILE | COMP TILE | COMP TILE | COMP TILE | COMP TILE |
| "B"       | COMP TILE | COMP TILE | COMP TILE | COMP TILE | COMP TILE | COMP TILE |
| "C"       | COMP TILE | COMP TILE | COMP TILE | COMP TILE | COMP TILE | COMP TILE |

REFER TO STANDARD ELEVATION FOR INFORMATION NOT SHOWN ON ADDENDUM AND/OR SPECIAL REQUIREMENTS.

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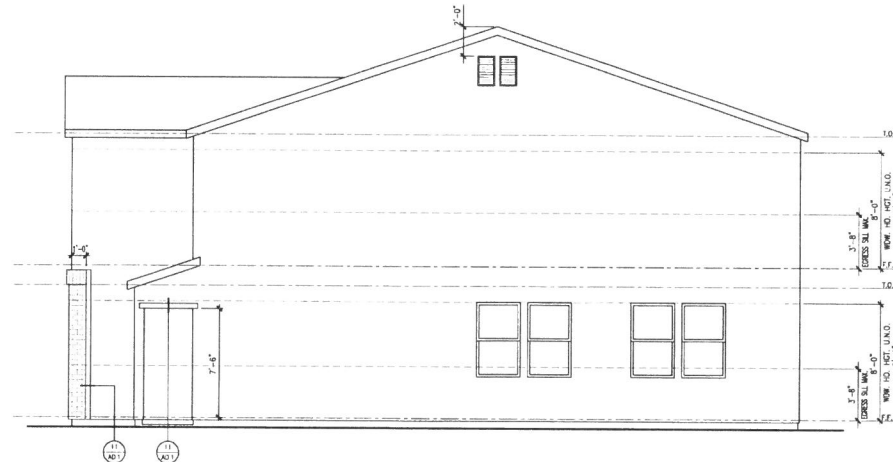
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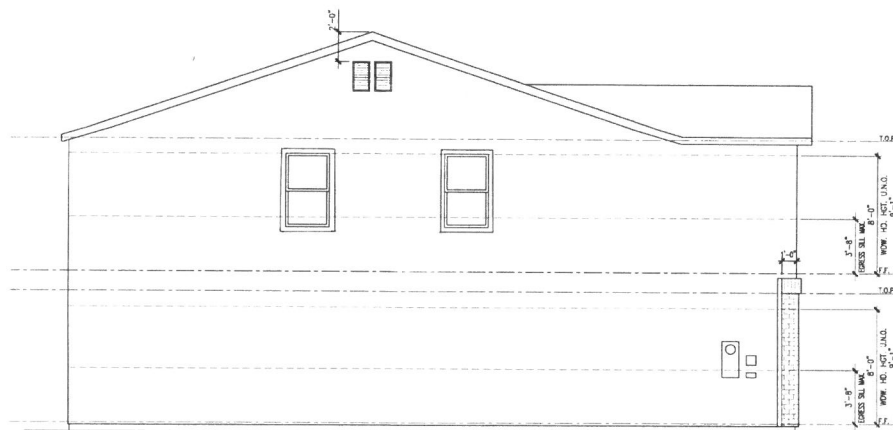


Project #:  
24068  
Sheet Name:  
"B" Elevations and Roof Plan  
Sheet #:

A2502-10



"B" RIGHT ELEVATION



"B" LEFT ELEVATION

# EXTERIOR ELEVATION - GENERAL NOTES

SCALE: 1/4" = 1'-0"

1. REFER TO STANDARD REVISIONS FOR INFORMATION NOT SHOWN ON ADDENDUM AND/OR OPTIONAL ELEVATIONS.
2. ALL KEYNOTES, DETAILS AND DIMENSIONS ARE TYPICAL TO THE CONSTRUCTION OF THE ELEVATION.
3. EXTERIOR FINISHES: FINISHES SHALL BE AS SHOWN IN THE ELEVATION. FINISHES NOT SHOWN IN THE ELEVATION SHALL BE AS SHOWN IN THE ELEVATION. FINISHES NOT SHOWN IN THE ELEVATION SHALL BE AS SHOWN IN THE ELEVATION.
4. ALL FINISHES SHALL BE AS SHOWN IN THE ELEVATION. FINISHES NOT SHOWN IN THE ELEVATION SHALL BE AS SHOWN IN THE ELEVATION.
5. WHEN A WINDOW IS ADJACENT TO A DOOR, THE WINDOW HEADER SHALL ALIGN WITH THE DOOR HEAD.
6. ALL EXTERIOR DOOR AND WINDOW HEADERS SHALL BE AS SHOWN IN THE ELEVATION.
7. PIPES AND VENTS PENETRATING THE EXTERIOR WALL SHALL BE AS SHOWN IN THE ELEVATION.
8. SHUTTER BATTENS SHALL BE AS SHOWN IN THE ELEVATION.
9. EXTERIOR WALL FINISHES SHALL BE AS SHOWN IN THE ELEVATION.
10. TYPICAL WINDOW: SEE DETAIL 11 AND 12.
11. TYPICAL WINDOW: SEE DETAIL 11 AND 12.
12. TYPICAL WINDOW: SEE DETAIL 11 AND 12.
13. TYPICAL WINDOW: SEE DETAIL 11 AND 12.
14. TYPICAL WINDOW: SEE DETAIL 11 AND 12.
15. TYPICAL WINDOW: SEE DETAIL 11 AND 12.
16. SERVICE VENTS: SEE DETAIL 11 AND 12.
17. ROOF FINISHES: SEE DETAIL 11 AND 12.
18. ROOF FINISHES: SEE DETAIL 11 AND 12.
19. ROOF FINISHES: SEE DETAIL 11 AND 12.
20. ROOF FINISHES: SEE DETAIL 11 AND 12.

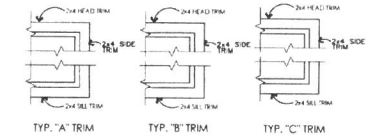
## EXTERIOR ELEVATION - KEYNOTES

1. EXTERIOR FINISHES: SEE DETAIL 11 AND 12.
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18. EXTERIOR FINISHES: SEE DETAIL 11 AND 12.
19. EXTERIOR FINISHES: SEE DETAIL 11 AND 12.
20. EXTERIOR FINISHES: SEE DETAIL 11 AND 12.

## EXTERIOR ELEVATION FINISHES

| ELEVATION | FINISHES        | FINISHES        | FINISHES        | FINISHES        | FINISHES        | FINISHES        |
|-----------|-----------------|-----------------|-----------------|-----------------|-----------------|-----------------|
| "A"       | 1/2" SAND FLOAT | 1/2" SAND FLOAT | 1/2" SAND FLOAT | 1/2" SAND FLOAT | 1/2" SAND FLOAT | 1/2" SAND FLOAT |
| "B"       | 1/2" SAND FLOAT | 1/2" SAND FLOAT | 1/2" SAND FLOAT | 1/2" SAND FLOAT | 1/2" SAND FLOAT | 1/2" SAND FLOAT |
| "C"       | 1/2" SAND FLOAT | 1/2" SAND FLOAT | 1/2" SAND FLOAT | 1/2" SAND FLOAT | 1/2" SAND FLOAT | 1/2" SAND FLOAT |

WHEN AS SHOWN IN THE ELEVATION, SEE DETAIL 11 AND 12.



1. TYPICAL WINDOW: SEE DETAIL 11 AND 12.
2. TYPICAL WINDOW: SEE DETAIL 11 AND 12.
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4. TYPICAL WINDOW: SEE DETAIL 11 AND 12.
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8. TYPICAL WINDOW: SEE DETAIL 11 AND 12.
9. TYPICAL WINDOW: SEE DETAIL 11 AND 12.
10. TYPICAL WINDOW: SEE DETAIL 11 AND 12.
11. TYPICAL WINDOW: SEE DETAIL 11 AND 12.
12. TYPICAL WINDOW: SEE DETAIL 11 AND 12.
13. TYPICAL WINDOW: SEE DETAIL 11 AND 12.
14. TYPICAL WINDOW: SEE DETAIL 11 AND 12.
15. TYPICAL WINDOW: SEE DETAIL 11 AND 12.
16. TYPICAL WINDOW: SEE DETAIL 11 AND 12.
17. TYPICAL WINDOW: SEE DETAIL 11 AND 12.
18. TYPICAL WINDOW: SEE DETAIL 11 AND 12.
19. TYPICAL WINDOW: SEE DETAIL 11 AND 12.
20. TYPICAL WINDOW: SEE DETAIL 11 AND 12.

## ROOF PLAN - GENERAL NOTES

SCALE: 1/4" = 1'-0"

1. REFER TO STANDARD REVISIONS FOR INFORMATION NOT SHOWN ON ADDENDUM AND/OR OPTIONAL ELEVATIONS.
2. ALL FINISHES, DETAILS AND DIMENSIONS ARE TYPICAL TO THE CONSTRUCTION OF THE ROOF PLAN.
3. PROVIDE MINIMUM 1/2" DIA. CORROSION RESISTANT METAL FLASHING AT ALL VALLES AND ROOF TO WALL PENETRATIONS.
4. ALL ROOF WALL AND VENT VENTS SHALL BE SCREENED WITH CORROSION RESISTANT 1/2" DIA. CORROSION RESISTANT METAL FLASHING.
5. REFER TO ROOF PLAN FOR ALL ROOF FINISHES AND ELECTRICAL PENETRATIONS.
6. PROVIDE ROOF FLASHING AT ALL ROOF TO WALL PENETRATIONS. SEE DETAIL 11 AND 12.
7. ROOF TO WALL FLASHING: SEE DETAIL 11 AND 12.
8. AT THE ROOF: SEE DETAIL 11 AND 12.
9. PIPE VENT PENETRATIONS: SEE DETAIL 11 AND 12.

## ROOF PLAN - KEYNOTES

1. CORROSION RESISTANT METAL FLASHING: SEE DETAIL 11 AND 12.
2. CORROSION RESISTANT METAL FLASHING: SEE DETAIL 11 AND 12.
3. CORROSION RESISTANT METAL FLASHING: SEE DETAIL 11 AND 12.
4. CORROSION RESISTANT METAL FLASHING: SEE DETAIL 11 AND 12.
5. CORROSION RESISTANT METAL FLASHING: SEE DETAIL 11 AND 12.
6. CORROSION RESISTANT METAL FLASHING: SEE DETAIL 11 AND 12.
7. CORROSION RESISTANT METAL FLASHING: SEE DETAIL 11 AND 12.
8. CORROSION RESISTANT METAL FLASHING: SEE DETAIL 11 AND 12.
9. CORROSION RESISTANT METAL FLASHING: SEE DETAIL 11 AND 12.
10. CORROSION RESISTANT METAL FLASHING: SEE DETAIL 11 AND 12.
11. CORROSION RESISTANT METAL FLASHING: SEE DETAIL 11 AND 12.
12. CORROSION RESISTANT METAL FLASHING: SEE DETAIL 11 AND 12.
13. CORROSION RESISTANT METAL FLASHING: SEE DETAIL 11 AND 12.
14. CORROSION RESISTANT METAL FLASHING: SEE DETAIL 11 AND 12.
15. CORROSION RESISTANT METAL FLASHING: SEE DETAIL 11 AND 12.
16. CORROSION RESISTANT METAL FLASHING: SEE DETAIL 11 AND 12.
17. CORROSION RESISTANT METAL FLASHING: SEE DETAIL 11 AND 12.
18. CORROSION RESISTANT METAL FLASHING: SEE DETAIL 11 AND 12.
19. CORROSION RESISTANT METAL FLASHING: SEE DETAIL 11 AND 12.
20. CORROSION RESISTANT METAL FLASHING: SEE DETAIL 11 AND 12.

## ROOF FINISHES/DETAIL NOTES (COMP. SHINGLE)

| ELEVATION | FINISHES        | FINISHES        | FINISHES        | FINISHES        | FINISHES        | FINISHES        |
|-----------|-----------------|-----------------|-----------------|-----------------|-----------------|-----------------|
| "A"       | 1/2" SAND FLOAT | 1/2" SAND FLOAT | 1/2" SAND FLOAT | 1/2" SAND FLOAT | 1/2" SAND FLOAT | 1/2" SAND FLOAT |
| "B"       | 1/2" SAND FLOAT | 1/2" SAND FLOAT | 1/2" SAND FLOAT | 1/2" SAND FLOAT | 1/2" SAND FLOAT | 1/2" SAND FLOAT |
| "C"       | 1/2" SAND FLOAT | 1/2" SAND FLOAT | 1/2" SAND FLOAT | 1/2" SAND FLOAT | 1/2" SAND FLOAT | 1/2" SAND FLOAT |

## ROOF FINISHES/DETAIL NOTES (TILE ROOF)

| ELEVATION | FINISHES        | FINISHES        | FINISHES        | FINISHES        | FINISHES        | FINISHES        |
|-----------|-----------------|-----------------|-----------------|-----------------|-----------------|-----------------|
| "A"       | 1/2" SAND FLOAT | 1/2" SAND FLOAT | 1/2" SAND FLOAT | 1/2" SAND FLOAT | 1/2" SAND FLOAT | 1/2" SAND FLOAT |
| "B"       | 1/2" SAND FLOAT | 1/2" SAND FLOAT | 1/2" SAND FLOAT | 1/2" SAND FLOAT | 1/2" SAND FLOAT | 1/2" SAND FLOAT |
| "C"       | 1/2" SAND FLOAT | 1/2" SAND FLOAT | 1/2" SAND FLOAT | 1/2" SAND FLOAT | 1/2" SAND FLOAT | 1/2" SAND FLOAT |

WHEN AS SHOWN IN THE ELEVATION, SEE DETAIL 11 AND 12.

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Issue Date:  
07/18/24  
Revision Date:



Project #:  
74048  
Sheet Name:  
"B" Elevations

Sheet #:  
A2502-11





- | CLASS | R-R-TITLE | DATE    | FASCLA<br>UNO | BASCE<br>UNO | R-R-TITLE, FASCLA, BASCE |      |
|-------|-----------|---------|---------------|--------------|--------------------------|------|
|       |           |         |               |              | TAVI                     | FARE |
| A     | CORR. TIT | 3/4/101 | 266           | 266          | 6'                       | 6'   |
| B     | CORR. TIT | 3/4/101 | 266           | 266          | 6'                       | 6'   |
| C     | CORR. TIT | 3/4/101 | 266           | 266          | 6'                       | 6'   |

A2502-15





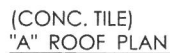








|             |                |
|-------------|----------------|
| Project #:  | 24068          |
| Sheet Name: | "A" Elevations |
| Sheet #:    | A2503-6        |



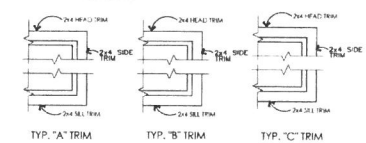
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EXTERIOR ELEVATION - KEYNOTES

- [illegible]

### EXTERIOR ELEVATION FINISHES

| ELEVATION | STUCCO FINISH   | STUCCO TRIM / CORNER FINISH | IMITATED WOOD SIDING FINISH | IMITATED WOOD TRIM / CORNER FINISH | SHUTTERS |
|-----------|-----------------|-----------------------------|-----------------------------|------------------------------------|----------|
| "A"       | 1/2" SAND FLOAT | 1/2" SAND FLOAT             | SMOOTH                      | SMOOTH                             | SMOOTH   |
| "B"       | 1/2" SAND FLOAT | 1/2" SAND FLOAT             | SMOOTH                      | SMOOTH                             | SMOOTH   |
| "C"       | 1/2" SAND FLOAT | 1/2" SAND FLOAT             | SMOOTH                      | SMOOTH                             | SMOOTH   |



- TYPICAL WINDOW - SEE DETAIL 12/AD
- TYPICAL RECESSED WINDOW - SEE DETAIL 13/AD
- TYPICAL DOOR - SEE DETAIL 10/AD
- TYPICAL SLIDING GLASS EXTERIOR - SEE DETAIL 12/AD
- TYPICAL GARAGE DOOR - SEE DETAIL 14 & 16/AD

ROOF PLAN - GENERAL NOTES

1. PETER TO STANDARD ROOM PENETRATIONS (SEE BOTH AN EXTERIOR FLOOR PLAN AND INTERIOR FLOOR PLAN)
2. ALL PENETRATIONS, TUBES AND DRAINAGE ARE TO BE ALIGNED TO BE IN LINE IN PLAN
3. PROVIDE MINIMUM 2" G.C. CURBS FOR RESHAKE WITH FLASHING AT ALL WALLS AND ROOM-TO-WALL PENETRATIONS
4. ALL WALL, FLOOR AND CEILING SHALL BE SCOTCHED WITH CORROSION RESISTANT, NON COMBUSTIBLE WIRE MESH (1/2" SQUARE MESH) OVER
5. PROVIDE SOLAR FLASHING FOR ALL SOLAR PANELS AND ELECTRICAL INSTALLATIONS (SEE SPEC)
6. PROVIDE FLOOR FLASHING AT ALL CURB TO WALL PENETRATIONS. SEE DETAIL 21AD 102
7. ROOF TO WALL FLASHING. SEE DETAIL 21AD 102
8. ATIC TO WALL. SEE DETAIL 21AD 102
9. PIPE VENT PENETRATIONS. SEE DETAIL 21AD 102

ROOF PLAN - KEYNOTES

1. CORROSION RESISTANT METAL CROCKET - SEE DETAIL TRAD 162
2. CORROSION RESISTANT CUTLER AND DOWNSPROUTS - DRAW TO CONC. PLATWORK SPLASH BLOCK
3. OPTIONAL ELEV.

| ROOF FINISHES / DETAIL NOTES (COMP SHINGLE) |               |         |           |           |                   |      |
|---------------------------------------------|---------------|---------|-----------|-----------|-------------------|------|
| ELEVATION                                   | ROOF TYPE     | DETAIL  | TASCA UNO | TASCA UNO | ROOF COVERING UNO |      |
|                                             |               |         |           |           | TAVE              | TAVE |
| "A"                                         | COMP. SHINGLE | 41AD101 | 245       | 245       | 6                 | 6    |
| "B"                                         | COMP. SHINGLE | 41AD101 | 245       | 245       | 6                 | 6    |
| "C"                                         | COMP. SHINGLE | 41AD101 | 245       | 245       | 6                 | 6    |

ROOF FINISHES/ DETAIL NOTES (TILE ROOF)

| ITEM NO. | ITEM DESCRIPTION    | UNIT | QTY | PRICE | TOTAL  |      |
|----------|---------------------|------|-----|-------|--------|------|
|          |                     |      |     |       | AMOUNT | TAX  |
| 1        | 100% COTTON T-SHIRT | PC   | 10  | 10.00 | 10.00  | 0.00 |
| 2        | 100% COTTON T-SHIRT | PC   | 10  | 10.00 | 10.00  | 0.00 |
| 3        | 100% COTTON T-SHIRT | PC   | 10  | 10.00 | 10.00  | 0.00 |
| 4        | 100% COTTON T-SHIRT | PC   | 10  | 10.00 | 10.00  | 0.00 |
| 5        | 100% COTTON T-SHIRT | PC   | 10  | 10.00 | 10.00  | 0.00 |
| 6        | 100% COTTON T-SHIRT | PC   | 10  | 10.00 | 10.00  | 0.00 |
| 7        | 100% COTTON T-SHIRT | PC   | 10  | 10.00 | 10.00  | 0.00 |
| 8        | 100% COTTON T-SHIRT | PC   | 10  | 10.00 | 10.00  | 0.00 |
| 9        | 100% COTTON T-SHIRT | PC   | 10  | 10.00 | 10.00  | 0.00 |
| 10       | 100% COTTON T-SHIRT | PC   | 10  | 10.00 | 10.00  | 0.00 |
| 11       | 100% COTTON T-SHIRT | PC   | 10  | 10.00 | 10.00  | 0.00 |
| 12       | 100% COTTON T-SHIRT | PC   | 10  | 10.00 | 10.00  | 0.00 |
| 13       | 100% COTTON T-SHIRT | PC   | 10  | 10.00 | 10.00  | 0.00 |
| 14       | 100% COTTON T-SHIRT | PC   | 10  | 10.00 | 10.00  | 0.00 |
| 15       | 100% COTTON T-SHIRT | PC   | 10  | 10.00 | 10.00  | 0.00 |
| 16       | 100% COTTON T-SHIRT | PC   | 10  | 10.00 | 10.00  | 0.00 |
| 17       | 100% COTTON T-SHIRT | PC   | 10  | 10.00 | 10.00  | 0.00 |
| 18       | 100% COTTON T-SHIRT | PC   | 10  | 10.00 | 10.00  | 0.00 |
| 19       | 100% COTTON T-SHIRT | PC   | 10  | 10.00 | 10.00  | 0.00 |
| 20       | 100% COTTON T-SHIRT | PC   | 10  | 10.00 | 10.00  | 0.00 |
| 21       | 100% COTTON T-SHIRT | PC   | 10  | 10.00 | 10.00  | 0.00 |
| 22       | 100% COTTON T-SHIRT | PC   | 10  | 10.00 | 10.00  | 0.00 |
| 23       | 100% COTTON T-SHIRT | PC   | 10  | 10.00 | 10.00  | 0.00 |
| 24       | 100% COTTON T-SHIRT | PC   | 10  | 10.00 | 10.00  | 0.00 |
| 25       | 100% COTTON T-SHIRT | PC   | 10  | 10.00 | 10.00  | 0.00 |
| 26       | 100% COTTON T-SHIRT | PC   | 10  | 10.00 | 10.00  | 0.00 |
| 27       | 100% COTTON T-SHIRT | PC   | 10  | 10.00 | 10.00  | 0.00 |
| 28       | 100% COTTON T-SHIRT | PC   | 10  | 10.00 | 10.00  | 0.00 |
| 29       | 100% COTTON T-SHIRT | PC   | 10  | 10.00 | 10.00  | 0.00 |
| 30       | 100% COTTON T-SHIRT | PC   | 10  | 10.00 | 10.00  | 0.00 |
| 31       | 100% COTTON T-SHIRT | PC   | 10  | 10.00 | 10.00  | 0.00 |
| 32       | 100% COTTON T-SHIRT | PC   | 10  | 10.00 | 10.00  | 0.00 |
| 33       | 100% COTTON T-SHIRT | PC   | 10  | 10.00 | 10.00  | 0.00 |
| 34       | 100% COTTON T-SHIRT | PC   | 10  | 10.00 | 10.00  | 0.00 |
| 35       | 100% COTTON T-SHIRT | PC   | 10  | 10.00 | 10.00  | 0.00 |
| 36       | 100% COTTON T-SHIRT | PC   | 10  | 10.00 | 10.00  | 0.00 |
| 37       | 100% COTTON T-SHIRT | PC   | 10  | 10.00 | 10.00  | 0.00 |
| 38       | 100% COTTON T-SHIRT | PC   | 10  | 10.00 | 10.00  | 0.00 |
| 39       | 100% COTTON T-SHIRT | PC   | 10  | 10.00 | 10.00  | 0.00 |
| 40       | 100% COTTON T-SHIRT | PC   | 10  | 10.00 | 10.00  | 0.00 |
| 41       | 100% COTTON T-SHIRT | PC   | 10  | 10.00 | 10.00  | 0.00 |
| 42       | 100% COTTON T-SHIRT | PC   | 10  | 10.00 | 10.00  | 0.00 |
| 43       | 100% COTTON T-SHIRT | PC   | 10  | 10.00 | 10.00  | 0.00 |
| 44       | 100% COTTON T-SHIRT | PC   | 10  | 10.00 | 10.00  | 0.00 |
| 45       | 100% COTTON T-SHIRT | PC   | 10  | 10.00 | 10.00  | 0.00 |
| 46       | 100% COTTON T-SHIRT | PC   | 10  | 10.00 | 10.00  | 0.00 |
| 47       | 100% COTTON T-SHIRT | PC   | 10  | 10.00 | 10.00  | 0.00 |
| 48       | 100% COTTON T-SHIRT | PC   | 10  | 10.00 | 10.00  | 0.00 |
| 49       | 100% COTTON T-SHIRT | PC   | 10  | 10.00 | 10.00  | 0.00 |
| 50       | 100% COTTON T-SHIRT | PC   | 10  | 10.00 | 10.00  | 0.00 |
| 51       | 100% COTTON T-SHIRT | PC   | 10  | 10.00 | 10.00  | 0.00 |

VERIFY ALL ROOF FINISHES WITH APPROVED COLOR SCHEMES.

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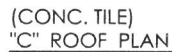
Issue Date:  
07/18/24  
Revision Date:



|             |                                 |
|-------------|---------------------------------|
| Project #:  | 24068                           |
| Sheet Name: | "B" Elevations and<br>Roof Plan |
| Sheet #:    | A2503-10                        |



Project #: 24068  
Sheet Name: "B" Elevations  
Sheet #: A2503-11









ATTIC AREA '1' = 1,777 SQ. FT.

REQUIRED VENTILATION AREA = ATTIC AREA ( 1,777 SQ. FT.) / 150  
= 11.85 SQ. FT. X 144 = 1,705 SQ. IN.

VENTILATION PROVIDED:

(27) "6x8" 3.5"x22" EAVE VENTS AT 61 SQ. IN. = 1,847 SQ. IN.

(1) COMPOSITE TILE "OVACHIN" CLOAKED VENT TREES AT 72 SQ. IN. = 72 SQ. IN.

TOTAL VENTILATION PROVIDED: 1,919 SQ. IN.



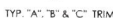
SCALE 1/4" = 1' 0"

- [illegible]

## (SEE EXTERIOR ELEVATION FINISHES)

- [illegible]

| EXPLAN. | SLICE FINISH    | SLICE TRIM CORR. FINISH | SHAPE TO R/O SENSING | SHAPE TO ALONG TRIM CORR. FINISH | S. TRIM |
|---------|-----------------|-------------------------|----------------------|----------------------------------|---------|
| A       | 16/20 SAND FLAT | 16/20 SAND FLAT         | WOOD GRAIN           | WOOD GRAIN                       |         |
| B       | 16/20 SAND FLAT | 16/20 SAND FLAT         | WOOD GRAIN           | WOOD GRAIN                       |         |
| C       | 16/20 SAND FLAT | 16/20 SAND FLAT         | WOOD GRAIN           | WOOD GRAIN                       |         |
| D       | 16/20 SAND FLAT | 16/20 SAND FLAT         | WOOD GRAIN           | WOOD GRAIN                       |         |
| E       | 16/20 SAND FLAT | 16/20 SAND FLAT         | WOOD GRAIN           | WOOD GRAIN                       |         |



- TYPICAL WINDOW - SEE DETAIL 4/AD.105
- TYPICAL RECESSED WINDOW - SEE DETAIL 15/AD.105
- TYPICAL DOOR - SEE DETAIL 10/AD.104
- TYPICAL SLIDING GLASS DOOR - SEE DETAIL 12/AD.104
- TYPICAL GARAGE DOOR - SEE DETAIL 14 & 16/AD.104

## SCALE 1/8" = 1'-0"

1. REFER TO STANDARD SPECIFICATIONS FOR CONSTRUCTION OF ADDITIONAL ROOF PLANS.
2. ALL FINISHED DETAILS AND FLASHINGS ARE TO MATCH TO THE CHORDING UNITS.
3. PROVIDE MINIMUM 24 GA. CORROSION RESISTANT METAL FLASHING AT ALL VALUES AND ROOF TO WALL CONNECTIONS.
4. ALL ROOF WALL FLASHINGS SHALL BE EQUIPPED WITH CORROSION RESISTANT NON COMPLIANT WIRE (E.G. ALUMINUM OR COPPER) FLASHING.
5. REFER TO SOLAR PLANS FOR THE LOCATION OF ALL VALUES AND ELECTRICAL INSTALLATION WORKING.
6. PROVIDE FLASHING AT ALL FLASHING AND ELECTRICAL TERMINATIONS. (SEE DETAIL 314 AND 315)
7. PROVIDE ROOF FLASHINGS AT ALL FLASHING AND ELECTRICAL TERMINATIONS. (SEE DETAIL 314 AND 315)
8. ATTC 14.1.1.1. SEE DETAIL 314 AND 315
9. PIPE PENETRATIONS. SEE DETAIL 314 AND 315

1. CLIPROXOLINE RESIN AND METAL CEMENT. SEE DETAIL 3/40/10/

- 2 CORROSION RESISTANT GUTTER AND DOWNSPOUTS - DRAIN TO CONC. FLATWORK / SPLASH BLOCK

| ELEVATION | ROOF TYPE | DECK | FASCIA | BAY/CH | SPINNING/REPAIR/REINFORCE |
|-----------|-----------|------|--------|--------|---------------------------|
|-----------|-----------|------|--------|--------|---------------------------|

|     |               | UNO      | UNO | DAVE | RAE |
|-----|---------------|----------|-----|------|-----|
| "A" | COMP. SHINGLE | 4 AD 101 | 2x6 | 2x6  | 6"  |
| "B" | COMP. SHINGLE | 4 AD 101 | 2x6 | 2x6  | 6"  |
| "C" | COMP. SHINGLE | 4 AD 101 | 2x6 | 2x6  | 6"  |
| "D" | COMP. SHINGLE | 4 AD 101 | 2x6 | 2x6  | 6"  |
| "E" | COMP. SHINGLE | 4 AD 101 | 2x6 | 2x6  | 6"  |

VERIFY ALL R.O. OF FINISHES WITH APPROVED COLOR SCHEME

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**TREASURES AT LOS PRADOS**

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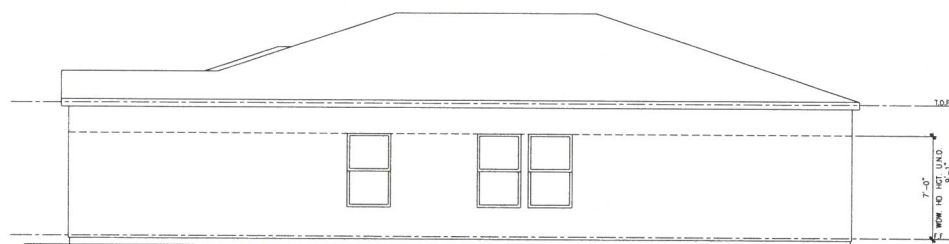
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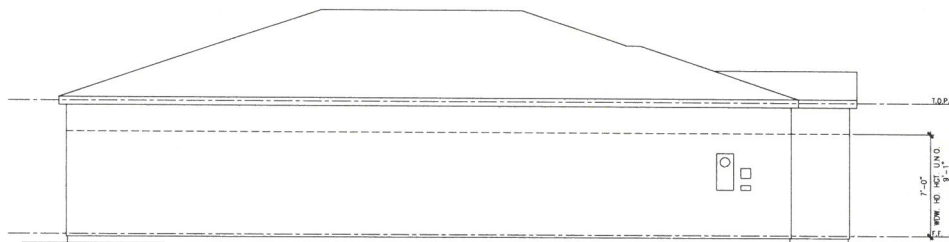
Issue Date:  
mo/dd/yr  
Revision Date:



|             |                                 |
|-------------|---------------------------------|
| Project #:  | 25027                           |
| Sheet Name: | "A" Elevations and<br>Roof Plan |
| Sheet #:    | A3001-4                         |



"A" RIGHT ELEVATION



"A" LEFT ELEVATION

# EXTERIOR ELEVATION - GENERAL NOTES

SCALE 1/4" = 1'-0"

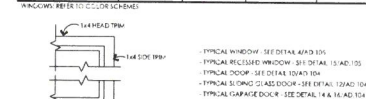
1. REFER TO STANDARD ELEVATION FOR INFORMATION NOT SHOWN OR ACCIDENTAL AND OPTIONAL ELEVATION.
2. ALL ELEVATION DETAILS AND DIMENSIONS ARE TYPICAL TO THEIR CONDITION UNLESS OTHERWISE NOTED.
3. FINISHES AND MATERIALS SHALL BE AS SHOWN ON THE ELEVATION. FINISHES SHALL BE AS SHOWN ON THE ELEVATION. FINISHES SHALL BE AS SHOWN ON THE ELEVATION. FINISHES SHALL BE AS SHOWN ON THE ELEVATION.
4. ALL FINISHES SHOWN DASHED SHALL OCCUR AT LOTS REQUIRING FINISHES UNLESS OTHERWISE NOTED.
5. WHEN A WINDOW IS TO BE LOCATED ABOVE A DOOR THE WINDOW HEAD SHALL ALIGN WITH THE DOOR HEAD.
6. ALL TYPES OF WINDOWS SHALL BE LOCATED AS SHOWN ON THE ELEVATION. ALL TYPES OF WINDOWS SHALL BE LOCATED AS SHOWN ON THE ELEVATION.
7. PIPE AND PENETRATIONS SHALL BE LOCATED AS SHOWN ON THE ELEVATION. PIPE AND PENETRATIONS SHALL BE LOCATED AS SHOWN ON THE ELEVATION.
8. SHUTTER FRAMES SHALL BE LOCATED AS SHOWN ON THE ELEVATION. SHUTTER FRAMES SHALL BE LOCATED AS SHOWN ON THE ELEVATION.
9. TYPICAL DOOR FINISHES SHALL BE LOCATED AS SHOWN ON THE ELEVATION. TYPICAL DOOR FINISHES SHALL BE LOCATED AS SHOWN ON THE ELEVATION.
10. TYPICAL DOOR FINISHES SHALL BE LOCATED AS SHOWN ON THE ELEVATION. TYPICAL DOOR FINISHES SHALL BE LOCATED AS SHOWN ON THE ELEVATION.
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17. TYPICAL DOOR FINISHES SHALL BE LOCATED AS SHOWN ON THE ELEVATION. TYPICAL DOOR FINISHES SHALL BE LOCATED AS SHOWN ON THE ELEVATION.

## EXTERIOR ELEVATION - KEYNOTES

(SEE EXTERIOR ELEVATION FINISHES)

1. EXTERIOR FINISHES
2. EXTERIOR FINISHES
3. EXTERIOR FINISHES
4. EXTERIOR FINISHES
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| ELEVATION | FINISHES       | FINISHES       | FINISHES   | FINISHES   | FINISHES   |
|-----------|----------------|----------------|------------|------------|------------|
| A         | 1/2" SAND FLAT | 1/2" SAND FLAT | WOOD GRAIN | WOOD GRAIN | WOOD GRAIN |
| B         | 1/2" SAND FLAT | 1/2" SAND FLAT | WOOD GRAIN | WOOD GRAIN | WOOD GRAIN |
| C         | 1/2" SAND FLAT | 1/2" SAND FLAT | WOOD GRAIN | WOOD GRAIN | WOOD GRAIN |
| D         | 1/2" SAND FLAT | 1/2" SAND FLAT | WOOD GRAIN | WOOD GRAIN | WOOD GRAIN |
| E         | 1/2" SAND FLAT | 1/2" SAND FLAT | WOOD GRAIN | WOOD GRAIN | WOOD GRAIN |



TYP. "A", "B" & "C" TRIM

## ROOF PLAN - GENERAL NOTES

SCALE 1/4" = 1'-0"

1. REFER TO STANDARD ROOF PLAN FOR INFORMATION NOT SHOWN OR ACCIDENTAL AND OPTIONAL ROOF PLANS.
2. ALL ELEVATION DETAILS AND DIMENSIONS ARE TYPICAL TO THEIR CONDITION UNLESS OTHERWISE NOTED.
3. FINISHES AND MATERIALS SHALL BE AS SHOWN ON THE ROOF PLAN. FINISHES SHALL BE AS SHOWN ON THE ROOF PLAN.
4. ALL ROOF WALL AND FINISHES SHALL BE LOCATED AS SHOWN ON THE ROOF PLAN. ALL ROOF WALL AND FINISHES SHALL BE LOCATED AS SHOWN ON THE ROOF PLAN.
5. REFER TO ELEVATION FOR ALL ROOF WALL AND FINISHES. REFER TO ELEVATION FOR ALL ROOF WALL AND FINISHES.
6. PROVIDE FLASHING AT ALL ROOF WALL PENETRATIONS. PROVIDE FLASHING AT ALL ROOF WALL PENETRATIONS.
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## ROOF PLAN - KEYNOTES

1. CORROSION RESISTANT METAL FLASHING - SEE DETAIL 1/2" X 1/2"
2. CORROSION RESISTANT METAL FLASHING - SEE DETAIL 1/2" X 1/2"

## ROOF FINISHES/DETAIL NOTES

| FINISHES | FINISHES | FINISHES | FINISHES | FINISHES | FINISHES |
|----------|----------|----------|----------|----------|----------|
| 1/2"     | 1/2"     | 1/2"     | 1/2"     | 1/2"     | 1/2"     |
| 1/2"     | 1/2"     | 1/2"     | 1/2"     | 1/2"     | 1/2"     |
| 1/2"     | 1/2"     | 1/2"     | 1/2"     | 1/2"     | 1/2"     |
| 1/2"     | 1/2"     | 1/2"     | 1/2"     | 1/2"     | 1/2"     |

VERIFY ALL ROOF FINISHES WITH APPROVED COLOR SCHEDULE

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Issue Date:  
mo/dd/yr  
Revision Date:

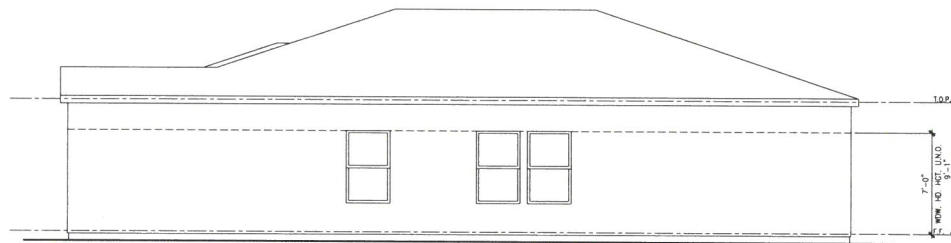


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25027  
Sheet Name:  
"A" Elevations

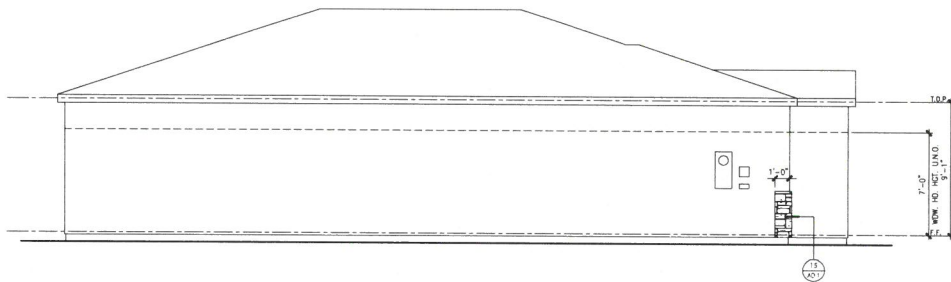
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"B" RIGHT ELEVATION



"B" LEFT ELEVATION

# EXTERIOR ELEVATION - GENERAL NOTES

1. REFER TO STANDARD ELEVATION FOR INFORMATION NOT SHOWN OR ACCORDANCE AND OPTIONAL ELEVATION.
2. ALL KEYNOTES, DETAILS AND DIMENSIONS ARE TYPICAL TO THIS CONSTRUCTION UNLESS OTHERWISE NOTED.
3. TYPICAL FINISHES: EXTERIOR WALLS - WATER RESISTIVE BARRIER SHALL BE INSTALLED AS REQUIRED IN SECTION 050500 - ROOFING AND APPLIED OVER WALLS. BASE SHEETING SHALL BE INSTALLED AS REQUIRED IN SECTION 050500 - ROOFING. THE INTERIOR FINISHES SHALL BE INSTALLED AS REQUIRED IN SECTION 050500 - ROOFING. THE INTERIOR FINISHES SHALL BE INSTALLED AS REQUIRED IN SECTION 050500 - ROOFING.
4. ALL FINISHES SHALL BE INSTALLED AS REQUIRED IN SECTION 050500 - ROOFING.
5. WHEN A WINDOW IS ADJACENT TO A CORNER THE WINDOW HEADER SHALL ALSO HAVE THE CORNER REINFORCED.
6. ALL EXTERIOR WALLS SHALL BE CONCRETE OR CMU. ALL EXTERIOR WALLS SHALL BE CONCRETE OR CMU.
7. PIPE AND JOINT PENETRATIONS - SEE DETAIL 11/AD-103.
8. SHUTTER BACKING - SEE DETAIL 11/AD-103.
9. TYPICAL DOOR THRESHOLD - SEE DETAIL 11/AD-104.
10. TYPICAL SCHED - SEE DETAIL 11/AD-104.
11. TYPICAL STUCCO OUTSIDE CORNER - SEE DETAIL 11/AD-103.
12. TYPICAL LAP JOINT - SEE DETAIL 11/AD-103.
13. TYPICAL LAP JOINT - SEE DETAIL 11/AD-103.
14. WINDOW SILL - ATTACHED - SEE DETAIL 11/AD-103.
15. TYPICAL PLUMBING - SEE DETAIL 11/AD-103.
16. TYPICAL METERS - SEE DETAIL 11/AD-103.
17. EXCESS WINDOW SHALL BE INSTALLED PER DETAIL 11/AD-103.

## EXTERIOR ELEVATION - KEYNOTES

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| ELEVATION | FINISH         | FINISH         | FINISH     | FINISH     | FINISH     |
|-----------|----------------|----------------|------------|------------|------------|
| A         | 1/2" SAND FLAT | 1/2" SAND FLAT | WOOD GRAIN | WOOD GRAIN | WOOD GRAIN |
| B         | 1/2" SAND FLAT | 1/2" SAND FLAT | WOOD GRAIN | WOOD GRAIN | WOOD GRAIN |
| C         | 1/2" SAND FLAT | 1/2" SAND FLAT | WOOD GRAIN | WOOD GRAIN | WOOD GRAIN |
| D         | 1/2" SAND FLAT | 1/2" SAND FLAT | WOOD GRAIN | WOOD GRAIN | WOOD GRAIN |
| E         | 1/2" SAND FLAT | 1/2" SAND FLAT | WOOD GRAIN | WOOD GRAIN | WOOD GRAIN |



TYP. "A", "B" & "C" TRIM

## ROOF PLAN - GENERAL NOTES

1. REFER TO STANDARD ROOF PLAN FOR INFORMATION NOT SHOWN OR ACCORDANCE AND OPTIONAL ROOF PLAN.
2. ALL KEYNOTES, DETAILS AND DIMENSIONS ARE TYPICAL TO THIS CONSTRUCTION UNLESS OTHERWISE NOTED.
3. PROVIDE MINIMUM 24 GA. CORROSION RESISTANT METAL FLASHING AT ALL VALLEYS AND ROOF TO WALL CONNECTIONS.
4. ALL ROOF WALL AND FLASHING SHALL BE CORROSION RESISTANT NON-COMBUSTIBLE FIBER GLASS WITH 1/4" MINIMUM GAP (SEE DETAIL 11/AD-103).
5. REFER TO PLAN FINISHES FOR ALL ROOF FINISHES AND ELECTRICAL INSTALLATION FINISHES.
6. PROVIDE FLASHING AT ALL FLASHING TO WALL CONNECTIONS. SEE DETAIL 11/AD-103.
7. FLASHING TO WALL FLASHING - SEE DETAIL 11/AD-103.
8. FLASHING TO WALL FLASHING - SEE DETAIL 11/AD-103.
9. FLASHING TO WALL FLASHING - SEE DETAIL 11/AD-103.
10. FLASHING TO WALL FLASHING - SEE DETAIL 11/AD-103.

## ROOF PLAN - KEYNOTES

1. CORROSION RESISTANT METAL FLASHING - SEE DETAIL 11/AD-103.
2. CORROSION RESISTANT METAL FLASHING - SEE DETAIL 11/AD-103.
3. CORROSION RESISTANT METAL FLASHING - SEE DETAIL 11/AD-103.
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9. CORROSION RESISTANT METAL FLASHING - SEE DETAIL 11/AD-103.
10. CORROSION RESISTANT METAL FLASHING - SEE DETAIL 11/AD-103.

## ROOF FINISHES/DETAIL NOTES

| FINISHES | FINISHES | FINISHES | FINISHES | FINISHES | FINISHES |
|----------|----------|----------|----------|----------|----------|
| 1"       | 1"       | 1"       | 1"       | 1"       | 1"       |
| 2"       | 2"       | 2"       | 2"       | 2"       | 2"       |
| 3"       | 3"       | 3"       | 3"       | 3"       | 3"       |
| 4"       | 4"       | 4"       | 4"       | 4"       | 4"       |
| 5"       | 5"       | 5"       | 5"       | 5"       | 5"       |
| 6"       | 6"       | 6"       | 6"       | 6"       | 6"       |
| 7"       | 7"       | 7"       | 7"       | 7"       | 7"       |
| 8"       | 8"       | 8"       | 8"       | 8"       | 8"       |
| 9"       | 9"       | 9"       | 9"       | 9"       | 9"       |
| 10"      | 10"      | 10"      | 10"      | 10"      | 10"      |

VERIFY ALL ROOF FINISHES WITH APPROVED CONSULTING ENGINEER.

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Issue Date:  
mo/dd/yr  
Revision Date:



Project #:  
25027  
Sheet Name:  
"B" Elevations  
Sheet #:  
A3001-7





EXTERIOR ELEVATION - GENERAL NOTES

SCALE 1/4" = 1'-0"

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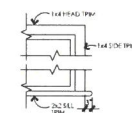
EXTERIOR ELEVATION - KEYNOTES

(SEE EXTERIOR ELEVATION FINISHES)

10. **COMPONENTS:**
- 1A. UNCOATED EXPANDED POLYURETHANE (EP) PLANK/TIMBER
  - 1B. UNCOATED EXPANDED POLYURETHANE (EP) PLANK/TIMBER
  - 1C. UNCOATED FINISHED POLYURETHANE (EP) PLANK/TIMBER
  - 1D. UNCOATED COATED EXPANDED POLYURETHANE (EP) PLANK/TIMBER
11. **MATERIALS:**
- 2A. COPPER/STAINLESS STEEL CORNERS
  - 2B. COPPER/STAINLESS STEEL CORNERS (UNFINISHED)
  - 2C. COPPER/STAINLESS STEEL CORNERS (PAINTED)
  - 2D. COPPER/STAINLESS STEEL CORNERS (UNFINISHED)
12. **TOOLS:**
- 3A. ACQUA PISTOLA - WATER PISTOL - WATER PISTOL (UNFINISHED) (UNFINISHED)
  - 3B. ACQUA PISTOLA - WATER PISTOL - WATER PISTOL (UNFINISHED)
  - 3C. ACQUA PISTOLA - WATER PISTOL - WATER PISTOL (UNFINISHED)
  - 3D. ACQUA PISTOLA - WATER PISTOL - WATER PISTOL (UNFINISHED)
13. **INSTALLATION:**
- 4A. UNCOATED POLYURETHANE (EP) PLANK/TIMBER ON PLANK/SHUTTER
  - 4B. UNCOATED POLYURETHANE (EP) PLANK/TIMBER ON PLANK/SHUTTER
  - 4C. UNCOATED POLYURETHANE (EP) PLANK/TIMBER ON PLANK/SHUTTER
  - 4D. UNCOATED POLYURETHANE (EP) PLANK/TIMBER ON PLANK/SHUTTER
  - 4E. UNCOATED POLYURETHANE (EP) PLANK/TIMBER ON PLANK/SHUTTER
  - 4F. UNCOATED POLYURETHANE (EP) PLANK/TIMBER ON PLANK/SHUTTER
  - 4G. UNCOATED POLYURETHANE (EP) PLANK/TIMBER ON PLANK/SHUTTER
  - 4H. UNCOATED POLYURETHANE (EP) PLANK/TIMBER ON PLANK/SHUTTER
  - 4I. UNCOATED POLYURETHANE (EP) PLANK/TIMBER ON PLANK/SHUTTER
  - 4J. UNCOATED POLYURETHANE (EP) PLANK/TIMBER ON PLANK/SHUTTER
  - 4K. UNCOATED POLYURETHANE (EP) PLANK/TIMBER ON PLANK/SHUTTER
  - 4L. UNCOATED POLYURETHANE (EP) PLANK/TIMBER ON PLANK/SHUTTER
  - 4M. UNCOATED POLYURETHANE (EP) PLANK/TIMBER ON PLANK/SHUTTER
  - 4N. UNCOATED POLYURETHANE (EP) PLANK/TIMBER ON PLANK/SHUTTER
  - 4O. UNCOATED POLYURETHANE (EP) PLANK/TIMBER ON PLANK/SHUTTER
  - 4P. UNCOATED POLYURETHANE (EP) PLANK/TIMBER ON PLANK/SHUTTER
  - 4Q. UNCOATED POLYURETHANE (EP) PLANK/TIMBER ON PLANK/SHUTTER
  - 4R. UNCOATED POLYURETHANE (EP) PLANK/TIMBER ON PLANK/SHUTTER
  - 4S. UNCOATED POLYURETHANE (EP) PLANK/TIMBER ON PLANK/SHUTTER
  - 4T. UNCOATED POLYURETHANE (EP) PLANK/TIMBER ON PLANK/SHUTTER
  - 4U. UNCOATED POLYURETHANE (EP) PLANK/TIMBER ON PLANK/SHUTTER
  - 4V. UNCOATED POLYURETHANE (EP) PLANK/TIMBER ON PLANK/SHUTTER
  - 4W. UNCOATED POLYURETHANE (EP) PLANK/TIMBER ON PLANK/SHUTTER
  - 4X. UNCOATED POLYURETHANE (EP) PLANK/TIMBER ON PLANK/SHUTTER
  - 4Y. UNCOATED POLYURETHANE (EP) PLANK/TIMBER ON PLANK/SHUTTER
  - 4Z. UNCOATED POLYURETHANE (EP) PLANK/TIMBER ON PLANK/SHUTTER
14. **MAINTENANCE & CARE:**
- 5A. CORRECT MAINTENANCE - KEEP POLYURETHANE (EP) PLANK/TIMBER
  - 5B. CORRECT MAINTENANCE - KEEP POLYURETHANE (EP) PLANK/TIMBER
  - 5C. CORRECT MAINTENANCE - KEEP POLYURETHANE (EP) PLANK/TIMBER
  - 5D. CORRECT MAINTENANCE - KEEP POLYURETHANE (EP) PLANK/TIMBER
  - 5E. CORRECT MAINTENANCE - KEEP POLYURETHANE (EP) PLANK/TIMBER
  - 5F. CORRECT MAINTENANCE - KEEP POLYURETHANE (EP) PLANK/TIMBER
  - 5G. CORRECT MAINTENANCE - KEEP POLYURETHANE (EP) PLANK/TIMBER
  - 5H. CORRECT MAINTENANCE - KEEP POLYURETHANE (EP) PLANK/TIMBER
  - 5I. CORRECT MAINTENANCE - KEEP POLYURETHANE (EP) PLANK/TIMBER
  - 5J. CORRECT MAINTENANCE - KEEP POLYURETHANE (EP) PLANK/TIMBER
  - 5K. CORRECT MAINTENANCE - KEEP POLYURETHANE (EP) PLANK/TIMBER
  - 5L. CORRECT MAINTENANCE - KEEP POLYURETHANE (EP) PLANK/TIMBER
  - 5M. CORRECT MAINTENANCE - KEEP POLYURETHANE (EP) PLANK/TIMBER
  - 5N. CORRECT MAINTENANCE - KEEP POLYURETHANE (EP) PLANK/TIMBER
  - 5O. CORRECT MAINTENANCE - KEEP POLYURETHANE (EP) PLANK/TIMBER
  - 5P. CORRECT MAINTENANCE - KEEP POLYURETHANE (EP) PLANK/TIMBER
  - 5Q. CORRECT MAINTENANCE - KEEP POLYURETHANE (EP) PLANK/TIMBER
  - 5R. CORRECT MAINTENANCE - KEEP POLYURETHANE (EP) PLANK/TIMBER
  - 5S. CORRECT MAINTENANCE - KEEP POLYURETHANE (EP) PLANK/TIMBER
  - 5T. CORRECT MAINTENANCE - KEEP POLYURETHANE (EP) PLANK/TIMBER
  - 5U. CORRECT MAINTENANCE - KEEP POLYURETHANE (EP) PLANK/TIMBER
  - 5V. CORRECT MAINTENANCE - KEEP POLYURETHANE (EP) PLANK/TIMBER
  - 5W. CORRECT MAINTENANCE - KEEP POLYURETHANE (EP) PLANK/TIMBER
  - 5X. CORRECT MAINTENANCE - KEEP POLYURETHANE (EP) PLANK/TIMBER
  - 5Y. CORRECT MAINTENANCE - KEEP POLYURETHANE (EP) PLANK/TIMBER
  - 5Z. CORRECT MAINTENANCE - KEEP POLYURETHANE (EP) PLANK/TIMBER

### EXTERIOR ELEVATION FINISHES

| LEVEL | WOOD GRAIN | WOOD GRAIN | WOOD GRAIN | WOOD GRAIN | WOOD GRAIN |
|-------|------------|------------|------------|------------|------------|
| A     | WOOD GRAIN | WOOD GRAIN | WOOD GRAIN | WOOD GRAIN | WOOD GRAIN |
| B     | WOOD GRAIN | WOOD GRAIN | WOOD GRAIN | WOOD GRAIN | WOOD GRAIN |
| C     | WOOD GRAIN | WOOD GRAIN | WOOD GRAIN | WOOD GRAIN | WOOD GRAIN |
| D     | WOOD GRAIN | WOOD GRAIN | WOOD GRAIN | WOOD GRAIN | WOOD GRAIN |
| E     | WOOD GRAIN | WOOD GRAIN | WOOD GRAIN | WOOD GRAIN | WOOD GRAIN |



TYP. "A", "B" &amp; "C" TRIM

- TYPICAL WINDOW - SEE DETAIL 4/F4D.105
- TYPICAL RECESSED WINDOW - SEE DETAIL 15/A4D.105
- TYPICAL DOOR - SEE DETAIL 10/A4D.104
- TYPICAL SLIDING GLASS DOOR - SEE DETAIL 12/A4D.104
- TYPICAL GARAGE DOOR - SEE DETAIL 14 A & 14/A4D.104

ROOF PLAN - GENERAL NOTES

SCALE 1/8" = 1'-0"

1. REFER TO STANDARD 2D-1, PLANTING AND LANDSCAPE NOT SHOWN OR ADDITIONAL PLANS.
2. ALL ELEVATIONS, DETAILS AND DIMENSIONS ARE TYPICAL UNLESS OTHERWISE SPECIFIED.
3. PROVIDE MINIMUM 2" AIR SPACE COMPOSITION RESISTANT METAL FLASHINGS AT ALL VALLEYS AND ROOF TO WALL JOINTS.
4. ALL ROOF, WALL AND FENCE SYSTEMS SHALL BE SUFFICIENT WITH CORROSION RESISTANT NON COMPOSITE REINFORCING BARS AND 1/2" MINIMUM THICKNESS CORRUGATED METAL FLASHING.
5. REFER TO SOLAR PANELS FOR ALL SOLAR PANELS AND ELECTRICAL INSTALLATION REQUIREMENTS.
6. PROVIDE CEMENT FLASHING AT ALL FLASHING TO WALL TERMINATIONS - SEE DETAIL F&D 103.
7. PRIOR TO WALL FLASHING, SEE DETAIL 2-102.
8. ATPEC F&D 101 - SEE DETAIL 4-102 102.
9. PREVENT PENETRATIONS - SEE DETAIL 11-102 11-102.

ROOF PLAN - KEYNOTES

- 2 CORROSION RESISTANT GUTTER AND DOWNSPOUTS - DRAIN TO CONC. FLATWORK / SPLASH BLOCK

ROOF FINISHES/ DETAIL NOTES

| ELEVATION | ROOF TYPE    | DE'AL    | PASCU UNCL | BAL'G UNCL | ROOF COVER-AN | N. N. |
|-----------|--------------|----------|------------|------------|---------------|-------|
|           |              |          |            |            | TYPE          | RATE  |
| "A"       | COMP SHINGLE | 4 AD 101 | 266        | 266        | 6"            | 6"    |
| "B"       | COMP SHINGLE | 4 AD 101 | 266        | 266        | 6"            | 6"    |
| "C"       | COMP SHINGLE | 4 AD 101 | 266        | 266        | 6"            | 6"    |
| "D"       | COMP SHINGLE | 4 AD 101 | 266        | 266        | 6"            | 6"    |
| "E"       | COMP SHINGLE | 4 AC 101 | 266        | 268        | 6"            | 6"    |

VERIFY ALL ROOF FINISHES WITH APPROVED COLOR SCHEMES.

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TREASURES AT LOS PRADOS

Tract No. XX  
Doubtful CA

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Issue Date:  
mo/dd/yr  
Revision Date:



Project #:  
25027

Sheet Name:  
C" Elevations and  
Roof Plan

Sheet #:

A3001-8

Mar. 9/96 A 300-# ring  
Plus Contact box 27. 300



EXTERIOR ELEVATION - GENERAL NOTES

- [illegible]

EXTERIOR ELEVATION - KEYNOTES

1. **ENTRY 3 FINISHES**
- (A) STUCCO OVER EXPANDED POLYSTYRENE (E.P.S.) FOAM TRIM
- (B) DECORATIVE COATED GABLE END VENT
- (C) STUCCO FINISHED PROTECTED WARRIOR
- (D) STUCCO OVER EXPANDED POLYSTYRENE FOAM CORE

2. METALS
- |    |                                           |
|----|-------------------------------------------|
| 2A | CORROSION RESISTANT METAL CRACKET         |
| 2B | CORROSION RESISTANT METAL LOUVER/VEH      |
| 2C | CORROSION RESISTANT METAL SADDLE PLASIN'S |
| 2D | CORROSION RESISTANT METAL COVER/JOINT     |

3. WOOD
- 3A. WOOD FASCIA - LARGE BOARD - REFER TO ROOF FINISH DETAIL NOTES U.N.O.
- 3B. WOOD TRIM
- 3C. WOOD POST
- 3D. WOOD NEWEL POST
4. SIMULATED WOOD

- 43 UNGLAZED WOOD  
44 MOLDED POLYURETHANE OR HIGH DENSITY P.S. FOAM PANEL ON FOAM SHUTTER  
45 CEMENTITIOUS FIBER TRIM  
46 CEMENTITIOUS FIBER TRIM AP SING  
47 CEMENTITIOUS FIBER SHIM SING  
48 CEMENTITIOUS FIBER VERTICAL BATTENS AT 12" O.C. OVER CEMENTITIOUS FIBER PANEL SING  
49 MOLDED POLYURETHANE OR HIGH DENSITY P.S. FOAM TRIM

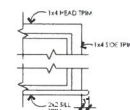
5. MASONRY & CONCRETE

6. SPECIALTIES
- 6A. FALSE CLAY PIPE VENT - SEE DETAIL 9/AD-1
- 6B. OPTIONAL DOOR/ WINDOW - SEE FLOOR PLANS

### EXTERIOR ELEVATION FINISHES

| REACTANT | ST-COPIR         | ST-COPIR/COPIR-FINISH | IMBILATED WOOD SINGING | IMBILATED WOOD TRIM COPIR-FINISH | 1 <sup>ST</sup> FIN. |
|----------|------------------|-----------------------|------------------------|----------------------------------|----------------------|
| A        | 16.20 SAND FLOAT | 16.20 SAND FLOAT      | WOOD GRAIN             | WOOD GRAIN                       |                      |
| B        | 16.20 SAND FLOAT | 16.20 SAND FLOAT      | WOOD GRAIN             | WOOD GRAIN                       |                      |
| C        | 16.20 SAND FLOAT | 16.20 SAND FLOAT      | WOOD GRAIN             | WOOD GRAIN                       |                      |
| D        | 16.20 SAND FLOAT | 16.20 SAND FLOAT      | WOOD GRAIN             | WOOD GRAIN                       |                      |
| E        | 16.20 SAND FLOAT | 16.20 SAND FLOAT      | WOOD GRAIN             | WOOD GRAIN                       |                      |

WINDOWS, REFER TO COLOR SCHEMES



TYP. "A", "B" &amp; "C" TRIM

- TYPICAL WINDOW - SEE DETAIL 4/AD.105
- TYPICAL RECESSED WINDOW - SEE DETAIL 15/AD.105
- TYPICAL DOOR - SEE DETAIL 10/AD.104
- TYPICAL SLIDING GLASS DOOR - SEE DETAIL 12/AD.104
- TYPICAL GARAGE DOOR - SEE DETAIL 14 & 16/AD.104

ROOF PLAN - GENERAL NOTES

3. FIBER TO STANDARD DETAIL AND OVERLAP WITH INSULATION NOT SHOWN ON ADDENDUM E, SEE PLANS  
4. ALL EXISTING DETAILS AND OVERLAPS ARE TO REMAIN UNLESS OTHERWISE NOTED ON THE DRAWING  
5. PROVIDE MINIMUM 3/4" C. CORROSION RESISTANT METAL FLASHING AT ALL VALLEYS AND ROOF TO WALL  
CORNECTIONS  
6. ALL ROOF, WALL AND EXISTING DETAILS ARE TO BE PROTECTED WITH CORROSION RESISTANT NON-CUMULATIVE FIBER  
GLASS FABRIC 1/4" MINIMUM THICKNESS OVERLAPS  
7. FIBER TO FLASH PLANS FOR ALL SOLAR PANEL AND ELECTRICAL METALLIZATION OVERLAPS  
8. PROVIDE EXISTING FLASHING AT ALL FLASH TO WALL TERMINATIONS. SEE DETAIL F AND J22  
9. R/P TO FLASH FLASHING. SEE DETAIL J AND J22  
10. ATFC F A U. SEE DETAIL A10 AND J22  
11. PIPE VENT PENETRATIONS. SEE DETAIL I1 AND J22

ROOF PLAN - KEYNOTES

1. CORROSION RESISTANT METAL GUTTER - SEE DETAIL 3/AD.102  
2. CORROSION RESISTANT GUTTER AND DOWNSPOUTS - DRAIN TO CONC. FLATWORK / SPLASH BLOC

ROOF FINISHES/ DETAIL NOTES

| REVISION | DESCRIPTION   | DATE   | FASCO UNO | FASCO TWO | FASCO THREE |      |
|----------|---------------|--------|-----------|-----------|-------------|------|
|          |               |        |           |           | DATE        | NAME |
| "A"      | COMP. SHINGLE | 4/4/01 | 268       | 268       | "S"         | "S"  |
| "B"      | COMP. SHINGLE | 4/4/01 | 268       | 268       | "S"         | "S"  |
| "C"      | COMP. SHINGLE | 4/4/01 | 268       | 268       | "S"         | "S"  |
| "D"      | COMP. SHINGLE | 4/4/01 | 268       | 268       | "S"         | "S"  |
| "E"      | COMP. SHINGLE | 4/4/01 | 268       | 268       | "S"         | "S"  |

VERIFY ALL RECOAT FINISHES WITH APPROVED COLOR SCHEMES

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**TREASURES AT LOS PRADOS**

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Tract No. XX  
Denton, CA

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Issue Date: \_\_\_\_\_  
mo/dd/yr  
Revision Date: \_\_\_\_\_



|             |                |
|-------------|----------------|
| Project #:  | 25027          |
| Sheet Name: | "C" Elevations |

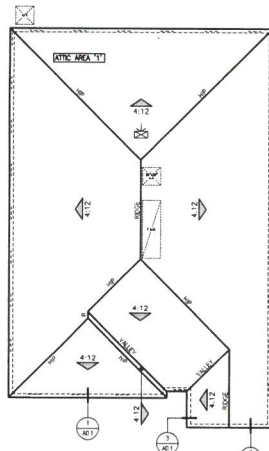
Sheet #:  
A3001-9

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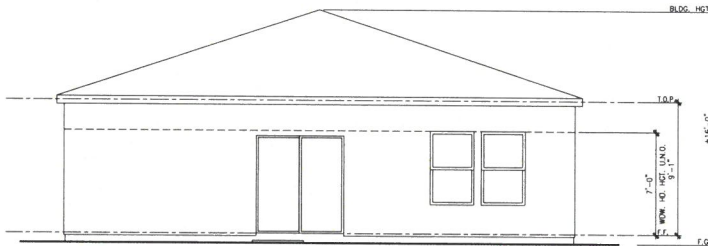
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"D" FRONT ELEVATION



"D" ROOF PLAN



"D" REAR ELEVATION

# EXTERIOR ELEVATION - GENERAL NOTES

SCALE: 1/4" = 1'-0"

1. REFER TO STANDARD ELEVATION FOR INFORMATION NOT SHOWN ON ATTACHED AND OPTIONAL ELEVATIONS.
2. ALL KEYNOTES, DETAILS AND DIMENSIONS ARE TYPICAL TO THIS CONSTRUCTION OF FINISH ELEVATION.
3. TYPICAL FINISH PLASTER (U.S. G.I. WATERPROOFING) SHALL BE INSTALLED AS REQUIRED IN SECTION 1000 AND 1000.00. FINISH PLASTER SHALL BE INSTALLED AS REQUIRED IN SECTION 1000.00. FINISH PLASTER SHALL BE INSTALLED AS REQUIRED IN SECTION 1000.00. FINISH PLASTER SHALL BE INSTALLED AS REQUIRED IN SECTION 1000.00.
4. ALL ITEMS SHOWN DASHED SHALL OCCUR AT LOCATIONS REQUIRING ENHANCEMENTS (U.S. G.I. WATERPROOFING).
5. WHERE A WINDOW IS ADJACENT TO A DOOR THE WINDOW HEADER SHALL ALIGN WITH THE DOOR HEADER.
6. ALL EXPOSED ROOFING SHALL BE CORNERED TO HAVE HIDDEN HARDWARE AND CORNER JOINTS (U.S. G.I. WATERPROOFING).
7. ROOF AND EXTERIOR FINISHES SHALL BE INSTALLED AS REQUIRED IN SECTION 1000.00.
8. SHUTTER BACKING: SEE DETAIL 1 AND 100.
9. TYPICAL FOUR HANDLES: SEE DETAIL 1 AND 100.
10. TYPICAL SILLING: SEE DETAIL 1 AND 100.
11. TYPICAL STUCCO OUTSIDE CORNER: SEE DETAIL 1 AND 100.
12. TYPICAL LAP JOINTS: SHIMMERING OR PANEL JOINTS OUTSIDE CORNER: SEE DETAIL 1 AND 100.
13. TYPICAL LAP JOINTS: SHIMMERING OR PANEL JOINTS INSIDE CORNER: SEE DETAIL 1 AND 100.
14. WINDOW IRON ATTACHED: SEE DETAIL 1 AND 100.
15. TYPICAL ROOF TO WALL: SEE DETAIL 1 AND 100.
16. TYPICAL WINDOW: SEE DETAIL 1 AND 100.
17. TYPICAL WINDOW: SEE DETAIL 1 AND 100.

## EXTERIOR ELEVATION - KEYNOTES

(SEE EXTERIOR ELEVATION FINISHES)

1. STUCCO OVER EXPANDED POLYSTYRENE (EPS) FOAM TRIM
2. STUCCO OVER EXPANDED POLYSTYRENE (EPS) FOAM TRIM
3. STUCCO OVER EXPANDED POLYSTYRENE (EPS) FOAM TRIM
4. STUCCO OVER EXPANDED POLYSTYRENE (EPS) FOAM TRIM
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11. STUCCO OVER EXPANDED POLYSTYRENE (EPS) FOAM TRIM
12. STUCCO OVER EXPANDED POLYSTYRENE (EPS) FOAM TRIM
13. STUCCO OVER EXPANDED POLYSTYRENE (EPS) FOAM TRIM
14. STUCCO OVER EXPANDED POLYSTYRENE (EPS) FOAM TRIM
15. STUCCO OVER EXPANDED POLYSTYRENE (EPS) FOAM TRIM
16. STUCCO OVER EXPANDED POLYSTYRENE (EPS) FOAM TRIM
17. STUCCO OVER EXPANDED POLYSTYRENE (EPS) FOAM TRIM

1. STUCCO OVER EXPANDED POLYSTYRENE (EPS) FOAM TRIM
2. STUCCO OVER EXPANDED POLYSTYRENE (EPS) FOAM TRIM
3. STUCCO OVER EXPANDED POLYSTYRENE (EPS) FOAM TRIM
4. STUCCO OVER EXPANDED POLYSTYRENE (EPS) FOAM TRIM
5. STUCCO OVER EXPANDED POLYSTYRENE (EPS) FOAM TRIM
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11. STUCCO OVER EXPANDED POLYSTYRENE (EPS) FOAM TRIM
12. STUCCO OVER EXPANDED POLYSTYRENE (EPS) FOAM TRIM
13. STUCCO OVER EXPANDED POLYSTYRENE (EPS) FOAM TRIM
14. STUCCO OVER EXPANDED POLYSTYRENE (EPS) FOAM TRIM
15. STUCCO OVER EXPANDED POLYSTYRENE (EPS) FOAM TRIM
16. STUCCO OVER EXPANDED POLYSTYRENE (EPS) FOAM TRIM
17. STUCCO OVER EXPANDED POLYSTYRENE (EPS) FOAM TRIM

| ELEVATION | FINISHES        | FINISHES        | FINISHES        | FINISHES        | FINISHES        |
|-----------|-----------------|-----------------|-----------------|-----------------|-----------------|
| "A"       | 1/2" SAND/SLATE | 1/2" SAND/SLATE | 1/2" SAND/SLATE | 1/2" SAND/SLATE | 1/2" SAND/SLATE |
| "B"       | 1/2" SAND/SLATE | 1/2" SAND/SLATE | 1/2" SAND/SLATE | 1/2" SAND/SLATE | 1/2" SAND/SLATE |
| "C"       | 1/2" SAND/SLATE | 1/2" SAND/SLATE | 1/2" SAND/SLATE | 1/2" SAND/SLATE | 1/2" SAND/SLATE |
| "D"       | 1/2" SAND/SLATE | 1/2" SAND/SLATE | 1/2" SAND/SLATE | 1/2" SAND/SLATE | 1/2" SAND/SLATE |
| "E"       | 1/2" SAND/SLATE | 1/2" SAND/SLATE | 1/2" SAND/SLATE | 1/2" SAND/SLATE | 1/2" SAND/SLATE |

FINISHES: REFER TO COLOR SCHEMES



TYP. "A", "B" & "C" TRIM

## ROOF PLAN - GENERAL NOTES

SCALE: 1/4" = 1'-0"

1. REFER TO STANDARD ROOF PLAN FOR INFORMATION NOT SHOWN ON ATTACHED ROOF PLANS.
2. ALL KEYNOTES, DETAILS AND DIMENSIONS ARE TYPICAL TO THIS CONSTRUCTION OF FINISH ELEVATION.
3. PROVIDE DRAINAGE TO EXTERIOR. CORROSION RESISTANT METAL FLASHING AT ALL WALLS AND ROOF TO WALL CONNECTIONS.
4. ALL ROOF, WALL AND FLOOR FINISHES SHALL BE SUPPLIED WITH CORROSION RESISTANT NON-CONDUCTIVE FIBER (FIBERGLASS) WITH OPENINGS.
5. REFER TO LOCAL PLANS FOR ALL SQUARE PANELS AND ELECTRICAL INSTALLATION INSTRUCTIONS.
6. PROVIDE FLASHING FLASHING AT ALL WALL TO WALL TERMINATIONS: SEE DETAIL 1 AND 100.
7. FLASH TO WALL FLASHING: SEE DETAIL 2 AND 100.
8. FLASH TO WALL FLASHING: SEE DETAIL 2 AND 100.
9. FLASH TO WALL FLASHING: SEE DETAIL 2 AND 100.
10. FLASH TO WALL FLASHING: SEE DETAIL 2 AND 100.

## ROOF PLAN - KEYNOTES

1. CORROSION RESISTANT METAL FLASHING: SEE DETAIL 2 AND 100.
2. CORROSION RESISTANT METAL FLASHING: SEE DETAIL 2 AND 100.
3. CORROSION RESISTANT METAL FLASHING: SEE DETAIL 2 AND 100.
4. CORROSION RESISTANT METAL FLASHING: SEE DETAIL 2 AND 100.
5. CORROSION RESISTANT METAL FLASHING: SEE DETAIL 2 AND 100.
6. CORROSION RESISTANT METAL FLASHING: SEE DETAIL 2 AND 100.
7. CORROSION RESISTANT METAL FLASHING: SEE DETAIL 2 AND 100.
8. CORROSION RESISTANT METAL FLASHING: SEE DETAIL 2 AND 100.
9. CORROSION RESISTANT METAL FLASHING: SEE DETAIL 2 AND 100.
10. CORROSION RESISTANT METAL FLASHING: SEE DETAIL 2 AND 100.

| ELEVATION | FINISHES        | FINISHES        | FINISHES        | FINISHES        | FINISHES        |
|-----------|-----------------|-----------------|-----------------|-----------------|-----------------|
| "A"       | 1/2" SAND/SLATE | 1/2" SAND/SLATE | 1/2" SAND/SLATE | 1/2" SAND/SLATE | 1/2" SAND/SLATE |
| "B"       | 1/2" SAND/SLATE | 1/2" SAND/SLATE | 1/2" SAND/SLATE | 1/2" SAND/SLATE | 1/2" SAND/SLATE |
| "C"       | 1/2" SAND/SLATE | 1/2" SAND/SLATE | 1/2" SAND/SLATE | 1/2" SAND/SLATE | 1/2" SAND/SLATE |
| "D"       | 1/2" SAND/SLATE | 1/2" SAND/SLATE | 1/2" SAND/SLATE | 1/2" SAND/SLATE | 1/2" SAND/SLATE |
| "E"       | 1/2" SAND/SLATE | 1/2" SAND/SLATE | 1/2" SAND/SLATE | 1/2" SAND/SLATE | 1/2" SAND/SLATE |

VERIFIED ALL ROOF FINISHES IN THIS NOTE: REFER TO LOCAL PLANS

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Phone: (559) 297-6571

**TREASURES AT LOS PRADOS**  
Tract No. XX  
Dinuba, CA

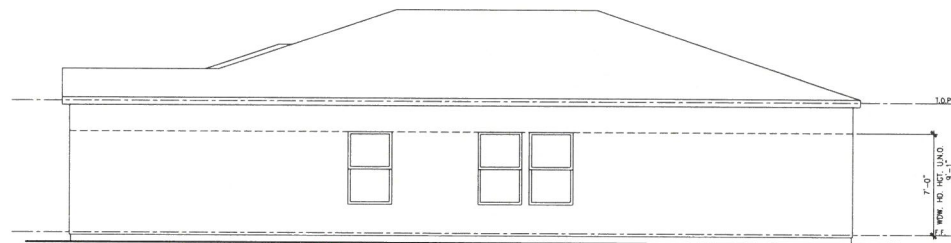
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www.klcaarch.com

Issue Date:  
mo/dd/yr  
Revision Date:

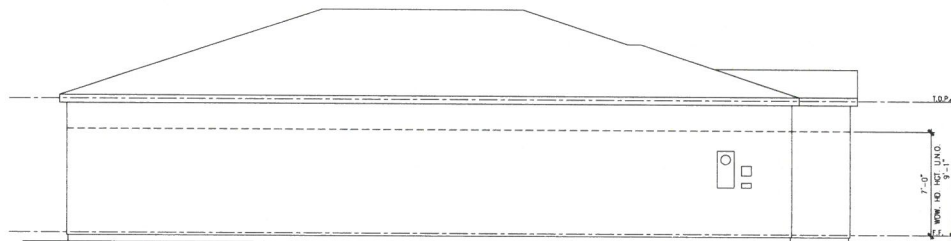
**KEVIN L. CROOK**  
ARCHITECT  
NO. C 15541  
REN. 9-30-25  
STATE OF CALIFORNIA

Project #:  
25027  
Sheet Name:  
"D" Elevations and  
Roof Plan  
Sheet #:

A3001-1C



"D" RIGHT ELEVATION



"D" LEFT ELEVATION

# EXTERIOR ELEVATION - GENERAL NOTES

SCALE 1/8" = 1'-0"

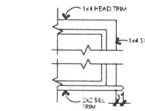
1. REFER TO STANDARD ELEVATIONS FOR INFORMATION NOT SHOWN OR ADDITIONAL AND OPTIONAL DETAILS.
2. ALL KEYNOTE DETAILS AND DIMENSIONS ARE TYPICAL TO THIS ELEVATION UNLESS OTHERWISE NOTED.
3. TYPICAL FINISHES, MATERIALS, AND DIMENSIONS SHALL BE TYPICAL TO THIS ELEVATION UNLESS OTHERWISE NOTED. WHERE APPROPRIATE, REFER TO THE FINISHES, MATERIALS, AND DIMENSIONS SCHEDULE FOR MORE INFORMATION. THE FINISHES, MATERIALS, AND DIMENSIONS SCHEDULE SHALL BE USED TO DETERMINE THE FINISHES, MATERIALS, AND DIMENSIONS TO BE USED FOR THIS ELEVATION. THE FINISHES, MATERIALS, AND DIMENSIONS SCHEDULE SHALL BE USED TO DETERMINE THE FINISHES, MATERIALS, AND DIMENSIONS TO BE USED FOR THIS ELEVATION. THE FINISHES, MATERIALS, AND DIMENSIONS SCHEDULE SHALL BE USED TO DETERMINE THE FINISHES, MATERIALS, AND DIMENSIONS TO BE USED FOR THIS ELEVATION.
4. ALL FINISHES SHOWN SHALL BE USED TO DETERMINE THE FINISHES, MATERIALS, AND DIMENSIONS TO BE USED FOR THIS ELEVATION.
5. WHERE A WINDOW IS SHOWN TO BE A WINDOW, THE WINDOW SHALL BE USED TO DETERMINE THE FINISHES, MATERIALS, AND DIMENSIONS TO BE USED FOR THIS ELEVATION.
6. ALL EXTERIOR WALLS SHALL BE USED TO DETERMINE THE FINISHES, MATERIALS, AND DIMENSIONS TO BE USED FOR THIS ELEVATION.
7. REFER TO THE FINISHES, MATERIALS, AND DIMENSIONS SCHEDULE FOR MORE INFORMATION.
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17. REFER TO THE FINISHES, MATERIALS, AND DIMENSIONS SCHEDULE FOR MORE INFORMATION.

## EXTERIOR ELEVATION - KEYNOTES

(SEE EXTERIOR ELEVATION FINISHES)

| KEYNOTE                                | FINISHES |
|----------------------------------------|----------|
| 1. CORROSION RESISTANT METAL CHIMNEY   |          |
| 2. CORROSION RESISTANT METAL CHIMNEY   |          |
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| 93. CORROSION RESISTANT METAL CHIMNEY  |          |
| 94. CORROSION RESISTANT METAL CHIMNEY  |          |
| 95. CORROSION RESISTANT METAL CHIMNEY  |          |
| 96. CORROSION RESISTANT METAL CHIMNEY  |          |
| 97. CORROSION RESISTANT METAL CHIMNEY  |          |
| 98. CORROSION RESISTANT METAL CHIMNEY  |          |
| 99. CORROSION RESISTANT METAL CHIMNEY  |          |
| 100. CORROSION RESISTANT METAL CHIMNEY |          |

FINISHES: REFER TO FINISHES SCHEDULE



TYP. "A", "B" & "C" TRIM

## ROOF PLAN - GENERAL NOTES

SCALE 1/8" = 1'-0"

1. REFER TO STANDARD ROOF PLAN FOR INFORMATION NOT SHOWN OR ADDITIONAL DETAILS.
2. ALL KEYNOTE DETAILS AND DIMENSIONS ARE TYPICAL TO THIS ROOF PLAN UNLESS OTHERWISE NOTED.
3. PROVIDE APPROPRIATE CORROSION RESISTANT METAL FLASHING AT ALL WALLS AND ROOF TO WALL CONNECTIONS.
4. ALL ROOF WALL AND FLASHING SHALL BE SUPPLIED WITH CORROSION RESISTANT NON-CONDUCTIBLE WIRE FLASHING WITH 1/4" MINIMUM WIRE SPACING.
5. REFER TO FINISHES, MATERIALS, AND DIMENSIONS SCHEDULE FOR MORE INFORMATION.
6. PROVIDE FLASHING AT ALL FLASHING TO WALL CONNECTIONS. SEE DETAIL 14 & 15.
7. REFER TO WALL FLASHING. SEE DETAIL 14 & 15.
8. REFER TO WALL FLASHING. SEE DETAIL 14 & 15.
9. REFER TO WALL FLASHING. SEE DETAIL 14 & 15.
10. REFER TO WALL FLASHING. SEE DETAIL 14 & 15.

## ROOF PLAN - KEYNOTES

1. CORROSION RESISTANT METAL CHIMNEY. SEE DETAIL 14 & 15.
2. CORROSION RESISTANT METAL CHIMNEY. SEE DETAIL 14 & 15.

## ROOF FINISHES/DETAIL NOTES

| KEYNOTE | FINISHES      | DETAIL   | FINISHES | DETAIL        | FINISHES | DETAIL | FINISHES      | DETAIL   |
|---------|---------------|----------|----------|---------------|----------|--------|---------------|----------|
| 1       | COMP. SHINGLE | 4" x 12" | 2        | COMP. SHINGLE | 4" x 12" | 3      | COMP. SHINGLE | 4" x 12" |
| 4       | COMP. SHINGLE | 4" x 12" | 5        | COMP. SHINGLE | 4" x 12" | 6      | COMP. SHINGLE | 4" x 12" |
| 7       | COMP. SHINGLE | 4" x 12" | 8        | COMP. SHINGLE | 4" x 12" | 9      | COMP. SHINGLE | 4" x 12" |
| 10      | COMP. SHINGLE | 4" x 12" | 11       | COMP. SHINGLE | 4" x 12" | 12     | COMP. SHINGLE | 4" x 12" |
| 13      | COMP. SHINGLE | 4" x 12" | 14       | COMP. SHINGLE | 4" x 12" | 15     | COMP. SHINGLE | 4" x 12" |

VERIFY ALL ROOF FINISHES WITH APPROVED LOCAL P.E. (MEMBER)

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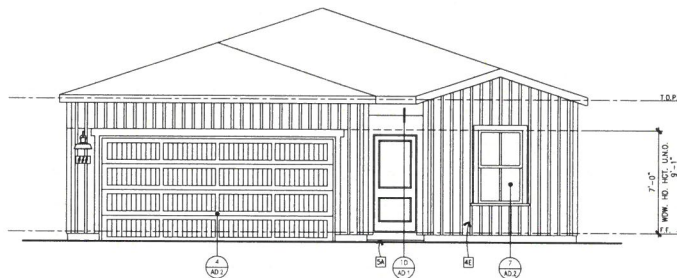
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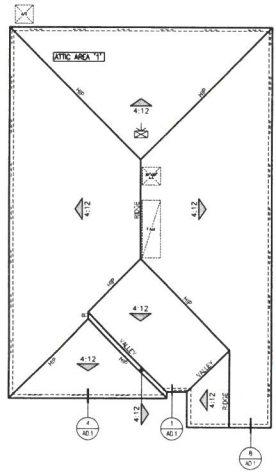
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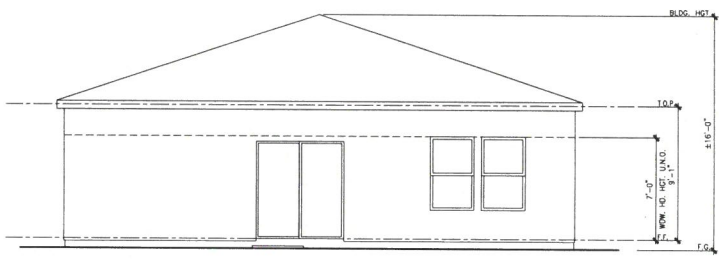




"E" FRONT ELEVATION



"E" ROOF PLAN



"E" REAR ELEVATION

EXTERIOR ELEVATION - GENERAL NOTES

1. REFER TO STANDARD ELEVATIONS FOR INFORMATION NOT SHOWN ON ARCHITECTURAL ELEVATIONS.
2. ALL KEYNOTES, DETAILS AND DIMENSIONS ARE TYPICAL TO THIS CONSTRUCTION.
3. FATHER PAPER: IN ADDITION TO THE STANDARD PAPER, THE ARCHITECT SHALL PROVIDE A WATER RESISTANT BARRIER (WRB) DETAIL FOR THE ROOF. THE WRB SHALL BE APPLIED OVER THE ROOF DECK AND SHALL BE ADHERED TO THE ROOF DECK. THE WRB SHALL BE APPLIED TO THE ROOF DECK AND SHALL BE ADHERED TO THE ROOF DECK. THE WRB SHALL BE APPLIED TO THE ROOF DECK AND SHALL BE ADHERED TO THE ROOF DECK.
4. ALL FINISHES SHOWN SHALL OCCUR AT THE TIME OF CONSTRUCTION.
5. WHEN A WINDOW IS ADJACENT TO A DOOR, THE WINDOW SHALL BE ADHERED TO THE DOOR FRAME.
6. ALL EXPOSED ROOFING SHALL BE ADHERED TO THE ROOF DECK.
7. PIPE AND JOINT PENETRATIONS: SEE DETAIL 104.
8. SHUTTER BACKING: SEE DETAIL 103.
9. FATHER PAPER: IN ADDITION TO THE STANDARD PAPER, THE ARCHITECT SHALL PROVIDE A WATER RESISTANT BARRIER (WRB) DETAIL FOR THE ROOF. THE WRB SHALL BE APPLIED OVER THE ROOF DECK AND SHALL BE ADHERED TO THE ROOF DECK. THE WRB SHALL BE APPLIED TO THE ROOF DECK AND SHALL BE ADHERED TO THE ROOF DECK.
10. TYPICAL SCHED: SEE DETAIL 104.
11. TYPICAL STUCCO DETAIL: SEE DETAIL 103.
12. TYPICAL LAP JOINT: SEE DETAIL 103.
13. TYPICAL LAP JOINT: SEE DETAIL 103.
14. WINDOW SHOWN AT ATTACHED: SEE DETAIL 103.
15. TYPICAL ROOF: SEE DETAIL 103.
16. FINISHES: SEE DETAIL 103.
17. FINISHES: SEE DETAIL 103.

EXTERIOR ELEVATION - KEYNOTES

1. FINISHES: SEE DETAIL 103.
2. FINISHES: SEE DETAIL 103.
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99. FINISHES: SEE DETAIL 103.
100. FINISHES: SEE DETAIL 103.

| ELEVATION | STUCCO FINISH  | STUCCO FINISH  | STUCCO FINISH  | STUCCO FINISH  | STUCCO FINISH  | STUCCO FINISH  |
|-----------|----------------|----------------|----------------|----------------|----------------|----------------|
| A         | 1/2" SAND/FLAT | 1/2" SAND/FLAT | 1/2" SAND/FLAT | 1/2" SAND/FLAT | 1/2" SAND/FLAT | 1/2" SAND/FLAT |
| B         | 1/2" SAND/FLAT | 1/2" SAND/FLAT | 1/2" SAND/FLAT | 1/2" SAND/FLAT | 1/2" SAND/FLAT | 1/2" SAND/FLAT |
| C         | 1/2" SAND/FLAT | 1/2" SAND/FLAT | 1/2" SAND/FLAT | 1/2" SAND/FLAT | 1/2" SAND/FLAT | 1/2" SAND/FLAT |
| D         | 1/2" SAND/FLAT | 1/2" SAND/FLAT | 1/2" SAND/FLAT | 1/2" SAND/FLAT | 1/2" SAND/FLAT | 1/2" SAND/FLAT |
| E         | 1/2" SAND/FLAT | 1/2" SAND/FLAT | 1/2" SAND/FLAT | 1/2" SAND/FLAT | 1/2" SAND/FLAT | 1/2" SAND/FLAT |



TYP. "A", "B" & "C" TRIM

ROOF PLAN - GENERAL NOTES

1. REFER TO STANDARD ELEVATIONS FOR INFORMATION NOT SHOWN ON ARCHITECTURAL ELEVATIONS.
2. ALL KEYNOTES, DETAILS AND DIMENSIONS ARE TYPICAL TO THIS CONSTRUCTION.
3. PROVIDE MINIMUM 24 GA. CORRUGATED METAL FLASHING AT ALL VALLEYS AND ROOF TO WALL CONNECTIONS.
4. ALL ROOF WALL AND FLASHING SHALL BE SUPPORTED WITH CORRUGATED METAL FLASHING WITH 1/4" MAXIMUM WITH CORRUGATIONS.
5. REFER TO FATHER PAPER FOR INFORMATION NOT SHOWN ON ARCHITECTURAL ELEVATIONS.
6. PROVIDE 1/4" CUT FLASHING AT ALL FLASHING TO WALL TERMINATIONS: SEE DETAIL 103.
7. FLASHING TO WALL FLASHING: SEE DETAIL 103.
8. FLASHING TO WALL FLASHING: SEE DETAIL 103.
9. FLASHING TO WALL FLASHING: SEE DETAIL 103.
10. FLASHING TO WALL FLASHING: SEE DETAIL 103.

ROOF PLAN - KEYNOTES

1. CORRUGATED METAL FLASHING: SEE DETAIL 103.
2. CORRUGATED METAL FLASHING: SEE DETAIL 103.

ROOF FINISHES/DETAIL NOTES

| ELEVATION | STUCCO FINISH  | STUCCO FINISH  | STUCCO FINISH  | STUCCO FINISH  | STUCCO FINISH  | STUCCO FINISH  |
|-----------|----------------|----------------|----------------|----------------|----------------|----------------|
| A         | 1/2" SAND/FLAT | 1/2" SAND/FLAT | 1/2" SAND/FLAT | 1/2" SAND/FLAT | 1/2" SAND/FLAT | 1/2" SAND/FLAT |
| B         | 1/2" SAND/FLAT | 1/2" SAND/FLAT | 1/2" SAND/FLAT | 1/2" SAND/FLAT | 1/2" SAND/FLAT | 1/2" SAND/FLAT |
| C         | 1/2" SAND/FLAT | 1/2" SAND/FLAT | 1/2" SAND/FLAT | 1/2" SAND/FLAT | 1/2" SAND/FLAT | 1/2" SAND/FLAT |
| D         | 1/2" SAND/FLAT | 1/2" SAND/FLAT | 1/2" SAND/FLAT | 1/2" SAND/FLAT | 1/2" SAND/FLAT | 1/2" SAND/FLAT |
| E         | 1/2" SAND/FLAT | 1/2" SAND/FLAT | 1/2" SAND/FLAT | 1/2" SAND/FLAT | 1/2" SAND/FLAT | 1/2" SAND/FLAT |

VERIFY ALL ROOF FINISHES WITH APPROVED LOCAL SUPPLIERS.

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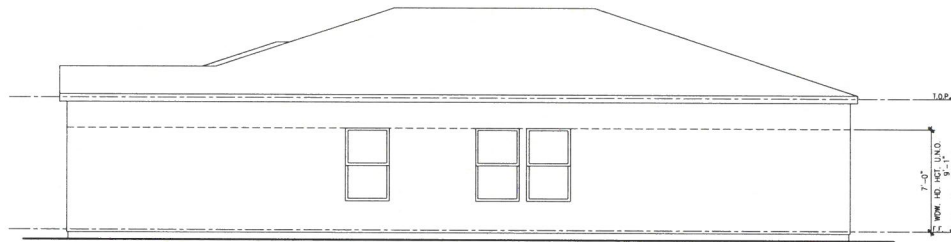
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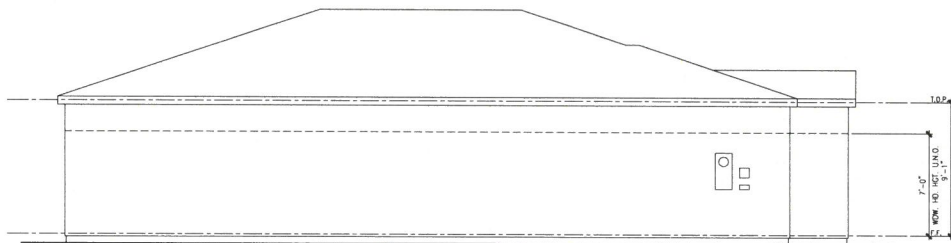
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"E" RIGHT ELEVATION



"E" LEFT ELEVATION

# EXTERIOR ELEVATION - GENERAL NOTES

SCALE 1/8" = 1'-0"

1. REFER TO STANDARD ELEVATIONS FOR INFORMATION REGARDING ARCHITECTURAL SYMBOLS AND CONVENTIONS.
2. ALL ELEVATION DETAILS AND DIMENSIONS ARE TYPICAL UNLESS OTHERWISE NOTED.
3. TYPICAL FINISHES ARE LISTED IN THE FINISHES SCHEDULE. FINISHES SHALL BE INDICATED AS REQUIRED IN SECTION 0500 AND WHERE APPLICABLE OVER THE BASE. FINISHES SHALL BE INDICATED AS REQUIRED IN SECTION 0500 AND WHERE APPLICABLE OVER THE BASE. FINISHES SHALL BE INDICATED AS REQUIRED IN SECTION 0500 AND WHERE APPLICABLE OVER THE BASE.
4. ALL FINISHES SHALL BE INDICATED AS REQUIRED IN SECTION 0500 AND WHERE APPLICABLE OVER THE BASE.
5. WHEN A WINDOW IS ADJACENT TO A CORNER, THE WINDOW HEAD SHALL ALIGN WITH THE CORNER HEAD.
6. ALL EXTERIOR WALLS SHALL BE CONSTRUCTED TO HAVE A MINIMUM OF 16" INSULATION.
7. ROOF AND BOY FINISHES - SEE DETAIL 11.0.1.
8. SHUTTER FINISHES - SEE DETAIL 11.0.2.
9. TYPICAL ROOF FINISHES - SEE DETAIL 11.0.3.
10. TYPICAL ROOF FINISHES - SEE DETAIL 11.0.4.
11. TYPICAL ROOF FINISHES - SEE DETAIL 11.0.5.
12. TYPICAL ROOF FINISHES - SEE DETAIL 11.0.6.
13. TYPICAL ROOF FINISHES - SEE DETAIL 11.0.7.
14. TYPICAL ROOF FINISHES - SEE DETAIL 11.0.8.
15. TYPICAL ROOF FINISHES - SEE DETAIL 11.0.9.
16. TYPICAL ROOF FINISHES - SEE DETAIL 11.0.10.
17. TYPICAL ROOF FINISHES - SEE DETAIL 11.0.11.

## EXTERIOR ELEVATION - KEYNOTES

(SEE EXTERIOR ELEVATION FINISHES)

1. FINISHES
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| ELEVATION | FINISHES        | FINISHES        | FINISHES        | FINISHES        | FINISHES        | FINISHES        |
|-----------|-----------------|-----------------|-----------------|-----------------|-----------------|-----------------|
| A         | 16.00 SAND FLAT | 16.00 SAND FLAT | 16.00 SAND FLAT | 16.00 SAND FLAT | 16.00 SAND FLAT | 16.00 SAND FLAT |
| B         | 16.00 SAND FLAT | 16.00 SAND FLAT | 16.00 SAND FLAT | 16.00 SAND FLAT | 16.00 SAND FLAT | 16.00 SAND FLAT |
| C         | 16.00 SAND FLAT | 16.00 SAND FLAT | 16.00 SAND FLAT | 16.00 SAND FLAT | 16.00 SAND FLAT | 16.00 SAND FLAT |
| D         | 16.00 SAND FLAT | 16.00 SAND FLAT | 16.00 SAND FLAT | 16.00 SAND FLAT | 16.00 SAND FLAT | 16.00 SAND FLAT |
| E         | 16.00 SAND FLAT | 16.00 SAND FLAT | 16.00 SAND FLAT | 16.00 SAND FLAT | 16.00 SAND FLAT | 16.00 SAND FLAT |



TYP. "A", "B", & "C" TRIM

## ROOF PLAN - GENERAL NOTES

SCALE 1/8" = 1'-0"

1. REFER TO STANDARD ROOF PLANS FOR INFORMATION REGARDING ARCHITECTURAL SYMBOLS AND CONVENTIONS.
2. ALL ROOF FINISHES ARE TYPICAL UNLESS OTHERWISE NOTED.
3. ROOF FINISHES ARE LISTED IN THE FINISHES SCHEDULE. FINISHES SHALL BE INDICATED AS REQUIRED IN SECTION 0500 AND WHERE APPLICABLE OVER THE BASE.
4. ALL ROOF FINISHES SHALL BE INDICATED AS REQUIRED IN SECTION 0500 AND WHERE APPLICABLE OVER THE BASE.
5. REFER TO STANDARD ROOF PLANS FOR INFORMATION REGARDING ARCHITECTURAL SYMBOLS AND CONVENTIONS.
6. ROOF FINISHES ARE LISTED IN THE FINISHES SCHEDULE. FINISHES SHALL BE INDICATED AS REQUIRED IN SECTION 0500 AND WHERE APPLICABLE OVER THE BASE.
7. ROOF FINISHES ARE LISTED IN THE FINISHES SCHEDULE. FINISHES SHALL BE INDICATED AS REQUIRED IN SECTION 0500 AND WHERE APPLICABLE OVER THE BASE.
8. ROOF FINISHES ARE LISTED IN THE FINISHES SCHEDULE. FINISHES SHALL BE INDICATED AS REQUIRED IN SECTION 0500 AND WHERE APPLICABLE OVER THE BASE.
9. ROOF FINISHES ARE LISTED IN THE FINISHES SCHEDULE. FINISHES SHALL BE INDICATED AS REQUIRED IN SECTION 0500 AND WHERE APPLICABLE OVER THE BASE.
10. ROOF FINISHES ARE LISTED IN THE FINISHES SCHEDULE. FINISHES SHALL BE INDICATED AS REQUIRED IN SECTION 0500 AND WHERE APPLICABLE OVER THE BASE.

## ROOF PLAN - KEYNOTES

1. CORROSION RESISTANT METAL CLIFFET - SEE DETAIL 11.0.1.
2. CORROSION RESISTANT METAL CLIFFET - SEE DETAIL 11.0.2.

## ROOF FINISHES/DETAIL NOTES

| ELEVATION | FINISHES        | FINISHES        | FINISHES        | FINISHES        | FINISHES        | FINISHES        |
|-----------|-----------------|-----------------|-----------------|-----------------|-----------------|-----------------|
| A         | 16.00 SAND FLAT | 16.00 SAND FLAT | 16.00 SAND FLAT | 16.00 SAND FLAT | 16.00 SAND FLAT | 16.00 SAND FLAT |
| B         | 16.00 SAND FLAT | 16.00 SAND FLAT | 16.00 SAND FLAT | 16.00 SAND FLAT | 16.00 SAND FLAT | 16.00 SAND FLAT |
| C         | 16.00 SAND FLAT | 16.00 SAND FLAT | 16.00 SAND FLAT | 16.00 SAND FLAT | 16.00 SAND FLAT | 16.00 SAND FLAT |
| D         | 16.00 SAND FLAT | 16.00 SAND FLAT | 16.00 SAND FLAT | 16.00 SAND FLAT | 16.00 SAND FLAT | 16.00 SAND FLAT |
| E         | 16.00 SAND FLAT | 16.00 SAND FLAT | 16.00 SAND FLAT | 16.00 SAND FLAT | 16.00 SAND FLAT | 16.00 SAND FLAT |

VERIFY ALL ROOF FINISHES WITH APPROVED SCHEDULE

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**TREASURES AT LOS PRADOS**

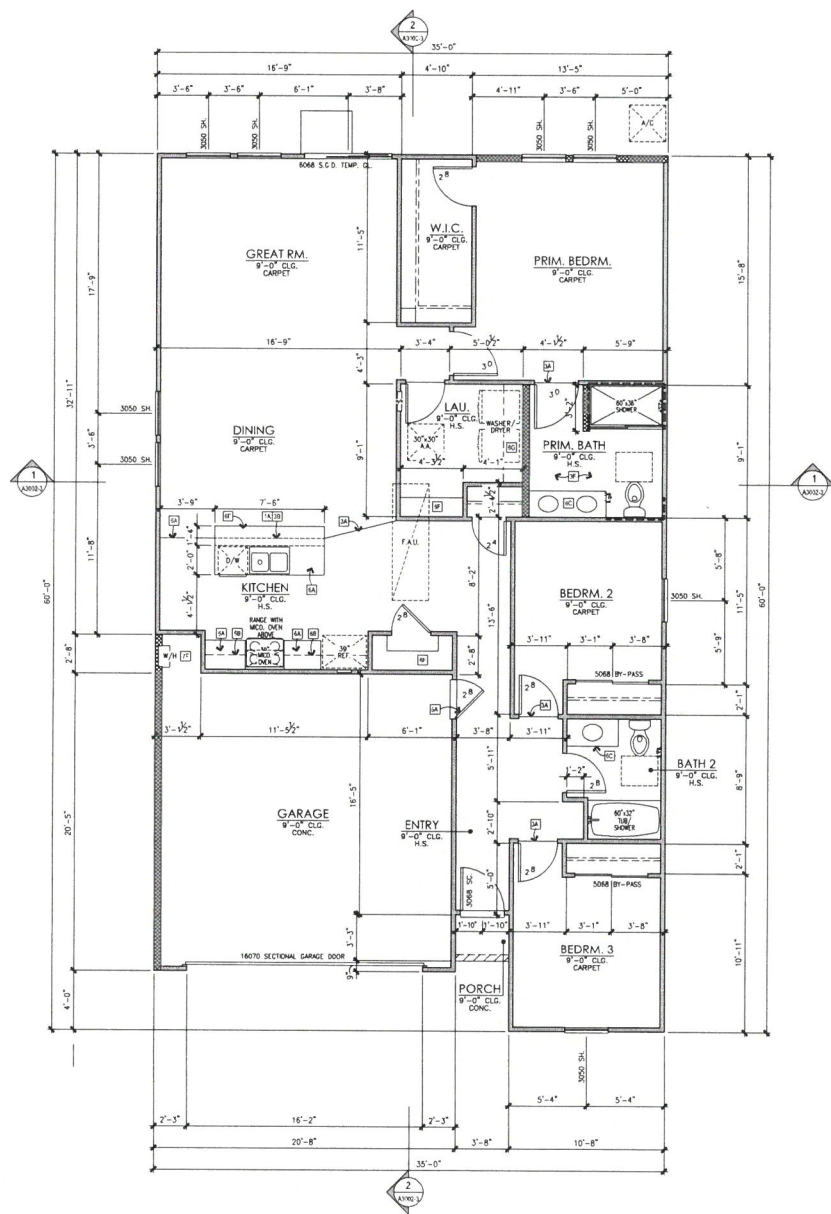
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Issue Date:  
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Revision Date:



Project #:  
25027  
Sheet Name:  
"E" Elevations

Sheet #:  
A3001-13



"A" FLOOR PLAN

# FLOOR PLAN - GENERAL NOTES

SCALE: 1/4" = 1'-0"

1. GENERAL
  - 1.1 REFER TO STANDARD FLOOR PLAN FOR INFORMATION NOT SHOWN ON THIS FLOOR PLAN.
  - 1.2 ALL INTERIOR AND EXTERIOR DOOR HEIGHTS SHALL BE 4'-0" UNLESS NOTED OTHERWISE ON PLAN.
  - 1.3 REFER TO NOTES TO GENERAL SPECIFICATIONS.
  - 1.4 PORCH AND PATIO COUNTS TO BE REDUCED ON FURNISHED METAL LATH (M.T.L.).
  - 1.5 WITH A WINDOW ADJACENT TO A DOOR THE WINDOW HEAD SHALL ALIGN WITH THE DOOR HEAD.
2. INTERIORS
  - 2.1 GARAGE WALLS AND VERTICAL SURFACES: PROVIDE MINIMUM (1) LAYER (1) OF TYPE III REBAR.
  - 2.2 GARAGE CEILING: PROVIDE MINIMUM (1) LAYER (1) OF TYPE III REBAR WITH AT LEAST 1" ABOVE CEILING. PROVIDE MINIMUM (1) LAYER (1) OF TYPE III REBAR WITH AT LEAST 1" ABOVE CEILING.
  - 2.3 UNOUP STAIRS: PROVIDE MINIMUM (1) OF TYPE III REBAR AND AT LEAST 1" ABOVE CEILING.
  - 2.4 ADD 2" TO EACH SIDE OF UNOUP STAIRS LOCATIONS DETERMINED BY NOTES.
  - 2.5 PROVIDE AN APPROVED STRIP BARRIER BETWEEN UNOUP STAIRS AND AT LEAST 1" ABOVE CEILING.
  - 2.6 ALL UNOUP STAIRS SHALL BE PERMANENTLY ATTACHED TO THE STRUCTURE AND MECHANICAL PARTS. THE ATTACHMENT SHALL BE DESIGNED TO PREVENT A LEAKAGE PER (C.I.C. SECTION 12.01.02).
3. MECHANICAL
  - 3.1 VERIFY ALL CLEAR OPENING REQUIREMENTS.
  - 3.2 REPAIR LEAKS OR PROVIDE RE-SEALING OLD WATER SEALS FOR LEAKS.
  - 3.3 CLOTHING WARDROBE AND CLOSET DRESSERS: PROVIDE HOT & COLD WATER SUPPLY (RECEIVED) & WATER CONNECTIONS. PROVIDE SHOWER PAN WITH 1" ABOVE CEILING AT WARDROBE LOCATIONS ON SECOND FLOOR.
  - 3.4 CLOSET DRESSERS: PROVIDE 4" DIA. DRYER VENT TO OUTSIDE AIR. MAXIMUM ALLOWABLE LENGTH: 30' (SEE C.I.C. SECTION 12.01.02). PROVIDE 4" DIA. DRYER VENT TO OUTSIDE AIR. MAXIMUM ALLOWABLE LENGTH: 30' (SEE C.I.C. SECTION 12.01.02).
  - 3.5 RANGE/COOKTOP: PROVIDE HOOD, LIGHT AND EXHAUST FAN ABOVE (IMPERVIOUS) OVER THE BURNER. VENT TO OUTSIDE AIR.
  - 3.6 REPAIR GAS HEAT EXCHANGER/HEATING UNIT (GAS APPLIANCE). ALSO SEE C.I.C. SECTION 12.01.02 OR APPROVED LOCAL PERMITS FOR MANUFACTURER'S INSTRUCTIONS AND IN ACCORDANCE WITH THE LISTING.
4. PLUMBING
  - 4.1 REFER TO PLUMBING PLAN FOR WATER SERVICE AND SHUT OFF VALVE LOCATIONS.
  - 4.2 WATER HEATER: REFER TO PLUMBING PLAN FOR THE REQUIREMENTS IN SECTION 12.01.02.
  - 4.3 WATER HEATER: REFER TO PLUMBING PLAN FOR THE REQUIREMENTS IN SECTION 12.01.02.
  - 4.4 THE WATER HEATER SHALL BE INSTALLED IN A VENTILATED SPACE. PROVIDE CERTAIN FLOOR TRAFFIC TO BE INSTALLED IN THE SPACE.
  - 4.5 SHOWER PAN: PROVIDE 1" ABOVE CEILING. PROVIDE CERTAIN FLOOR TRAFFIC TO BE INSTALLED IN THE SPACE.
5. MECHANICAL
  - 5.1 REFER TO MECHANICAL AND ELECTRICAL MECHANICAL PLAN.
  - 5.2 A MINIMUM OPENING OF 100 SQ. IN. FOR EACH UNIT SHALL BE PROVIDED IN THE LAUNDRY ROOM DOOR OR OTHER APPROVED LOCATION PER (C.I.C. SECTION 12.01.02).
  - 5.3 FOR EACH UNIT, PROVIDE A VENTILATED SPACE. PROVIDE CERTAIN FLOOR TRAFFIC TO BE INSTALLED IN THE SPACE.
  - 5.4 ALL CONCRETE WORK SHALL BE INSTALLED IN ACCORDANCE WITH THE LISTING.

## FLOOR PLAN - KEYNOTES

1. MATERIALS
  - 1A. TYPE OF FLOOR WALL BUILDING
  - 1B. TYPE OF FLOOR WALL ANCHOR
  - 1C. TYPE OF CEILING HEIGHT CHANGE
  - 1D. OPEN TO BELOW
2. REFER TO NOTES TO GENERAL SPECIFICATIONS
  - 2A. ALL FLOOR FINISHES: REFER TO GENERAL SPECIFICATIONS.
  - 2B. ALL WOOD FLOOR: REFER TO STRUCTURAL DRAWINGS.
  - 2C. ALL WOOD FLOOR: REFER TO STRUCTURAL DRAWINGS.
  - 2D. FLOOR FINISH: REFER TO STRUCTURAL DRAWINGS.
  - 2E. FLOOR FINISH: REFER TO STRUCTURAL DRAWINGS.
  - 2F. FLOOR FINISH: REFER TO STRUCTURAL DRAWINGS.
  - 2G. FLOOR FINISH: REFER TO STRUCTURAL DRAWINGS.
  - 2H. FLOOR FINISH: REFER TO STRUCTURAL DRAWINGS.
  - 2I. FLOOR FINISH: REFER TO STRUCTURAL DRAWINGS.
  - 2J. FLOOR FINISH: REFER TO STRUCTURAL DRAWINGS.
  - 2K. FLOOR FINISH: REFER TO STRUCTURAL DRAWINGS.
  - 2L. FLOOR FINISH: REFER TO STRUCTURAL DRAWINGS.
  - 2M. FLOOR FINISH: REFER TO STRUCTURAL DRAWINGS.
  - 2N. FLOOR FINISH: REFER TO STRUCTURAL DRAWINGS.
  - 2O. FLOOR FINISH: REFER TO STRUCTURAL DRAWINGS.
  - 2P. FLOOR FINISH: REFER TO STRUCTURAL DRAWINGS.
  - 2Q. FLOOR FINISH: REFER TO STRUCTURAL DRAWINGS.
  - 2R. FLOOR FINISH: REFER TO STRUCTURAL DRAWINGS.
  - 2S. FLOOR FINISH: REFER TO STRUCTURAL DRAWINGS.
  - 2T. FLOOR FINISH: REFER TO STRUCTURAL DRAWINGS.
  - 2U. FLOOR FINISH: REFER TO STRUCTURAL DRAWINGS.
  - 2V. FLOOR FINISH: REFER TO STRUCTURAL DRAWINGS.
  - 2W. FLOOR FINISH: REFER TO STRUCTURAL DRAWINGS.
  - 2X. FLOOR FINISH: REFER TO STRUCTURAL DRAWINGS.
  - 2Y. FLOOR FINISH: REFER TO STRUCTURAL DRAWINGS.
  - 2Z. FLOOR FINISH: REFER TO STRUCTURAL DRAWINGS.
3. ROOMS
  - 3A. TYPE OF FLOOR MATERIAL CHANGE
  - 3B. SHED WALL SUPPORT FRAMING
  - 3C. SHED WALL SUPPORT FRAMING
  - 3D. SHED WALL SUPPORT FRAMING
  - 3E. SHED WALL SUPPORT FRAMING
  - 3F. SHED WALL SUPPORT FRAMING
  - 3G. SHED WALL SUPPORT FRAMING
  - 3H. SHED WALL SUPPORT FRAMING
  - 3I. SHED WALL SUPPORT FRAMING
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  - 3W. SHED WALL SUPPORT FRAMING
  - 3X. SHED WALL SUPPORT FRAMING
  - 3Y. SHED WALL SUPPORT FRAMING
  - 3Z. SHED WALL SUPPORT FRAMING
4. SCALE
  - 4A. 1/4" = 1'-0"
  - 4B. 1/4" = 1'-0"
  - 4C. 1/4" = 1'-0"
  - 4D. 1/4" = 1'-0"
  - 4E. 1/4" = 1'-0"
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  - 4Y. 1/4" = 1'-0"
  - 4Z. 1/4" = 1'-0"
5. FINISHES
  - 5A. 1/4" = 1'-0"
  - 5B. 1/4" = 1'-0"
  - 5C. 1/4" = 1'-0"
  - 5D. 1/4" = 1'-0"
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  - 5Y. 1/4" = 1'-0"
  - 5Z. 1/4" = 1'-0"
6. SCHEDULES AND FINISHES
  - 6A. LOWER CLOSET
  - 6B. UPPER CLOSET
  - 6C. VANITY CLOSET
  - 6D. VANITY CLOSET
  - 6E. VANITY CLOSET
  - 6F. VANITY CLOSET
  - 6G. VANITY CLOSET
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  - 6Y. VANITY CLOSET
  - 6Z. VANITY CLOSET
7. DETAILS
  - 7A. 1/4" = 1'-0"
  - 7B. 1/4" = 1'-0"
  - 7C. 1/4" = 1'-0"
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  - 7Y. 1/4" = 1'-0"
  - 7Z. 1/4" = 1'-0"

## FLOOR PLAN - WALL SYMBOL

1. WALL FRAMING: REFER TO STRUCTURAL
2. WALL FRAMING: REFER TO STRUCTURAL
3. WALL FRAMING: REFER TO STRUCTURAL
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100. WALL FRAMING: REFER TO STRUCTURAL

## PLAN 3002

## AREA TABULATION

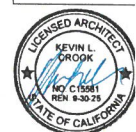
| CONDITIONED SPACE   |               |
|---------------------|---------------|
| FIRST FLOOR AREA    | 1,564 SQ. FT. |
| TOTAL DWELLING      | 1,564 SQ. FT. |
| UNCONDITIONED SPACE |               |
| GARAGE              | 424 SQ. FT.   |
| PORCH "A"           | 12 SQ. FT.    |
| PORCH "B"           | 12 SQ. FT.    |
| PORCH "C"           | 12 SQ. FT.    |

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**TREASURES AT LOS PRADOS**  
Project No. 3002  
Chicago, IL

**Kevin L. Crook Architect, Inc.**  
1360 Reynolds Ave., Suite #110 Irvine, CA 92614  
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Issue Date:  
mo/dd/yr  
Revision Date:



Project #:  
25027  
Sheet Name:  
"A" Floor Plan  
Sheet #:  
A3002-2

EXTERIOR ELEVATION - GENERAL NOTES

- [illegible]

**EXTERIOR ELEVATION - KEYNOTES**

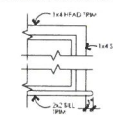
(USE EXTERIOR ELEVATION FINISHS)

- [illegible]

### EXTERIOR ELEVATION FINISHES

| PREPARATION | ST-CCO 50% CORREL INDEX | ST-CCO 50% CORREL INDEX | SHIMADZU ACQ 200 CORREL INDEX | SHIMADZU ACQ 200 CORREL INDEX | SHIMADZU |
|-------------|-------------------------|-------------------------|-------------------------------|-------------------------------|----------|
| A           | 16.20 SAND FLOAT        | 16.20 SAND FLOAT        | WOOD GRAIN                    | WOOD GRAIN                    |          |
| B           | 16.20 SAND FLOAT        | 16.20 SAND FLOAT        | WOOD GRAIN                    | WOOD GRAIN                    |          |
| C           | 16.20 SAND FLOAT        | 16.20 SAND FLOAT        | WOOD GRAIN                    | WOOD GRAIN                    |          |
| D           | 16.20 SAND FLOAT        | 16.20 SAND FLOAT        | WOOD GRAIN                    | WOOD GRAIN                    |          |
| E           | 16.20 SAND FLOAT        | 16.20 SAND FLOAT        | WOOD GRAIN                    | WOOD GRAIN                    |          |

WINDOWS, REFER TO COLOR SCHEMES



- TYPICAL WINDOW - SEE DETAIL A/AD 105
- TYPICAL RECESSED WINDOW - SEE DETAIL 15/AD 105
- TYPICAL DOOR - SEE DETAIL 10/AD 104
- TYPICAL SLIDING GLASS DOOR - SEE DETAIL 12/AD 104
- TYPICAL GARAGE DOOR - SEE DETAIL 14 & 16/AD 104

TYP. "A", "B" & "C" TRIM

ROOF PLAN - GENERAL NOTES

SCALE 1/8" = 1'-0"

1. REFER TO STANDARD 107.11 PLUMBING FOR PENETRATIONS AND SHOW CURS AND ACCESSORY CURS PLANS.
2. ALL JOINTS, DETAIL AND DIMENSIONS ARE TYPICAL FOR EACH CONDITION LISTED.
3. PROVIDE MINIMUM 2" GAP, CORROSION RESISTANT METAL FLASHING AT ALL VALVES AND ROOF TO WALL CONDITIONS.
4. ALL ROOF AND TAVE DRAIN PIPES SHALL BE SLOPED WITH CORROSION RESISTANT NON COMBUSTIBLE WIRE MESH WITH 1" MAXIMUM MESH OPENING.
5. REFER TO SOLAR PANEL AND SOLAR PANEL CONNECTIONS WITH ELECTRICAL INSTALLATION INSTRUCTIONS.
6. PROVIDE EXPOSED FLASHING AT ALL PAS-THRU WALL TERMINATIONS - SEE DETAIL FLASH 102.
7. ROOF TO WALL FLASHING- SEE DETAIL FLASH 102.
8. ATOMIC A U - SEE DETAIL FLASH 102.
9. PIPE PENETRATIONS - SEE DETAIL FLASH 102.

### ROOF PLAN - KEYNOTES

- 2 CORROSION RESISTANT GUTTER AND DOWNSPOUTS - DRAIN TO CONC. FLATWORK / SPLASH BLOC.

**ROOF FINISHES/ DETAIL NOTES**

| SILVATION | ROOF TYPE     | DETAIL   | FASCIA<br>UNO | BARGE<br>UNO | FASCIA E BARGE<br>DUE |       |
|-----------|---------------|----------|---------------|--------------|-----------------------|-------|
|           |               |          |               |              | FAVE                  | BARGE |
| "A"       | COMP. SHINGLE | 4 AD 151 | 266           | 266          | 6"                    | 6"    |
| "B"       | COMP. SHINGLE | 4 AD 151 | 266           | 266          | 6"                    | 6"    |
| "C"       | COMP. SHINGLE | 4 AD 151 | 266           | 266          | 6"                    | 6"    |
| "D"       | COMP. SHINGLE | 4 AD 151 | 266           | 266          | 6"                    | 6"    |
| "E"       | COMP. SHINGLE | 4 AD 151 | 266           | 266          | 6"                    | 6"    |

VERIFY ALL ROAD FINISHES WITH APPROVED COLOR SCHEMES

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TREASURES AT LOS PRADOS

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Issue Date:  
mo/dd/yr

Revision Date:



Project #: 25027  
Sheet Name: ' Elevations and Roof Plan  
Sheet #:

A3002-4



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SCALE 1/4" = 1'-0"

- EXTERIOR ELEVATION - KEYNOTES (SEE EXTERIOR ELEVATION PATCHES)

(SEE EXTERIOR ELEVATION FINISHES)

- | EXTERIOR ELEVATION FINISHES |                  |                  |            |            |            |
|-----------------------------|------------------|------------------|------------|------------|------------|
| REVISION                    | 11-10-2018       | 11-10-2018       | 11-10-2018 | 11-10-2018 | 11-10-2018 |
|                             | 11-10-2018       | 11-10-2018       | 11-10-2018 | 11-10-2018 | 11-10-2018 |
| A                           | 16-20 SAND F.CAT | 16-20 SAND F.CAT | WOOD GRAIN | WOOD GRAIN | WOOD GRAIN |
| B                           | 16-20 SAND F.CAT | 16-20 SAND F.CAT | WOOD GRAIN | WOOD GRAIN | WOOD GRAIN |
| C                           | 16-20 SAND F.CAT | 16-20 SAND F.CAT | WOOD GRAIN | WOOD GRAIN | WOOD GRAIN |
| D                           | 16-20 SAND F.CAT | 16-20 SAND F.CAT | WOOD GRAIN | WOOD GRAIN | WOOD GRAIN |
| E                           | 16-20 SAND F.CAT | 16-20 SAND F.CAT | WOOD GRAIN | WOOD GRAIN | WOOD GRAIN |



TYP "A" "B" &amp; "C" TRIM

SCALE 1/8" = 1'-0"

- #### ROOF PLAN - KEYNOTES

1. CORROSION RESISTANT METAL BRACKET - SEE DETAIL 3/AD 102

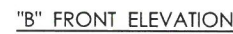
| ROOF FINISHES/ DETAIL NOTES |                   |       |      |       |         |         |
|-----------------------------|-------------------|-------|------|-------|---------|---------|
| ITEM                        | DESCRIPTION       | UNIT  | QTY  | PRICE | AMOUNT  | TOTAL   |
| 1                           | Asph/Flt Shingles | Sq Yd | 1000 | 1.50  | 1500.00 | 1500.00 |
| 2                           | Flt Shingles      | Sq Yd | 1000 | 1.50  | 1500.00 | 1500.00 |
| 3                           | Flt Shingles      | Sq Yd | 1000 | 1.50  | 1500.00 | 1500.00 |
| 4                           | Flt Shingles      | Sq Yd | 1000 | 1.50  | 1500.00 | 1500.00 |
| 5                           | Flt Shingles      | Sq Yd | 1000 | 1.50  | 1500.00 | 1500.00 |
| 6                           | Flt Shingles      | Sq Yd | 1000 | 1.50  | 1500.00 | 1500.00 |
| 7                           | Flt Shingles      | Sq Yd | 1000 | 1.50  | 1500.00 | 1500.00 |
| 8                           | Flt Shingles      | Sq Yd | 1000 | 1.50  | 1500.00 | 1500.00 |
| 9                           | Flt Shingles      | Sq Yd | 1000 | 1.50  | 1500.00 | 1500.00 |
| 10                          | Flt Shingles      | Sq Yd | 1000 | 1.50  | 1500.00 | 1500.00 |
| 11                          | Flt Shingles      | Sq Yd | 1000 | 1.50  | 1500.00 | 1500.00 |
| 12                          | Flt Shingles      | Sq Yd | 1000 | 1.50  | 1500.00 | 1500.00 |
| 13                          | Flt Shingles      | Sq Yd | 1000 | 1.50  | 1500.00 | 1500.00 |
| 14                          | Flt Shingles      | Sq Yd | 1000 | 1.50  | 1500.00 | 1500.00 |
| 15                          | Flt Shingles      | Sq Yd | 1000 | 1.50  | 1500.00 | 1500.00 |
| 16                          | Flt Shingles      | Sq Yd | 1000 | 1.50  | 1500.00 | 1500.00 |
| 17                          | Flt Shingles      | Sq Yd | 1000 | 1.50  | 1500.00 | 1500.00 |
| 18                          | Flt Shingles      | Sq Yd | 1000 | 1.50  | 1500.00 | 1500.00 |
| 19                          | Flt Shingles      | Sq Yd | 1000 | 1.50  | 1500.00 | 1500.00 |
| 20                          | Flt Shingles      | Sq Yd | 1000 | 1.50  | 1500.00 | 1500.00 |
| 21                          | Flt Shingles      | Sq Yd | 1000 | 1.50  | 1500.00 | 1500.00 |
| 22                          | Flt Shingles      | Sq Yd | 1000 | 1.50  | 1500.00 | 1500.00 |
| 23                          | Flt Shingles      | Sq Yd | 1000 | 1.50  | 1500.00 | 1500.00 |
| 24                          | Flt Shingles      | Sq Yd | 1000 | 1.50  | 1500.00 | 1500.00 |
| 25                          | Flt Shingles      | Sq Yd | 1000 | 1.50  | 1500.00 | 1500.00 |
| 26                          | Flt Shingles      | Sq Yd | 1000 | 1.50  | 1500.00 | 1500.00 |
| 27                          | Flt Shingles      | Sq Yd | 1000 | 1.50  | 1500.00 | 1500.00 |
| 28                          | Flt Shingles      | Sq Yd | 1000 | 1.50  | 1500.00 | 1500.00 |
| 29                          | Flt Shingles      | Sq Yd | 1000 | 1.50  | 1500.00 | 1500.00 |
| 30                          | Flt Shingles      | Sq Yd | 1000 | 1.50  | 1500.00 | 1500.00 |
| 31                          | Flt Shingles      | Sq Yd | 1000 | 1.50  | 1500.00 | 1500.00 |
| 32                          | Flt Shingles      | Sq Yd | 1000 | 1.50  | 1500.00 | 1500.00 |
| 33                          | Flt Shingles      | Sq Yd | 1000 | 1.50  | 1500.00 | 1500.00 |
| 34                          | Flt Shingles      | Sq Yd | 1000 | 1.50  | 1500.00 | 1500.00 |
| 35                          | Flt Shingles      | Sq Yd | 1000 | 1.50  | 1500.00 | 1500.00 |
| 36                          | Flt Shingles      | Sq Yd | 1000 | 1.50  | 1500.00 | 1500.00 |
| 37                          | Flt Shingles      | Sq Yd | 1000 | 1.50  | 1500.00 | 1500.00 |
| 38                          | Flt Shingles      | Sq Yd | 1000 | 1.50  | 1500.00 | 1500.00 |
| 39                          | Flt Shingles      | Sq Yd | 1000 | 1.50  | 1500.00 | 1500.00 |
| 40                          | Flt Shingles      | Sq Yd | 1000 | 1.50  | 1500.00 | 1500.00 |
| 41                          | Flt Shingles      | Sq Yd | 1000 | 1.50  | 1500.00 | 1500.00 |
| 42                          | Flt Shingles      | Sq Yd | 1000 | 1.50  | 1500.00 | 1500.00 |
| 43                          | Flt Shingles      | Sq Yd | 1000 | 1.50  | 1500.00 | 1500.00 |
| 44                          | Flt Shingles      | Sq Yd | 1000 | 1.50  | 1500.00 | 1500.00 |
| 45                          | Flt Shingles      | Sq Yd | 1000 | 1.50  | 1500.00 | 1500.00 |
| 46                          | Flt Shingles      | Sq Yd | 1000 | 1.50  | 1500.00 | 1500.00 |
| 47                          | Flt Shingles      | Sq Yd | 1000 | 1.50  | 1500.00 | 1500.00 |
| 48                          | Flt Shingles      | Sq Yd | 1000 | 1.50  | 1500.00 | 1500.00 |
| 49                          | Flt Shingles      | Sq Yd | 1000 | 1.50  | 1500.00 | 1500.00 |
| 50                          | Flt Shingles      | Sq Yd | 1000 | 1.50  | 1500.00 | 1500.00 |
|                             |                   |       |      |       |         |         |

VERIFY ALL ROOF FINISHES WITH APPROVED COLOR SCHEMES.

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Year: 1996, 1997, 1998, 1999, 2000, 2001, 2002, 2003, 2004, 2005, 2006, 2007, 2008, 2009, 2010, 2011, 2012, 2013, 2014, 2015, 2016, 2017, 2018, 2019, 2020, 2021, 2022, 2023, 2024, 2025, 2026, 2027, 2028, 2029, 2030, 2031, 2032, 2033, 2034, 2035, 2036, 2037, 2038, 2039, 2040, 2041, 2042, 2043, 2044, 2045, 2046, 2047, 2048, 2049, 2050, 2051, 2052, 2053, 2054, 2055, 2056, 2057, 2058, 2059, 2060, 2061, 2062, 2063, 2064, 2065, 2066, 2067, 2068, 2069, 2070, 2071, 2072, 2073, 2074, 2075, 2076, 2077, 2078, 2079, 2080, 2081, 2082, 2083, 2084, 2085, 2086, 2087, 2088, 2089, 2090, 2091, 2092, 2093, 2094, 2095, 2096, 2097, 2098, 2099, 2100, 2101, 2102, 2103, 2104, 2105, 2106, 2107, 2108, 2109, 2110, 2111, 2112, 2113, 2114, 2115, 2116, 2117, 2118, 2119, 2120, 2121, 2122, 2123, 2124, 2125, 2126, 2127, 2128, 2129, 2130, 2131, 2132, 2133, 2134, 2135, 2136, 2137, 2138, 2139, 2140, 2141, 2142, 2143, 2144, 2145, 2146, 2147, 2148, 2149, 2150, 2151, 2152, 2153, 2154, 2155, 2156, 2157, 2158, 2159, 2160, 2161, 2162, 2163, 2164, 2165, 2166, 2167, 2168, 2169, 2170, 2171, 2172, 2173, 2174, 2175, 2176, 2177, 2178, 2179, 2180, 2181, 2182, 2183, 2184, 2185, 2186, 2187, 2188, 2189, 2190, 2191, 2192, 2193, 2194, 2195, 2196, 2197, 2198, 2199, 2200, 2201, 2202, 2203, 2204, 2205, 2206, 2207, 2208, 2209, 2210, 2211, 2212, 2213, 2214, 2215, 2216, 2217, 2218, 2219, 2220, 2221, 2222, 2223, 2224, 2225, 2226, 2227, 2228, 2229, 2230, 2231, 2232, 2233, 2234, 2235, 2236, 2237, 2238, 2239, 2240, 2241, 2242, 2243, 2244, 2245, 2246, 2247, 2248, 2249, 2250, 2251, 2252, 2253, 2254, 2255, 2256, 2257, 2258, 2259, 2260, 2261, 2262, 2263, 2264, 2265, 2266, 2267, 2268, 2269, 2270, 2271, 2272, 2273, 2274, 2275, 2276, 2277, 2278, 2279, 2280, 2281, 2282, 2283, 2284, 2285, 2286, 2287, 2288, 2289, 2290, 2291, 2292, 2293, 2294, 2295, 2296, 2297, 2298, 2299, 2300, 2301, 2302, 2303, 2304, 2305, 2306, 2307, 2308, 2309, 2310, 2311, 2312, 2313, 2314, 2315, 2316, 2317, 2318, 2319, 2320, 2321, 2322, 2323, 2324, 2325, 2326, 2327, 2328, 2329, 2330, 2331, 2332, 2333, 2334, 2335, 2336, 2337, 2338, 2339, 2340, 2341, 2342, 2343, 2344, 2345, 2346, 2347, 2348, 2349, 2350, 2351, 2352, 2353, 2354, 2355, 2356, 2357, 2358, 2359, 2360, 2361, 2362, 2363, 2364, 2365, 2366, 2367, 2368, 2369, 2370, 2371, 2372, 2373, 2374, 2375, 2376, 2377, 2378, 2379, 2380, 2381, 2382, 2383, 2384, 2385, 2386, 2387, 2388, 2389, 2390, 2391, 2392, 2393, 2394, 2395, 2396, 2397, 2398, 2399, 2400, 2401, 2402, 2403, 2404, 2405, 2406, 2407, 2408, 2409, 2410, 2411, 2412, 2413, 2414, 2415, 2416, 2417, 2418, 2419, 2420, 2421, 2422, 2423, 2424, 2425, 2426, 2427, 2428, 2429, 2430, 2431, 2432, 2433, 2434, 2435, 2436, 2437, 2438, 2439, 2440, 2441, 2442, 2443, 2444, 2445, 2446, 2447, 2448, 2449, 2450, 2451, 2452, 2453, 2454, 2455, 2456, 2457, 2458, 2459, 2460, 2461, 2462, 2463, 2464, 2465, 2466, 2467, 2468, 2469, 2470, 2471, 2472, 2473, 2474, 2475, 2476, 2477, 2478, 2479, 2480, 2481, 2482, 2483, 2484, 2485, 2486, 2487, 2488, 2489, 2490, 2491, 2492, 2493, 2494, 2495, 2496, 2497, 2498, 2499, 2500, 2501, 2502, 2503, 2504, 2505, 2506, 2507, 2508, 2509, 2510, 2511, 2512, 2513, 2514, 2515, 2516, 2517, 2518, 2519, 2520, 2521, 2522, 2523, 2524, 2525, 2526, 2527, 2528, 2529, 2530, 2531, 2532, 2533, 2534, 2535, 2536, 2537, 2538, 2539, 2540, 2541, 2542, 2543, 2544, 2545, 2546, 2547, 2548, 2549, 2550, 2551, 2552, 2553, 2554, 2555, 2556, 2557, 2558, 2559, 2560, 2561, 2562, 2563, 2564, 2565, 2566, 2567, 2568, 2569, 2570, 2571, 2572, 2573, 2574, 2575, 2576, 2577, 2578, 2579, 2580, 2581, 2582, 2583, 2584, 2585, 2586, 2587, 2588, 2589, 2590, 2591, 2592, 2593, 2594, 2595, 2596, 2597, 2598, 2599, 2600, 2601, 2602, 2603, 2604, 2605, 2606, 2607, 2608, 2609, 2610, 2611, 2612, 2613, 2614, 2615, 2616, 2617, 2618, 2619, 2620, 2621, 2622, 2623, 2624, 2625, 2626, 2627, 2628, 2629, 2630, 2631, 2632, 2633, 2634, 2635, 2636, 2637, 2638, 2639, 2640, 2641, 2642, 2643, 2644, 2645, 2646, 2647, 2648, 2649, 2650, 2651, 2652, 2653, 2654, 2655, 2656, 2657, 2658, 2659, 2660, 2661, 2662, 2663, 2664, 2665, 2666, 2667, 2668, 2669, 2670, 2671, 2672, 2673, 2674, 2675, 2676, 2677,







## 269



Year 2000: 100% of 1000

[illegible][illegible]

| EXTERIOR ELEVATION FINISHES |                     |                                      |                                        |                                         |              |
|-----------------------------|---------------------|--------------------------------------|----------------------------------------|-----------------------------------------|--------------|
| ELEVATION                   | 1. ST. CONC. FINISH | 2. ST. CONC. FINISH<br>CONCRETE FORM | 3. SPARTANITE AT 10'<br>SEEDING FINISH | 4. LUSKATE ALICE<br>FINISH CONC. FINISH | 5. ST. CONC. |
| A                           | 1.20 SAND/FLOT      | 1.60 SAND/FLOT                       | WOOD GRAIN                             | WOOD GRAIN                              |              |
| B                           | 1.60 SAND/FLOT      | 1.60 SAND/FLOT                       | WOOD GRAIN                             | WOOD GRAIN                              |              |
| C                           | 1.60 SAND/FLOT      | 1.60 SAND/FLOT                       | WOOD GRAIN                             | WOOD GRAIN                              |              |
| D                           | 1.20 SAND/FLOT      | 1.60 SAND/FLOT                       | WOOD GRAIN                             | WOOD GRAIN                              |              |
| E                           | 1.20 SAND/FLOT      | 1.60 SAND/FLOT                       | WOOD GRAIN                             | WOOD GRAIN                              |              |



TYP. "A", "B" & "C" TRIM

ROOF PLAN - GENERAL NOTES

7. REFER TO STANDARD ROOF PLAN FOR INFORMATION NOT SHOWN ON ANCHORAGE PLANS.
8. ALL FLASHINGS DETAIL AND DIMENSIONS ARE TYPICAL UNLESS NOTED OTHERWISE.
9. PROVIDE MINIMUM 6 GA. CORROSION RESISTANT METAL FLASHING AT ALL VALLEYS AND ROOF TO WALL CONNECTIONS.
10. ALL ROOF WALL ANCHOR FLASHINGS SHALL BE SPECIFIED WITH CORROSION RESISTANT NON-COMBUSTIBLE OVERLAP DETAIL IF NEEDED.
11. REFER TO SOLAR PANELS FOR ALL SOLAR PANEL AND ELECTRICAL INSTALLATION INSTRUCTIONS.
12. PROVIDE CLOUT FLASHING AT ALL PENETRATION WALL TERMINATIONS - SEE DETAIL F-1AD-102
13. POOL TO CLOUT FLASHING - SEE DETAIL F-1AD-102
14. ATIC F.A.U. - SEE DETAIL 4AD-102
15. PIPE VENT PENETRATIONS - SEE DETAIL 11VAD-102

### ROOF PLAN - KEYNOTES

- 2 CORROSION RESISTANT GUTTER AND DOWNSPOUTS - DRAW TO CONC. FLATWORK / SPLASH BLOCK

| ROOF FINISHES/ DETAIL NOTES |               |           |               |              |                  |       |
|-----------------------------|---------------|-----------|---------------|--------------|------------------|-------|
| ELEVATION                   | ROOF TYPE     | DEAL      | PASCAL U.N.C. | BARCE U.N.C. | P. FLOORING RATE | PAINT |
| "A"                         | COMP. SHINGLE | K.ART (1) | 2x6           | 2x6          | 6"               | 6"    |
| "B"                         | COMP. SHINGLE | K.ART (1) | 2x6           | 2x6          | 6"               | 6"    |
| "C"                         | COMP. SHINGLE | K.ART (1) | 2x6           | 2x6          | 6"               | 6"    |
| "D"                         | COMP. SHINGLE | K.ART (1) | 2x6           | 2x6          | 6"               | 6"    |
| "E"                         | COMP. SHINGLE | K.ART (1) | 2x6           | 2x6          | 6"               | 6"    |

VERIFY ALL R.C. OF FINISHES WITH APPROVED COLOR SCHEMES



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Issue Date:  
mo/dd/yr

Revision Date:



Project #:  
25027

Sheet Name:  
"C" Elevations

Sheet #: **A3002-9**

Received 10 July 1998  
Accepted 12 July 1998







EXTERIOR ELEVATION - GENERAL NOTES

SCALE 1/4" = 1'-0"

- [illegible]

**EXTERIOR ELEVATION - KEYNOTES**

(SEE EXTERIOR ELEVATION FINISHES)

- [illegible]

## S. MASOORY &amp; CONCRETE

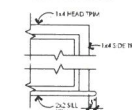
- 5A. CONCRETE SLOPP/PORCH - REFER TO SLAB EDGE PLAN FOR SIZE

6. SPECIALTIES \_\_\_\_\_  
 6A. SALES/CLAYTON \_\_\_\_\_

- 6B. OPTIONAL DOOR/ WINDOW - SEE FLOOR PLANS

| EXTERIOR ELEVATION FINISHES |                  |                  |                       |                       |            |
|-----------------------------|------------------|------------------|-----------------------|-----------------------|------------|
| LEVEL                       | ST. C/C FINISH   | ST. C/C FINISH   | W/REAR ST. C/C FINISH | W/REAR ST. C/C FINISH | ST. FINISH |
| A                           | 16.20 SAND FLOAT | 16.20 SAND FLOAT | WOOD GRAIN            | WOOD GRAIN            | WOOD GRAIN |
| B                           | 16.20 SAND FLOAT | 16.20 SAND FLOAT | WOOD GRAIN            | WOOD GRAIN            | WOOD GRAIN |
| C                           | 16.20 SAND FLOAT | 16.20 SAND FLOAT | WOOD GRAIN            | WOOD GRAIN            | WOOD GRAIN |
| D                           | 16.20 SAND FLOAT | 16.20 SAND FLOAT | WOOD GRAIN            | WOOD GRAIN            | WOOD GRAIN |
| E                           | 16.20 SAND FLOAT | 16.20 SAND FLOAT | WOOD GRAIN            | WOOD GRAIN            | WOOD GRAIN |

WINDOWS: REFER TO COLOR SCHEMES



- TYPICAL WINDOW - SEE DETAIL A2/AD:105
- TYPICAL RECESSED WINDOW - SEE DETAIL 15/AD:105
- TYPICAL DOOR - SEE DETAIL 10/AD:104
- TYPICAL SLIDING GLASS DOOR - SEE DETAIL 12/AD:104
- TYPICAL GARAGE DOOR - SEE DETAIL 14 & 16/AD:104

TYP. "A", "B" &amp; "C" TRIM

ROOF PLAN - GENERAL NOTES

SCALE 1/8" = 1'-0"

1. REFER TO STANDARD PLUMBING INFORMATION NOT SHOWN ON ACCESSORY RAIL PLANS  
2. ALL EXTERIOR DETAILS AND DIMENSIONS ARE TYPICAL TO THEIR CONSTRUCTION  
3. PROVIDE MINIMUM 3/4" COMPRESSIBLE RESISTANT MATERIAL FLASHING AT ALL WALLS AND ROOF TO WALL  
CONNECTIONS  
4. ALL ROOF WALLS AND FLAT ROOF SHIMS BE SUFFICIENT WITH COMPRESSIBLE RESISTANT MATERIAL COMPRISE 1/2"  
THICK OF MINIMUM 1/2" COMPRESSIBLE  
5. REFER TO SOLAR PLANS FOR ALL SOLAR PANEL AND ELECTRICAL INSTALLATION DETAILS  
6. PROVIDE 1/4" GUT FLASHING AT ALL FLASH TO WALL PENETRATIONS - SEE DETAIL FLASH/102  
7. ROOF TO WALL FLASHING - SEE DETAIL 2 AND 102  
8. ATIC FLASH - SEE DETAIL 4 AND 102  
9. PIPE VENT PENETRATIONS - SEE DETAIL 11 AND 102

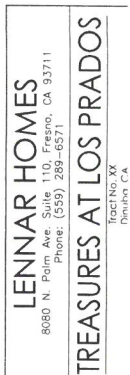
### ROOF PLAN - KEYNOTES

- 2 CORROSION RESISTANT GUTTER AND DOWNSPOUTS - DRAIN TO CONC. FLATWORK / SPLASH BLOCK

ROOF FINISHES/ DETAIL NOTES

| ELEVATION | ROOF FILE     | DETA      | FASCIA UNITS | BARGE UNITS | D.W. BRICKWORK |      |
|-----------|---------------|-----------|--------------|-------------|----------------|------|
|           |               |           |              |             | FACE           | BACK |
| "A"       | COMP. SHINGLE | 4" AL 10' | 2x6          | 2x6         | 6"             | 6"   |
| "B"       | COMP. SHINGLE | 4" AL 10' | 2x6          | 2x6         | 6"             | 6"   |
| "C"       | COMP. SHINGLE | 4" AL 10' | 2x6          | 2x6         | 6"             | 6"   |
| "D"       | COMP. SHINGLE | 4" AL 10' | 2x6          | 2x6         | 6"             | 6"   |
| "E"       | COMP. SHINGLE | 4" AL 10' | 2x6          | 2x6         | 6"             | 6"   |

VERIFY ALL RUD FINISHES WITH APPROVED COLOR SCHEMES



Issue Date:  
mo/dd/yr  
Revision Date:



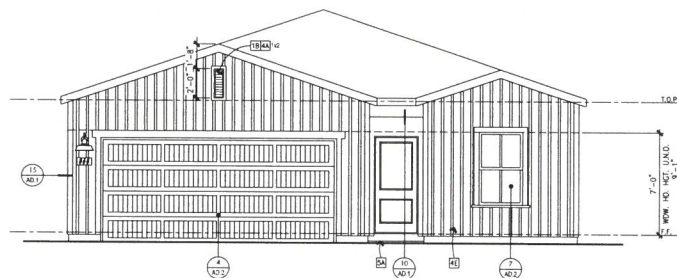
Project #: 25027  
Sheet Name: "D" Elevations

Sheet #:

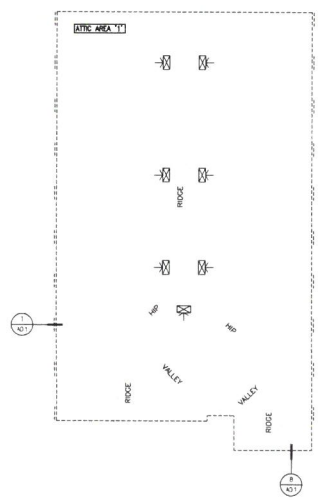
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1998. *Wing*. p. 9202. 51. *Wing*.

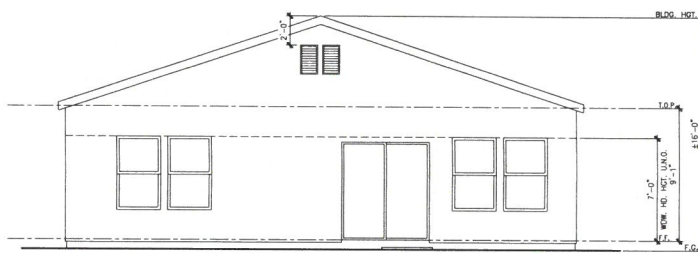




"E" FRONT ELEVATION



"E" ROOF PLAN



"E" REAR ELEVATION

# EXTERIOR ELEVATION - GENERAL NOTES

1. REFER TO STANDARD ELEVATION FOR INFORMATION NOT SHOWN ON ADDENDUM AND GENERAL NOTES.
2. ALL ELEVATION DETAILS AND DIMENSIONS ARE TYPICAL TO THIS CONSTRUCTION ELEVATION.
3. FUTURE RAIN, PLASTER, AND WATER RESISTIVE BARRIERS SHALL BE INSTALLED AS REQUIRED IN SECTION 0713 AND WHERE APPROPRIATE WOOD BASES, SHIMMING, SHALL BE USED TO PROVIDE A WATER RESISTIVE BARRIER. THE BARRIER SHALL BE INSTALLED TO THE TOP OF THE FINISH SURFACE OF THE BARRIER. THE BARRIER SHALL BE INSTALLED TO THE TOP OF THE FINISH SURFACE OF THE BARRIER. THE BARRIER SHALL BE INSTALLED TO THE TOP OF THE FINISH SURFACE OF THE BARRIER.
4. ALL FUTURE SHIMMING SHALL OCCUR AT LOTS REQUIRING ENHANCEMENTS (N.D.). SEE SITE PLAN.
5. WHEN A WINDOW IS ADJACENT TO A DOOR THE WINDOW HEADS SHALL ADJACENT TO THE DOOR HEADS.
6. ALL EXPOSED WOOD SHALL BE PROTECTED WITH A WATER RESISTIVE BARRIER. SEE DETAIL 11 AND 103.
7. PIPE AND BOX PENETRATIONS. SEE DETAIL 11 AND 103.
8. SHUTTER BARRIERS. SEE DETAIL 11 AND 103.
9. FUTURE EXTERIOR FINISHES. SEE DETAIL 11 AND 103.
10. TYPICAL SCHEDULE. SEE DETAIL 11 AND 103.
11. TYPICAL STUCCO COURSE CORNER. SEE DETAIL 11 AND 103.
12. TYPICAL LAP JOINTS. SHIMMING OR PANEL CORNER. SEE DETAIL 11 AND 103.
13. TYPICAL LAP JOINTS. SHIMMING OR PANEL CORNER. SEE DETAIL 11 AND 103.
14. WOODS WITH ATTACHED. SEE DETAIL 11 AND 103.
15. TYPICAL POST TO WALL. SEE DETAIL 11 AND 103.
16. SINKING WOOD. SEE DETAIL 11 AND 103.
17. EXPOSED WOOD SHALL BE INSTALLED PER DETAIL 11 AND 103.

## EXTERIOR ELEVATION - KEYNOTES

1. STUCCO OVER EXPANDED POLYSTYRENE (EPS) FOAM THER.
2. STUCCO OVER EXPANDED POLYSTYRENE (EPS) FOAM THER.
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100. STUCCO OVER EXPANDED POLYSTYRENE (EPS) FOAM THER.

| ELEVATION | FINISH          | FINISH          | FINISH          | FINISH          | FINISH          | FINISH          |
|-----------|-----------------|-----------------|-----------------|-----------------|-----------------|-----------------|
| A         | 16.20 SAND FLAT | 16.20 SAND FLAT | 16.20 SAND FLAT | 16.20 SAND FLAT | 16.20 SAND FLAT | 16.20 SAND FLAT |
| B         | 16.20 SAND FLAT | 16.20 SAND FLAT | 16.20 SAND FLAT | 16.20 SAND FLAT | 16.20 SAND FLAT | 16.20 SAND FLAT |
| C         | 16.20 SAND FLAT | 16.20 SAND FLAT | 16.20 SAND FLAT | 16.20 SAND FLAT | 16.20 SAND FLAT | 16.20 SAND FLAT |
| D         | 16.20 SAND FLAT | 16.20 SAND FLAT | 16.20 SAND FLAT | 16.20 SAND FLAT | 16.20 SAND FLAT | 16.20 SAND FLAT |
| E         | 16.20 SAND FLAT | 16.20 SAND FLAT | 16.20 SAND FLAT | 16.20 SAND FLAT | 16.20 SAND FLAT | 16.20 SAND FLAT |



TYP. "A", "B" & "C" TRIM

## ROOF PLAN - GENERAL NOTES

1. REFER TO STANDARD ROOF PLAN FOR INFORMATION NOT SHOWN ON ADDENDUM AND GENERAL NOTES.
2. ALL ELEVATION DETAILS AND DIMENSIONS ARE TYPICAL TO THIS CONSTRUCTION ELEVATION.
3. FUTURE RAIN, PLASTER, AND WATER RESISTIVE BARRIERS SHALL BE INSTALLED AS REQUIRED IN SECTION 0713 AND WHERE APPROPRIATE WOOD BASES, SHIMMING, SHALL BE USED TO PROVIDE A WATER RESISTIVE BARRIER. THE BARRIER SHALL BE INSTALLED TO THE TOP OF THE FINISH SURFACE OF THE BARRIER. THE BARRIER SHALL BE INSTALLED TO THE TOP OF THE FINISH SURFACE OF THE BARRIER.
4. ALL FUTURE SHIMMING SHALL OCCUR AT LOTS REQUIRING ENHANCEMENTS (N.D.). SEE SITE PLAN.
5. WHEN A WINDOW IS ADJACENT TO A DOOR THE WINDOW HEADS SHALL ADJACENT TO THE DOOR HEADS.
6. ALL EXPOSED WOOD SHALL BE PROTECTED WITH A WATER RESISTIVE BARRIER. SEE DETAIL 11 AND 103.
7. PIPE AND BOX PENETRATIONS. SEE DETAIL 11 AND 103.
8. SHUTTER BARRIERS. SEE DETAIL 11 AND 103.
9. FUTURE EXTERIOR FINISHES. SEE DETAIL 11 AND 103.
10. TYPICAL SCHEDULE. SEE DETAIL 11 AND 103.
11. TYPICAL STUCCO COURSE CORNER. SEE DETAIL 11 AND 103.
12. TYPICAL LAP JOINTS. SHIMMING OR PANEL CORNER. SEE DETAIL 11 AND 103.
13. TYPICAL LAP JOINTS. SHIMMING OR PANEL CORNER. SEE DETAIL 11 AND 103.
14. WOODS WITH ATTACHED. SEE DETAIL 11 AND 103.
15. TYPICAL POST TO WALL. SEE DETAIL 11 AND 103.
16. SINKING WOOD. SEE DETAIL 11 AND 103.
17. EXPOSED WOOD SHALL BE INSTALLED PER DETAIL 11 AND 103.

## ROOF PLAN - KEYNOTES

1. CORROSION RESISTANT METAL CORNER. SEE DETAIL 11 AND 103.
2. CORROSION RESISTANT METAL CORNER. SEE DETAIL 11 AND 103.

## ROOF FINISHES / DETAIL NOTES

| ELEVATION | FINISH          | FINISH          | FINISH          | FINISH          | FINISH          | FINISH          |
|-----------|-----------------|-----------------|-----------------|-----------------|-----------------|-----------------|
| A         | 16.20 SAND FLAT | 16.20 SAND FLAT | 16.20 SAND FLAT | 16.20 SAND FLAT | 16.20 SAND FLAT | 16.20 SAND FLAT |
| B         | 16.20 SAND FLAT | 16.20 SAND FLAT | 16.20 SAND FLAT | 16.20 SAND FLAT | 16.20 SAND FLAT | 16.20 SAND FLAT |
| C         | 16.20 SAND FLAT | 16.20 SAND FLAT | 16.20 SAND FLAT | 16.20 SAND FLAT | 16.20 SAND FLAT | 16.20 SAND FLAT |
| D         | 16.20 SAND FLAT | 16.20 SAND FLAT | 16.20 SAND FLAT | 16.20 SAND FLAT | 16.20 SAND FLAT | 16.20 SAND FLAT |
| E         | 16.20 SAND FLAT | 16.20 SAND FLAT | 16.20 SAND FLAT | 16.20 SAND FLAT | 16.20 SAND FLAT | 16.20 SAND FLAT |

VERIFY ALL ROOF FINISHES WITH APPROVED COLOR SCHEMES.

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Issue Date: mo/dd/yr  
Revision Date:



Project #: 25027  
Sheet Name: "E" Elevations and Roof Plan  
Sheet #:

A3002-12





Tract No. XX  
Dinuba, C.A.





EXTERIOR ELEVATION - GENERAL NOTES

SCALE 1/4" = 1' 0"

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### EXTERIOR ELEVATION - KEYNOTES

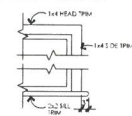
(SEE EXTERIOR ELEVATION FINISHES)

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### EXTERIOR ELEVATION FINISHES

| ELEVATION | ST. COGS FINE    | ST. COGS FINE    | EMULATED AC. TO<br>SICING FINE | EMULATED AC. TO<br>TRIAL COGS FINE | SH. TERS |
|-----------|------------------|------------------|--------------------------------|------------------------------------|----------|
| A         | 16.20 SAND F.CAT | 16.20 SAND F.CAT | WOOD GRAIN                     | WOOD GRAIN                         |          |
| B         | 16.20 SAND F.CAT | 16.20 SAND F.CAT | WOOD GRAIN                     | WOOD GRAIN                         |          |
| C         | 16.20 SAND F.CAT | 16.20 SAND F.CAT | WOOD GRAIN                     | WOOD GRAIN                         |          |
| D         | 16.20 SAND F.CAT | 16.20 SAND F.CAT | WOOD GRAIN                     | WOOD GRAIN                         |          |
| E         | 16.20 SAND F.CAT | 16.20 SAND F.CAT | WOOD GRAIN                     | WOOD GRAIN                         |          |

WINDOWS. REFER TO COLOR SCHEMES



- TYPICAL WINDOW - SEE DETAIL 4/AD.105
- TYPICAL RECESSED WINDOW - SEE DETAIL 15/AD.105
- TYPICAL DOOR - SEE DETAIL 10/AD.104
- TYPICAL SLIDING GLASS DOOR - SEE DETAIL 12/AD.104
- TYPICAL GAPAGE DOOR - SEE DETAIL 14 & 16/AD.104

TYP. "A", "B" & "C" TRIM

ROOF PLAN - GENERAL NOTES

SCALE 1/8" = 1'-0"

1. REFER TO STANDARD R/C PLAN & REINFORCEMENT DRAWING FOR GENERAL R/C PLAN.
2. ALL EXTERIOR DETAILS AND DIMENSIONS ARE TYPICAL. SEE "CONSTRUCTION" IN 101.
3. PROVIDE MINIMUM 2% COMPRESSION REINFORCEMENT PLUMPS AT ALL VALLES AND ROOF TO WALL CONNECTIONS.
4. ALL ROOF AND WALL FLASHINGS SHALL BE EQUIPPED WITH CORROSION RESISTANT NON-COMBURBLE WIRE MESH OR MAINTAINING MESH COVERING.
5. REFER TO SOLAR PLANS FOR ALL SOLAR PANEL AND ELECTRICAL INSTALLATION REINFORCING.
6. PROVIDE FACE COUNTER FLASHING AT ALL FLASH TO WALL TERMINATIONS - SEE DETAIL F.A.D./102
7. PROVIDE TOE WALL FLASHING - SEE DETAIL F.A.D./102
8. ATIC F.A.D. - SEE DETAIL F.A.D./100
9. PIPE VENT PENETRATIONS - SEE DETAIL F.A.D./102

### ROOF PLAN - KEYNOTES

- 2 CORROSION RESISTANT GUTTER AND DOWNSPOUTS - DRAIN TO CONC. FLATWORK / SPLASH BLOCK

ROOF FINISHES/ DETAIL NOTES

| ELEVATION | ROOF USE      | DETAIL   | PAVING U.N.C. | BARRE U.N.C. | P.S. TYPING AND N.T. |      |
|-----------|---------------|----------|---------------|--------------|----------------------|------|
|           |               |          |               |              | RAVE                 | RATE |
| "A"       | COMP. SHINGLE | 4 AG (1) | 268           | 268          | 6"                   | 6"   |
| "B"       | COMP. SHINGLE | 4 AG (1) | 268           | 268          | 6"                   | 6"   |
| "C"       | COMP. SHINGLE | 4 AG (1) | 268           | 268          | 6"                   | 6"   |
| "D"       | COMP. SHINGLE | 4 AG (1) | 268           | 268          | 6"                   | 6"   |
| "E"       | COMP. SHINGLE | 4 AG (1) | 268           | 268          | 6"                   | 6"   |

VERIFY ALL RC OF FINISHES WITH APPROVED COLOUR SCHEMES.

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TREASURES AT LOS PRADOS

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Issue Date: \_\_\_\_\_  
mo/dd/yr  
Revision Date: \_\_\_\_\_



Project #: 25027  
Sheet Name: " Elevations

Sheet #:

A3003-5

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EXTERIOR ELEVATION - GENERAL NOTES

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**EXTERIOR ELEVATION - KEYNOTES**

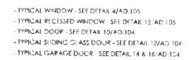
(SEE EXTERIOR ELEVATION FINISHES)

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### EXTERIOR ELEVATION FINISHES

| ELEVATION | STRUCTURE        | STRUCTURE CORNER FINISH | IMPERIATED FLOOR SLAB FINISH | IMPERIATED FLOOR CORNER FINISH | IN-TILES |
|-----------|------------------|-------------------------|------------------------------|--------------------------------|----------|
| A         | 16.20 SAND FLOAT | 16.20 SAND FLOAT        | WOOD GRAIN                   | WOOD GRAIN                     |          |
| T         | 16.70 SAND FLOAT | 16.70 SAND FLOAT        | WOOD GRAIN                   | WOOD GRAIN                     |          |
| C         | 16.20 SAND FLOAT | 16.20 SAND FLOAT        | WOOD GRAIN                   | WOOD GRAIN                     |          |
| D         | 16.20 SAND FLOAT | 16.20 SAND FLOAT        | WOOD GRAIN                   | WOOD GRAIN                     |          |
| E         | 16.20 SAND FLOAT | 16.20 SAND FLOAT        | WOOD GRAIN                   | WOOD GRAIN                     |          |

WINDOWS: REFER TO COLOR SCHEME



TYP. "A", "B" & "C" TRIM

ROOF PLAN - GENERAL NOTES

SCALE 1/8" = 1'-0"

7. REFER TO STANDARD R.O.F. PLAN FOR INFORMATION ON ALL SKYLINE AND ACCESSORY R.O.F. PLANS
8. ALL ELEVATIONS, DETAILS AND DIMENSIONS ARE TYPICAL TO THIS CONSTRUCTION.
9. PROVIDE MINIMUM 2% COMPRESSION RESISTANT METAL FLASHING AT ALL VALLEYS AND ROOF TO WALL CONNECTIONS.
10. ALL ROOF WALLS WITH VENTS SHALL BE SECURED WITH CORROSION RESISTANT NON-CONDUCTIVE WIRE NAILS WITH 1/4" MINIMUM BITE DEPTH.
11. REFER TO SOGAR PLAN FOR ALL SOLAR PANELS AND ELECTRICAL INSTALLATION INSTRUCTIONS.
12. PROVIDE FACE OUT FLASHING AT ALL EAVES TO WALL TERMINATIONS. SEE DETAIL PLAN 102
13. REFER TO WALL FLASHING - SEE DETAIL 112 AND 102
14. ATIC P.A.U. - SEE DETAIL 112 AND 102
15. PIPE VENT PENETRATIONS - SEE DETAIL 112 AND 102

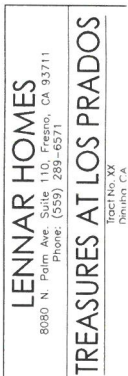
### ROOF PLAN - KEYNOTES

1. CORROSION RESISTANT METAL CURBLET - SEE DETAIL 3/AD-102  
2. CORROSION RESISTANT GUTTER AND DOWNSPOUTS - GRAB TO CONC. FLATWORK / SPLASH BLOCK

ROOF FINISHES/ DETAIL NOTES

| ELEVATION | ROOF TYPE     | DETAIL    | PAVING UNIT | BASE UNIT | PAVING UNIT | BASE UNIT |
|-----------|---------------|-----------|-------------|-----------|-------------|-----------|
| "A"       | COMP. SHINGLE | 4 A-1 (1) | 24x         | 24x       | 6"          | 6"        |
| "B"       | COMP. SHINGLE | 4 A-1 (1) | 24x         | 24x       | 6"          | 6"        |
| "C"       | COMP. SHINGLE | 4 A-1 (1) | 24x         | 24x       | 6"          | 6"        |
| "D"       | COMP. SHINGLE | 4 A-1 (1) | 24x         | 24x       | 6"          | 6"        |
| "E"       | COMP. SHINGLE | 4 A-1 (1) | 24x         | 24x       | 6"          | 6"        |

VERIFY ALL ROOF FINISHES WITH APPROVED COLOR SCHEMES



Issue Date:  
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Revision Date:



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| Project #:  | 25027          |
| Sheet Name: | "B" Elevations |

Sheet #:  
A3003-7

SCALE 1" = 1'-0"

- EXTERIOR ELEVATION - KEYNOTES (SEE EXTERIOR ELEVATION FINISHES)

(SEE EXTERIOR ELEVATION FINISHES)

- ## 2A CORROSION-RESISTANT METAL CRACKS

20. CORROSION RESISTANT METAL SADDLE FLASHING  
20. CORROSION RESISTANT METAL CONTROL JOINT

- 3A WOOD FASCIA / GARGE BOARD - REFER TO ROOF FINISH DE  
3B WOOD TRIM

4. SIMULATED WOOD

- 4C CEMENTIOUS-FIBER 5' LAP JOINT

- 4F. MOLDED POLYURETHANE OR HIGH DENSITY EPS INSULATION

- 5A CONCRETE SLOPPED PORCH - REFER TO SLAB EDGE PLAN FOR

- SC THIN BRICK VENEER ADHERED TO STUCCO - INSTALL PER MAN

68. OPTIONAL DOOR/ WINDOW - SEE FLOOR PLANS

- |           |               |                               |                     |
|-----------|---------------|-------------------------------|---------------------|
| ELEVATION | STUCCO FINISH | STUCCO PAINT<br>CORREL FINISH | SIMULATED<br>SIDING |
|-----------|---------------|-------------------------------|---------------------|

- |     |                  |                  |      |
|-----|------------------|------------------|------|
| "B" | 16/20 SAND FLOAT | 16/20 SAND FLOAT | WOOD |
| "C" | 16/20 SAND FLOAT | 16/20 SAND FLOAT | WOOD |

- VIEWGWS, PETER D. COLOR SCHEMES

- 
- Diagram of a rectangular block with a vertical force  $P$  applied at the top left corner. The force  $P$  is directed downwards and to the right. The block is labeled with dimensions: height  $h$  and width  $b$ . The weight  $W$  is indicated as acting downwards from the center of the block.

- 

- 
- TYPE

- END "A" "B" "C" "D" "E"

- BOOK PLAN - GENERAL NOTES

2. ALL KEYNOTES, DETAILS AND DIMENSIONS ARE TYPICAL TO THE

4. ALL ROOF, WALL AND EAVE VENTS SHALL BE SCREENED WITH MESH WITH 1/4" MAXIMUM MESH OPENINGS.

7. PROVIDE KICK OUT FLASHING AT ALL FASCIA TO WALL TERMINATIONS.

10. PIPE VENT PENETRATIONS - SEE DETAIL 11/AD.102

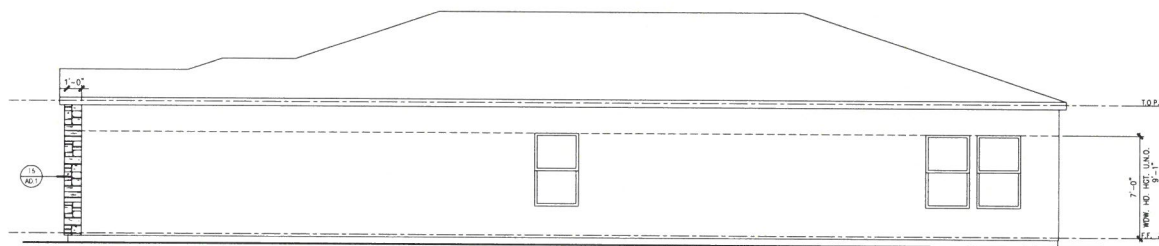
- 2 CORROSION RESISTANT GRITER AND DOWNSPOUTS - GRAB F

- | ELEVATION | ROOF LINE | DETAIL | FASTENING |
|-----------|-----------|--------|-----------|
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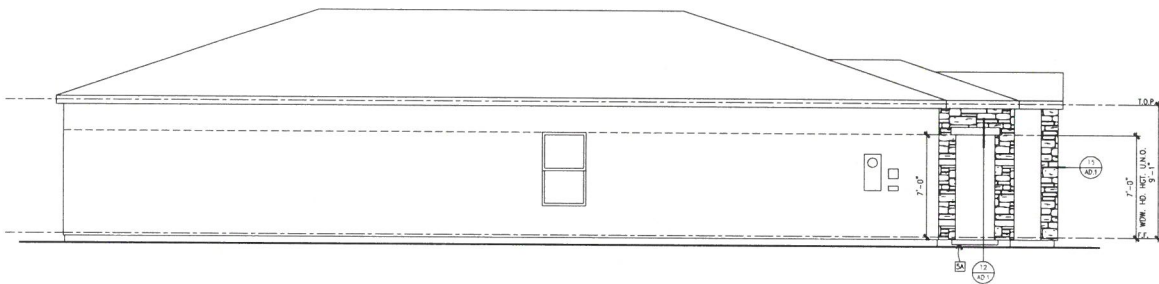
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| "B" | COMP. SHINGLE | 4 AD 101 | 2 |
| "C" | COMP. SHINGLE | 4 AD 101 | 2 |

- |   |               |          |   |
|---|---------------|----------|---|
| T | COMP. SHINGLE | 4/AD 101 | 2 |
|---|---------------|----------|---|
- VERIFY ALL ROOF FINISHES WITH APPROVED COLOR SCHEMES.





"C" RIGHT ELEVATION



"C" LEFT ELEVATION

# EXTERIOR ELEVATION - GENERAL NOTES

SCALE: 1/8" = 1'-0"

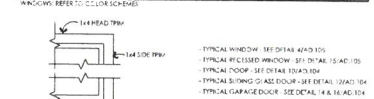
1. REFER TO STANDARD ELEVATION FOR INFORMATION NOT SHOWN OR ADEQUATE AND OPTIONAL ELEVATIONS.
2. ALL FINISHES, DETAILS AND DIMENSIONS ARE TYPICAL TO THEIR LOCATION UNLESS OTHERWISE NOTED.
3. FLOOR, ROOF, PLASTER, PAINT, ETC., SHALL BE INSTALLED AS SHOWN IN SECTION. FINISHES AND DIMENSIONS SHALL BE AS SHOWN IN SECTION. FINISHES AND DIMENSIONS SHALL BE AS SHOWN IN SECTION. FINISHES AND DIMENSIONS SHALL BE AS SHOWN IN SECTION.
4. ALL FINISHES SHOWN SHALL BE INSTALLED AS SHOWN IN SECTION. FINISHES AND DIMENSIONS SHALL BE AS SHOWN IN SECTION. FINISHES AND DIMENSIONS SHALL BE AS SHOWN IN SECTION.
5. WHEN A WINDOW IS SHOWN TO A CORNER, THE WINDOW HEADS SHALL ALSO BE SHOWN TO A CORNER.
6. ALL EXPOSED WOODS SHALL BE TYPICAL TO THEIR LOCATION UNLESS OTHERWISE NOTED.
7. PIPE AND PENETRATIONS, SEE DETAIL 11/AD-104.
8. INTERIOR FINISHES, SEE DETAIL 11/AD-105.
9. TYPICAL FLOOR FINISHES, SEE DETAIL 11/AD-106.
10. TYPICAL SCREEN, SEE DETAIL 11/AD-107.
11. TYPICAL SUCCO OUTSIDE CORNER, SEE DETAIL 11/AD-108.
12. TYPICAL LAP JOINT, SHINGLE BENDS OR PANEL BENDS OUTSIDE CORNER, SEE DETAIL 11/AD-109.
13. TYPICAL LAP JOINT, SHINGLE BENDS OR PANEL BENDS OUTSIDE CORNER, SEE DETAIL 11/AD-110.
14. WOODSHED ROOF ATTACHED, SEE DETAIL 11/AD-111.
15. TYPICAL POST TO WALL, SEE DETAIL 11/AD-112.
16. TYPICAL METAL, SEE DETAIL 11/AD-113.
17. TYPICAL WINDOW SHALL BE INSTALLED PER DETAIL 11/AD-114.

## EXTERIOR ELEVATION - KEYNOTES

(SEE EXTERIOR ELEVATION FINISHES)

1. EXTERIOR FINISHES
2. DECORATIVE COVERED GABLE END VIEW
3. SHUTTER PANELS FOR DECORATIVE COVERED GABLE
4. SHUTTER COVER (EXPOSED PORTIFERRE FLOOR CORNER)
5. METAL
6. CORROSION RESISTANT METAL CORNER
7. CORROSION RESISTANT METAL CORNER
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100. CORROSION RESISTANT METAL CORNER

| ELEVATION | FINISHES       | FINISHES       | FINISHES   | FINISHES   | FINISHES   |
|-----------|----------------|----------------|------------|------------|------------|
| A         | 1/2" SAND FLAT | 1/2" SAND FLAT | WOOD GRAIN | WOOD GRAIN | WOOD GRAIN |
| B         | 1/2" SAND FLAT | 1/2" SAND FLAT | WOOD GRAIN | WOOD GRAIN | WOOD GRAIN |
| C         | 1/2" SAND FLAT | 1/2" SAND FLAT | WOOD GRAIN | WOOD GRAIN | WOOD GRAIN |
| D         | 1/2" SAND FLAT | 1/2" SAND FLAT | WOOD GRAIN | WOOD GRAIN | WOOD GRAIN |
| E         | 1/2" SAND FLAT | 1/2" SAND FLAT | WOOD GRAIN | WOOD GRAIN | WOOD GRAIN |



TYP. "A", "B" & "C" TRIM

## ROOF PLAN - GENERAL NOTES

SCALE: 1/8" = 1'-0"

1. REFER TO STANDARD ROOF PLAN FOR INFORMATION NOT SHOWN OR ADEQUATE AND OPTIONAL ROOF PLANS.
2. ALL FINISHES, DETAILS AND DIMENSIONS ARE TYPICAL TO THEIR LOCATION UNLESS OTHERWISE NOTED.
3. PROVIDE MINIMUM 2" DIA. CORROSION RESISTANT METAL FLASHING AT ALL WALLS AND ROOF TO WALL CONNECTIONS.
4. ALL ROOF WALL AND VENT FINISHES SHALL BE TYPICAL TO THEIR LOCATION UNLESS OTHERWISE NOTED.
5. PROVIDE FLASHING AT ALL ROOF WALL AND VENT FINISHES.
6. PROVIDE FLASHING AT ALL ROOF WALL AND VENT FINISHES.
7. PROVIDE FLASHING AT ALL ROOF WALL AND VENT FINISHES.
8. PROVIDE FLASHING AT ALL ROOF WALL AND VENT FINISHES.
9. PROVIDE FLASHING AT ALL ROOF WALL AND VENT FINISHES.
10. PROVIDE FLASHING AT ALL ROOF WALL AND VENT FINISHES.

## ROOF PLAN - KEYNOTES

1. CORROSION RESISTANT METAL FLASHING, SEE DETAIL 11/AD-115.
2. CORROSION RESISTANT METAL FLASHING, SEE DETAIL 11/AD-116.

## ROOF FINISHES/DETAIL NOTES

| FINISHES | FINISHES      | FINISHES  | FINISHES  | FINISHES  | FINISHES  |
|----------|---------------|-----------|-----------|-----------|-----------|
| "A"      | COMP. SHINGLE | 4" AD-101 | 2" AD-101 | 2" AD-101 | 2" AD-101 |
| "B"      | COMP. SHINGLE | 4" AD-101 | 2" AD-101 | 2" AD-101 | 2" AD-101 |
| "C"      | COMP. SHINGLE | 4" AD-101 | 2" AD-101 | 2" AD-101 | 2" AD-101 |
| "D"      | COMP. SHINGLE | 4" AD-101 | 2" AD-101 | 2" AD-101 | 2" AD-101 |
| "E"      | COMP. SHINGLE | 4" AD-101 | 2" AD-101 | 2" AD-101 | 2" AD-101 |

VERIFY ALL ROOF FINISHES WITH APPROVED CULP & S. CHANGES

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Issue Date:  
mo/dd/yr  
Revision Date:



Project #:  
25027  
Sheet Name:  
"C" Elevations

Sheet #:  
A3003-9





EXTERIOR ELEVATION - GENERAL NOTES

SCALE 1/4" = 1'-0"

- [illegible]

### EXTERIOR ELEVATION - KEYNOTES

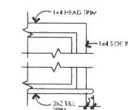
(SEE EXTERIOR ELEVATION FINISHES)

- 1A STUCCO OVER EXPANDED POLYSTYRENE (E.P.S.) FOAM TRIM  
1B DECORATIVE LOUVERED GABLE END VENT  
1C STUCCO FINISHED PROTECTED WANSICOF  
1D STUCCO OVER EXPANDED POLYSTYRENE FOAM COPREL

## 2. METALS

- 74 CORROSION RESISTANT METAL CLIP/CRUT
- 75 CORROSION RESISTANT METAL CORNER/POST
- 76 CORROSION RESISTANT METAL SLAB/SLAB PLATING
- 77 CORROSION RESISTANT METAL CONCRETE JOINT
- 78 WINDOW
- 79 WINDOW FRAME, FRAME SCAPES, FILTER WINDOW FRAME, DRAIN HOLES, S.W.D
- 80 WINDOW TRIM
- 81 WINDOW PILE
- 82 WINDOW PILE
- 83 WINDOW PILE
- 84 WINDOW PILE
- 85 WINDOW PILE
- 86 WINDOW PILE
- 87 WINDOW PILE
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- 89 WINDOW PILE
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- 92 WINDOW PILE
- 93 WINDOW PILE
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- 95 WINDOW PILE
- 96 WINDOW PILE
- 97 WINDOW PILE
- 98 WINDOW PILE
- 99 WINDOW PILE
- 100 WINDOW PILE

| LOCATION | SECTOR/FISH     | SPICE/FRUIT<br>CULINARY PLANT | SIMILATE WOOD<br>SEMI-DECIDUOUS | SIMILATE WOOD<br>TROPICAL EVERGREEN | W. TREES |
|----------|-----------------|-------------------------------|---------------------------------|-------------------------------------|----------|
| A        | 16.20 SAND FLAT | 16.20 SAND FLAT               | WOOD GRASS                      | WOOD GRASS                          |          |
| B        | 16.20 SAND FLAT | 16.20 SAND FLAT               | WOOD GRASS                      | WOOD GRASS                          |          |
| C        | 16.20 SAND FLAT | 16.20 SAND FLAT               | WOOD GRASS                      | WOOD GRASS                          |          |
| D        | 16.20 SAND FLAT | 16.20 SAND FLAT               | WOOD GRASS                      | WOOD GRASS                          |          |
| E        | 16.20 SAND FLAT | 16.20 SAND FLAT               | WOOD GRASS                      | WOOD GRASS                          |          |



TYP. "A", "B" & "C" TRIM

- TYPICAL WINDOW - SEE DETAIL A/AD 105
- TYPICAL RECESSED WINDOW - SEE DETAIL 15/AD 105
- TYPICAL DOOR - SEE DETAIL 10/AD 104
- TYPICAL SLIDING GLASS DOOR - SEE DETAIL 12/AD 104
- TYPICAL GARAGE DOOR - SEE DETAIL 14 & 16/AD 104

ROOF PLAN - GENERAL NOTES

SCALE 1/8" = 1'-0"

1. REFER TO STANDARD R/C JOINT - R INFORMATION IN JOINTS AND ACCESSORY R/C PLANS
2. ALL REINFORCING DETAILS AND DIMENSIONS ARE TYPICAL TO JOINT - (CONC'D IN U.L.L.)
3. PROVIDE MINIMUM 2% CORROSION RESISTANT METAL FLASHING AT ALL VALLEYS AND ROOF TO WALL CONNECTIONS.
4. ALL ROOF WALL AND FLOOR JOINTS MUST BE SCREENED WITH CORROSION RESISTANT NON CONDUCTIVE WIRE MESH OF MINIMUM 1/2" MESH OPENING.
5. REFER TO FLOOR PLANS FOR ALL FLOOR PANELS AND ELECTRICAL REINFORCEMENT NOTATIONS.
6. PROVIDE ROOF CUP FLASHING AT ALL FLASH TO WALL REINFORCEMENTS - (SEE DETAIL PLD 102)
7. PICK UP WALL FLASHING - (SEE DETAIL PLD 102)
8. ATIC FLASH - (SEE DETAIL PLD 102)
9. PIPE VENT PENETRATIONS - (SEE DETAIL PLD 102)

**ROOF PLAN - KEYNOTES**

1. CORROSION RESISTANT METAL CHICKET - SEE DETAIL 3-AD 102

| ELEVATION | ROOF TYPE     | WEATHERING | PASCAL UNITS | BARTON UNITS | BOULET-CHANDLER UNITS | FAVE | DAKE |
|-----------|---------------|------------|--------------|--------------|-----------------------|------|------|
| "A"       | COMP. SHINGLE | 4 AC 101   | 266          | 266          | 6"                    | 6"   |      |
| "B"       | COMP. SHINGLE | 4 AC 101   | 266          | 266          | 6"                    | 6"   |      |
| "C"       | COMP. SHINGLE | 4 AC 101   | 266          | 266          | 6"                    | 6"   |      |
| "D"       | COMP. SHINGLE | 4 AC 101   | 266          | 266          | 6"                    | 6"   |      |
| "E"       | COMP. SHINGLE | 4 AC 101   | 266          | 266          | 6"                    | 6"   |      |

VERIFY ALL R/C TOP FINISHES WITH APPROVED COLOR SAMPLES

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Issue Date:  
mo/dd/yr  
Revision Date:



|             |                              |
|-------------|------------------------------|
| Project #:  | 25027                        |
| Sheet Name: | "D" Elevations and Roof Plan |
| Sheet #:    |                              |

A3003-1C

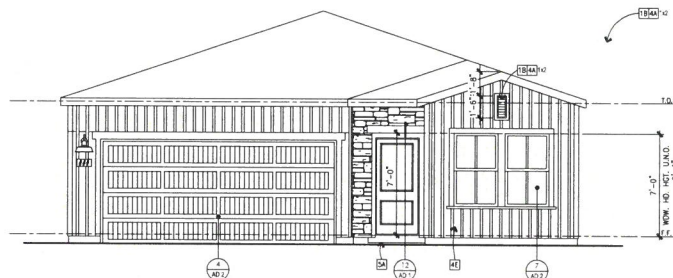
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Peer Rev. # 1003 10 Aug  
Print Complete Nov 27, 91

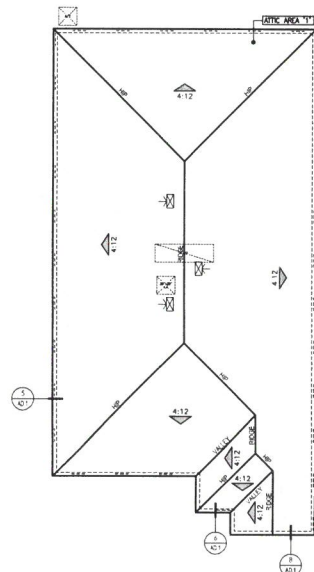




A3003-1



"E" FRONT ELEVATION



"E" ROOF PLAN

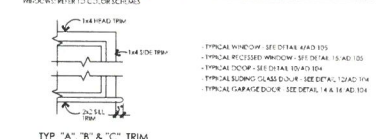


"E" REAR ELEVATION

- EXTERIOR ELEVATION - GENERAL NOTES**
1. REFER TO STANDARD ELEVATION FOR INFORMATION NOT SHOWN ON ARCHITECTURAL ELEVATION.
  2. ALL ELEVATIONS, DETAILS AND DIMENSIONS ARE TYPICAL TO THIS CONSTRUCTION.
  3. EXTERIOR FINISHES, MATERIALS AND DIMENSIONS ARE TYPICAL TO THIS CONSTRUCTION.
  4. ALL FINISHES, MATERIALS AND DIMENSIONS ARE TYPICAL TO THIS CONSTRUCTION.
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  16. ALL FINISHES, MATERIALS AND DIMENSIONS ARE TYPICAL TO THIS CONSTRUCTION.
  17. ALL FINISHES, MATERIALS AND DIMENSIONS ARE TYPICAL TO THIS CONSTRUCTION.

- EXTERIOR ELEVATION - KEYNOTES**
1. CORROSION RESISTANT METAL CRACKS
  2. CORROSION RESISTANT METAL CRACKS
  3. CORROSION RESISTANT METAL CRACKS
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  14. CORROSION RESISTANT METAL CRACKS
  15. CORROSION RESISTANT METAL CRACKS
  16. CORROSION RESISTANT METAL CRACKS
  17. CORROSION RESISTANT METAL CRACKS

| ELEVATION | FINISH          | DETAIL     | FINISH     | DETAIL     | FINISH     | DETAIL     |
|-----------|-----------------|------------|------------|------------|------------|------------|
| A         | 1/2" SAND/RELAT | WOOD GRAIN | WOOD GRAIN | WOOD GRAIN | WOOD GRAIN | WOOD GRAIN |
| B         | 1/2" SAND/RELAT | WOOD GRAIN | WOOD GRAIN | WOOD GRAIN | WOOD GRAIN | WOOD GRAIN |
| C         | 1/2" SAND/RELAT | WOOD GRAIN | WOOD GRAIN | WOOD GRAIN | WOOD GRAIN | WOOD GRAIN |
| D         | 1/2" SAND/RELAT | WOOD GRAIN | WOOD GRAIN | WOOD GRAIN | WOOD GRAIN | WOOD GRAIN |
| E         | 1/2" SAND/RELAT | WOOD GRAIN | WOOD GRAIN | WOOD GRAIN | WOOD GRAIN | WOOD GRAIN |



TYP. "A", "B" & "C" TRIM

- ROOF PLAN - GENERAL NOTES**
1. REFER TO STANDARD ROOF PLAN FOR INFORMATION NOT SHOWN ON ARCHITECTURAL PLANS.
  2. ALL ELEVATIONS, DETAILS AND DIMENSIONS ARE TYPICAL TO THIS CONSTRUCTION.
  3. EXTERIOR FINISHES, MATERIALS AND DIMENSIONS ARE TYPICAL TO THIS CONSTRUCTION.
  4. ALL FINISHES, MATERIALS AND DIMENSIONS ARE TYPICAL TO THIS CONSTRUCTION.
  5. ALL FINISHES, MATERIALS AND DIMENSIONS ARE TYPICAL TO THIS CONSTRUCTION.
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  15. ALL FINISHES, MATERIALS AND DIMENSIONS ARE TYPICAL TO THIS CONSTRUCTION.
  16. ALL FINISHES, MATERIALS AND DIMENSIONS ARE TYPICAL TO THIS CONSTRUCTION.
  17. ALL FINISHES, MATERIALS AND DIMENSIONS ARE TYPICAL TO THIS CONSTRUCTION.

- ROOF PLAN - KEYNOTES**
1. CORROSION RESISTANT METAL CRACKS
  2. CORROSION RESISTANT METAL CRACKS
  3. CORROSION RESISTANT METAL CRACKS
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  14. CORROSION RESISTANT METAL CRACKS
  15. CORROSION RESISTANT METAL CRACKS
  16. CORROSION RESISTANT METAL CRACKS
  17. CORROSION RESISTANT METAL CRACKS

| FINISH          | DETAIL     | FINISH     | DETAIL     | FINISH     | DETAIL     |
|-----------------|------------|------------|------------|------------|------------|
| 1/2" SAND/RELAT | WOOD GRAIN | WOOD GRAIN | WOOD GRAIN | WOOD GRAIN | WOOD GRAIN |
| 1/2" SAND/RELAT | WOOD GRAIN | WOOD GRAIN | WOOD GRAIN | WOOD GRAIN | WOOD GRAIN |
| 1/2" SAND/RELAT | WOOD GRAIN | WOOD GRAIN | WOOD GRAIN | WOOD GRAIN | WOOD GRAIN |
| 1/2" SAND/RELAT | WOOD GRAIN | WOOD GRAIN | WOOD GRAIN | WOOD GRAIN | WOOD GRAIN |
| 1/2" SAND/RELAT | WOOD GRAIN | WOOD GRAIN | WOOD GRAIN | WOOD GRAIN | WOOD GRAIN |

VERIFY ALL FINISHES WITH APPLICABLE COLOR SCHEMES

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Issue Date:  
mo/dd/yr  
Revision Date:



Project #:  
25027  
Sheet Name:  
"E" Elevations and  
Roof Plan  
Sheet #:  
A3003-12

Not for construction  
Printed on 11/1/2023



EXTERIOR ELEVATION - GENERAL NOTES

SCALE 1/4" = 1' 0"

- [illegible]

EXTERIOR ELEVATION - KEYNOTES

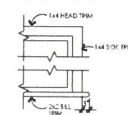
(SEE EXTERIOR ELEVATION FINISHES)

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EXTERIOR ELEVATION FINISHES

| RELEVANT | STRUCTURE       | STRUCTURE CORRECTION | IMPERFECT CORRECTION | IMPERFECT CORRECTION | IMPERFECT CORRECTION |
|----------|-----------------|----------------------|----------------------|----------------------|----------------------|
| A        | 16.20 SAND FLOT | 16.20 SAND FLOT      | WOOD GRAIN           | WOOD GRAIN           |                      |
| B        | 16.20 SAND FLOT | 16.20 SAND FLOT      | WOOD GRAIN           | WOOD GRAIN           |                      |
| C        | 16.20 SAND FLOT | 16.20 SAND FLOT      | WOOD GRAIN           | WOOD GRAIN           |                      |
| D        | 16.20 SAND FLOT | 16.20 SAND FLOT      | WOOD GRAIN           | WOOD GRAIN           |                      |
| E        | 16.20 SAND FLOT | 16.20 SAND FLOT      | WOOD GRAIN           | WOOD GRAIN           |                      |

WINDOWS: REFER TO COLOR SCHEMES



- TYPICAL WINDOW - SEE DETAIL 4/A/D, 105
- TYPICAL RECESSED WINDOW - SEE DETAIL 15/A/D, 105
- TYPICAL DOOR - SEE DETAIL 10/A/D, 104
- TYPICAL SLIDING GLASS DOOR - SEE DETAIL 12/A/D, 104
- TYPICAL GARAGE DOOR - SEE DETAIL 14 & 16/A/D, 104

TYP. "A", "B" &amp; "C" TRIM

ROOF PLAN - GENERAL NOTES

SCALE 1 CM = 11 CM

1. REFER TO STANDARD SPECIFICATIONS FOR FINISHES IN ORDER TO OBTAIN AN ACCURATE LIST OF FINISHES.
2. ALL FINISHED DETAILS AND ROOFING ARE TO BE AT LEAST TO THEIR CONDITION IN 100.
3. PROVIDE MINIMUM 24 GA. CORROSION RESISTANT METAL FLASHING AT ALL VALLEYS AND ROOF TO WALL CONNECTIONS.
4. ALL ROOF, WALL AND EAVE DETAILS ARE TO BE SCREENED WITH CORROSION RESISTANT NON COMBUSTIBLE WIRE (1/2" DIA. WIRE WITH 1/4" SQUARE SPACING).
5. REFER TO SOLAR PLANS FOR ALL ROOFING, FLASHING AND ELECTRICAL INSTALLATION INSTRUCTIONS.
6. PROVIDE EXCEL D-11 SHINGLES AT ALL FLASH TO WALL TERMINATIONS. SEE DETAIL 21A-102.
7. ROOF TO WALL FLASHING. SEE DETAIL 21A-102.
8. ATFC F-10. SEE DETAIL 41A-102.
9. PIPE PENETRATIONS. SEE DETAIL 21A-102.

### ROOF PLAN - KEYNOTES

1. CORROSION RESISTANT METAL CORNICE - SEE DETAIL 3/AD 104

## 2 CORROSION RESISTANT GUTTER AND DOWNS

| ROOF FINISHES/DETAIL NOTES |               |          |                 |               |                      |      |
|----------------------------|---------------|----------|-----------------|---------------|----------------------|------|
| ELEVATION                  | ROOF TYPE     | DETAIL   | FLASHING U.N.C. | BARTEE U.N.C. | R.S. FLOORING U.N.C. |      |
|                            |               |          |                 |               | BASE                 | FACE |
| "A"                        | CAMP. SHINGLE | 4" x 12" | 2x6             | 2x6           |                      |      |
| "B"                        | CAMP. SHINGLE | 4" x 12" | 2x6             | 2x6           | 5"                   | 6"   |
| "C"                        | CAMP. SHINGLE | 4" x 12" | 2x6             | 2x6           | 5"                   | 6"   |
| "D"                        | CAMP. SHINGLE | 4" x 12" | 2x6             | 2x6           | 5"                   | 6"   |
| "E"                        | CAMP. SHINGLE | 4" x 12" | 2x6             | 2x6           | 5"                   | 6"   |

VERIFY ALL RULOF FINISHES WITH APPROVED COLOR SCHEMES

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Issue Date:  
mo/dd/yr  
Revision Date:



|             |                |
|-------------|----------------|
| Project #:  | 25027          |
| Sheet Name: | "E" Elevations |

Sheet #:

A3003-13

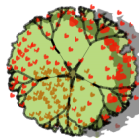


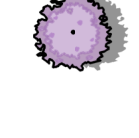

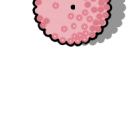

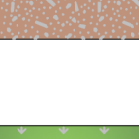
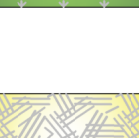

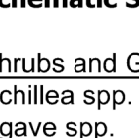
For a full 4000 ft long  
Full 1/2 mile long 27.28 mi

Plan and a 3000 ft. long  
Post Office May 27, 1890



# EXHIBIT E

## Schematic Tree Legend

|                                                                                    |                                                                               |              |
|------------------------------------------------------------------------------------|-------------------------------------------------------------------------------|--------------|
|    | LARGE STREET TREES                                                            | 62           |
|    | LARGE OAK TREES                                                               | 30           |
|    | MEDIUM OAK TREES                                                              | 25           |
|    | ENTRY ACCENT TREES                                                            | 85           |
|    | MEDIUM ACCENT TREES                                                           | 21           |
|    | SMALL/MEDIUM STREET TREES                                                     | 297          |
|    | SIDEWALK<br>4" thick layer of natural grey concrete;<br>'Broom' finish.       | 42,692 sf    |
|    | PLANTING AREA<br>5" thick layer of 'Screened Orchard<br>Mulch'.               | 140,541 sf   |
|    | TURF<br>Hydroseeded 'Tahoma' Bermuda turf.                                    | 52,784 sf    |
|   | PLAY AREA<br>12" thick layer of certified playground<br>mulch after settling. | 3,318 sf     |
|  | SITE<br>Total project area.                                                   | 1,952,116 sf |

## Schematic Shrub Legend

| Shrubs and Groundcover           |                                |
|----------------------------------|--------------------------------|
| Achillea spp.                    | Yarrow                         |
| Agave spp.                       | Agave                          |
| Aloe spp.                        | Aloe                           |
| Arctostaphylos spp.              | Manzanita                      |
| Artemisia sp. + cvs.             | Coastal Sage                   |
| Baccharis sp. + cvs.             | Coyote Bush                    |
| Bouteloua gracilis + cvs.        | Blue Gamma Grass               |
| Calamagrostis sp. + cvs.         | Reed Grass                     |
| Callistemon 'Little John'        | Dwarf Bottlebrush              |
| Carex sp.                        | Sedge                          |
| Carpenteria californica          | Bush Anemone                   |
| Ceanothus sp. + cvs.             | Wild Lilac                     |
| Chondropetalum tectorum          | Cape Rush                      |
| Cistus sp. + cvs.                | Rockrose                       |
| Cotoneaster 'Coral Beauty'       | Prostrate Cotoneaster          |
| Correa x 'Ivory Bells'           | Ivory Bells Australian Fuchsia |
| Dasyliro sp.                     | Desert Spoon                   |
| Dianella sp. + cvs.              | Blue Flax Lilly                |
| Echium candicans                 | Pride of Madera                |
| Eriogonum sp. + cvs.             | Buckwheat                      |
| Hesperaloe parvifolia            | Red Yucca                      |
| Heteromeles arbutifolia cvs.     | Toyon                          |
| Juniperus sp. + cvs.             | Juniper                        |
| Lantana x 'New Gold'             | New Gold Lantana               |
| Lavandula sp. + cvs.             | Lavender                       |
| Leucophyllum sp. + cvs.          | Texas Ranger                   |
| Leymus 'Canyon Prince'           | Wild Rye                       |
| Mahonia repens                   | Creeping Mahonia               |
| Muhlenbergia sp.                 | Muhly Grass                    |
| Nepeta x faassenii 'Walkers Low' | Catmint                        |
| Olea 'Lil Olie'                  | Dwarf Olive                    |
| Pennisetum sp. + cvs.            | Feather Grass                  |
| Penstemon sp. + cvs.             | Beard Tongue                   |
| Rhamnus californica cvs.         | Coffeeberry                    |
| Rhamnus alaternus                | Italian Buckthorn              |
| Rhus integrifolia                | Lemonadeberry                  |
| Rosemarinus sp. + cvs.           | Rosemary                       |
| Salvia sp. + cvs.                | Sage                           |
| Teucrium sp. + cvs.              | Germander                      |
| Verbenella ilacina 'De La Mina'  | De La Mina Verbena             |
| Westringia fruticosa + cvs.      | Coast Rosemary                 |
| Yucca sp. + cvs.                 | Yucca                          |
| Zauschneria sp. + cvs.           | California Fuchsia             |

Notes:  
1 - Graphic quantities take precedence over written quantities  
2 - All plants shall be of quality as prescribed in the details and specifications.  
3- All plant material shall be per the City of Visalia's approved plant list.  
Any tree not meeting such requirements shall be removed from the site and replaced at no cost to the owner.  
4 - Trees shall not be planted within:  
a. 6'-0" of drive approaches  
b. 6'-0" of sewer lines  
c. 6'-0" of water lines  
d. 10'-0" of fire hydrants  
e. 20'-0" of light standards  
5 - All quantities and amounts shown on the plans are best estimates for the benefit of the contractor. In field conditions may vary compared to what is shown on the plans.  
Therefore, it is the Contractor's responsibility to verify all lengths, square footages, and amounts prior to bidding the project.



# PRELIMINARY LANDSCAPE PLAN

## RITCHIE RANCH

VISALIA, CA

**WOOD ARCHITECTURE**

Project: 25027\_WA  
Date: 5.13.2025  
Scale: 1" = 50'

# PL-2.1

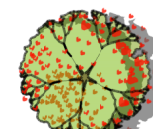

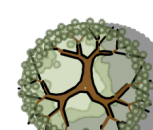
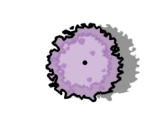


www.iwoodarchitecture.com

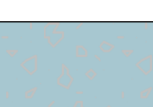








Notes:  
1 - Graphic quantities take precedence over written quantities  
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3 - All plant material shall be per the City of Visalia's approved plant list.  
Any tree not meeting such requirements shall be removed from the site and replaced at no cost to the owner.  
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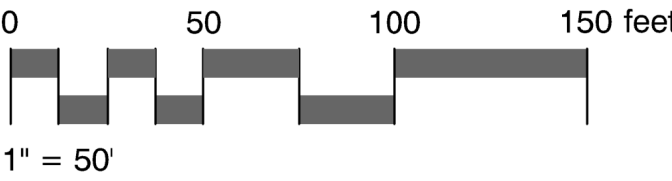
## Schematic Tree Legend

|                                                                                     |                                  |     |
|-------------------------------------------------------------------------------------|----------------------------------|-----|
|   | <u>LARGE STREET TREES</u>        | 62  |
|  | <u>LARGE OAK TREES</u>           | 30  |
|  | <u>MEDIUM OAK TREES</u>          | 25  |
|  | <u>ENTRY ACCENT TREES</u>        | 85  |
|  | <u>MEDIUM ACCENT TREES</u>       | 21  |
|  | <u>SMALL/MEDIUM STREET TREES</u> | 297 |

|                                                                                     |                                                                                      |              |
|-------------------------------------------------------------------------------------|--------------------------------------------------------------------------------------|--------------|
|  | <u>SIDEWALK</u><br>4" thick layer of natural grey concrete;<br>'Broom' finish.       | 42,692 sf    |
|  | <u>PLANTING AREA</u><br>5" thick layer of 'Screened Orchard<br>Mulch'.               | 140,541 sf   |
|  | <u>TURF</u><br>Hydroseeded 'Tahoma' Bermuda turf.                                    | 52,784 sf    |
|  | <u>PLAY AREA</u><br>12" thick layer of certified playground<br>mulch after settling. | 3,318 sf     |
|  | <u>SITE</u><br>Total project area.                                                   | 1,952,116 sf |

## Schematic Shrub Legend

| Shrubs and Groundcover             |                               |
|------------------------------------|-------------------------------|
| Achillea spp.                      | Yarrow                        |
| Agave spp.                         | Maquey                        |
| Aloe spp.                          | Aloe                          |
| Arctostaphylos spp.                | Manzanita                     |
| Artemisia sp. + cvs.               | Coastal Sage                  |
| Baccharis sp. + cvs.               | Coyote Bush                   |
| Bouteloua gracilis + cvs.          | Blue Gamma Grass              |
| Calamagrostis sp. + cvs.           | Reed Grass                    |
| Callistemon 'Little John'          | Dwarf Bottlebrush             |
| Carex sp.                          | Sedge                         |
| Carpenteria californica            | Bush Anemone                  |
| Ceanothus sp. + cvs.               | Wild Lilac                    |
| Chondropetalum tectorum            | Cape Rush                     |
| Cistus sp. + cvs.                  | Rockrose                      |
| Cotoneaster 'Coral Beauty'         | Prostrate Cotoneaster         |
| Correa x 'Ivory Bells'             | Ivory Bells Australian Fuscha |
| Dasyliro sp.                       | Desert Spoon                  |
| Dianella sp. + cvs.                | Blue Flax Lilly               |
| Echium candicans                   | Pride of Madera               |
| Eriogonum sp. + cvs.               | Buckwheat                     |
| Hesperaloe parvifolia              | Red Yucca                     |
| Heteromeles arbutifolia cvs.       | Toyon                         |
| Juniperus sp. + cvs.               | Juniper                       |
| Lantana x 'New Gold'               | New Gold Lantana              |
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| Leymus 'Canyon Prince'             | Wild Rye                      |
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| Olea 'Lil Ole'                     | Dwarf Olive                   |
| Pennisetum sp. + cvs.              | Feather Grass                 |
| Penstemon sp. + cvs.               | Beard Tongue                  |
| Rhamnus californica cvs.           | Coffeeberry                   |
| Rhamnus alaternus                  | Italian Buckthorn             |
| Rhus integrifolia                  | Lemonadeberry                 |
| Rosemarinus sp. + cvs.             | Rosemary                      |
| Salvia sp. + cvs.                  | Sage                          |
| Teucrium sp. + cvs.                | Germander                     |
| Verbena ilacina 'De La Mina'       | De La Mina Verbena            |
| Westringia fruticosa + cvs.        | Coast Rosemary                |
| Yucca sp. + cvs.                   | Yucca                         |
| Zauschneria sp. + cvs.             | California Fuchsia            |



# PRELIMINARY LANDSCAPE PLAN

## RITCHIE RANCH

VISALIA, CA





July 11, 2025

To: City of Visalia  
Community Development Department  
315 E. Acequia Avenue  
Visalia, CA 93291

**SUBJECT: Operational Statement for Vesting Tentative Tract Map: Ritchie Ranch**

|                                |                                               |
|--------------------------------|-----------------------------------------------|
| APN:                           | 077-060-022                                   |
| Total Acreage:                 | 44.89 Acres                                   |
| Existing Land Use Designation: | Agricultural                                  |
| Proposed Land Use Designation: | Single Family Residential/Planned Development |
| Existing Zoning:               | Residential Low Density                       |
| Proposed Zoning:               | R-1-5/PD (Single Family Residential)          |
| Existing Jurisdiction:         | City of Visalia                               |
| Density:                       | 7.15 Units per Acre                           |
| Flood Zone:                    | X                                             |

Operational Statement:

Tentative Tract Map Ritchie Ranch is located at the Southwest corner of West Riverway Avenue and North Demaree Street up to Modoc Ditch in the City of Visalia. Ritchie Ranch is also bound to existing single family residential subdivisions, north, south: once passing of Modoc Ditch and east of the project.

Lennar Homes of California is proposing a single-family residential community with 320 lots for Ritchie Ranch, that will consist of 4 phases. Phase 1 will consist of 94 lots with minimum lot sizes at 2,800 sq. ft. to 6,270 sq. ft. maximum, being a knuckle lot. Phase 2 will consist of 96 lots with minimum lot sizes at 2,800 sq. ft. to 5,705 sq. ft. maximum. Phase 3 will consist of 48 lots with minimum lots sizes at 3,032 sq. ft. to 7,649 sq. ft. maximum, being a knuckle lot. Phase 4 will consist of 82 lots with minimum lot sizes at 3,031 sq. ft. to 7,039 sq. ft. maximum, being knuckle lot.

Ritchie Ranch consists of 6 LLMD Outlots, B, C, D, E, G, and H, which are all offsite Outlots.

Outlot A (Park): 44,895 sq. ft.  
Outlot B: 925 sq. ft.  
Outlot C: 5,029 sq. ft.  
Outlot D: 14,073 sq. ft.  
Outlot E: 6,357 sq. ft.  
Outlot F (Park): 39,594 sq. ft.  
Outlot G: 12,837 sq. ft.  
Outlot H: 8,132 sq. ft.

*\*Note: Outlots A and F are Pocket Park Outlots.*

8080 N. Palm Ave. • Suite 110 • Fresno, CA 93711 • Office: 559-447-3400 • Fax: 559-447-3404

**LENNAR.COM**





Lennar Homes is proposing a CUP for Tentative Tract Map Ritchie Ranch, Tract 5600, to be a Planned Development to achieve narrower lots, shorter lot depth, smaller lot sizes and reduced setbacks.

The standard setbacks are as follows:

Side Yard: 5'-0"  
Street Side Yard: 10'-0"  
Rear Yard: 25'-0"  
Front Yard to Garage: 22'-0"  
Front Yard to Living: 15'-0"

The Proposed Setbacks are as follows:

Side Yard: 5'-0"  
Street Side Yard: 10'-0"  
Rear Yard: 10'-0"  
Front Yard to Garage: 20'-0"  
Front Yard to Living: 12'-0'

The plan series that will be offered at Ritchie Ranch are the following:

**Plan Series Celestials:**

Plan 2501: 1786 Square Feet Residence, 2 story  
Plan 2502: 1960 Square Feet Residence, 2 story  
Plan 2503: 2116 Square Feet Residence, 2 story

**Plan Series Alfa:**

Plan L015: 1576 Square Feet Residence, 2 story  
Plan L016: 1855 Square Feet Residence, 2 story  
Plan L017: 1646 Square Feet Residence, 2 story  
Plan L034: 1969 Square Feet Residence, 2 story

**Plan Series Treasures:**

Plan 3001: 1341 Square Feet Residence, 1 story  
Plan 3002: 1564 Square Feet Residence, 1 story  
Plan 3003: 1755 Square Feet Residence, 1 story

**Amenities**

Amenities will include open space areas with 2 neighborhood parks within the community that will include landscaping, concrete walkways, and benches.

- Park 1 – Outlot A (44,895 sq. ft.)
- Park 2 – Outlot F (39,594 sq. ft.)

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**LENNAR.COM**





### **Improvements**

Improvements will include 2 median islands along Shannon Pkwy, sidewalks, and landscape strips along Shannon Pkwy and North Demaree Avenue and landscaping along Modoc Ditch. It will also include the installation of a median within Demaree Street.

### **Phasing**

Development will be done in 2 Phases. Phase 1 (which consists of Phases 1 & 2) will be built first, as it will include the extension of Demaree Street and Shannon Parkway. Phase 2 (which is phases 3 & 4 of the TSM map) will be built second.

### **Land Use**

The existing land use is agricultural and vacant land. Lennar Homes is proposing R-1-5, Single Family Residence Planned Development.

### **Entitlements**

The entitlements will include Vesting Tentative Tract Map and Conditional Use Permit to reduce the standard setbacks, narrower lot widths and smaller lot sizes. In addition, we are requesting non-standard knuckles, as described in the latest version of the subdivision map. These will be incorporated at the intersections of Chinowth and Porter, and Chinowth and Sedona.

The proposed community will be more compatible with the surrounding area that includes similar single-family residential homes.

Sincerely,

*Melody Haigh*

Melody Haigh, Entitlement Manager  
Lennar Homes of California, LLC  
559-881-0860



## CALIFORNIA WATER SERVICE

Visalia District 216 North Valley Oaks Drive  
Visalia, CA 93292 Tel: (559) 624-1600

### Will Serve Letter

May 5, 2025

*City of Visalia*  
315 E. Acequia Ave  
Visalia CA 93291

**Tentative Subdivision Map No. 5600**

**APN 077-060-022**

**Southwest Corner of West Riverway Ave. and North Demaree St.  
Ritchie Ranch of Lennar Homes**

Dear: City of Visalia,

California Water Service Company Visalia district ("Cal Water") has determined that water is available to serve the above-referenced project based on the information provided. Cal Water agrees to operate the water system and provide service in accordance with the rules and regulations of the California Public Utilities Commission (CPUC) and the company's approved tariffs on file with the CPUC. This determination of water availability shall remain valid for **two years** from the date of this letter. If construction of the project has not commenced within this **two year** time frame, Cal Water will be under no further obligation to serve the project unless the developer receives an updated letter from Cal Water reconfirming water availability. Additionally, Cal Water reserves the right to rescind this letter at any time in the event its water supply is severely reduced by legislative, regulatory or environmental actions.

Cal Water will provide such potable water at such pressure as may be available from time to time as a result of its normal operations per the company's tariffs on file with the CPUC. Installation of facilities through developer funding shall be made in accordance with the current rules and regulations of the CPUC including, among others, Tariff Rules 15 and 16 and General Order 103-A. In order for us to provide adequate water for domestic use as well as fire service protection, it may be necessary for the developer to fund the cost of special facilities, such as, but not limited to, booster pumps, storage tanks in addition to the cost of mains and services. Developer will also be required to contribute towards Cal Water's water supply by paying facilities fees on a per lot basis as described in Rule 15. Cal Water will provide more specific information regarding special facilities and fees after you provide us with your improvement plans, fire department requirements, and engineering fees for this project.





## CALIFORNIA WATER SERVICE

This letter shall at all times be subject to such changes or modifications by the CPUC as said Commission may, from time to time, require in the exercise of its jurisdiction.

If you have any questions regarding the above, please call (559-624-1620)

Sincerely,

A handwritten signature in blue ink, appearing to read "Stephen Johnson", is written over the printed name.

Stephen Johnson  
District Manager

cc: Patrick Kalvass  
Scott Wagner  
File





**Modoc Ditch Company  
P.O. Box 366  
Farmersville, CA 93223**

March 29, 2024

Modoc Ditch board of directors met on 2/20/2024 to determine the feasibility of abandoning the north branch located along Ave.316 River Way, along with quit claiming Modoc interest in a narrow area traversing through the middle of Larry Ritchie's property.

The BOD approved the abandonment of the north ditch and agreed to quit claim Modoc's interest in the narrow parcel.

Modoc also approved expanding the south ditch, this area will either be acquired in fee or through an easement. Modoc will meet with the developer to decide the best path forward with the understanding of the proposed subdivision. Modoc will provide the necessary easements to allow for an outflow storm drain structure through Modoc ditch property.

Thank you,

*James Silva*

James Silva  
Secretary/Manager

CITY OF VISALIA  
315 E. ACEQUIA AVENUE  
VISALIA, CA 93291

## **NOTICE OF A PROPOSED MITIGATED NEGATIVE DECLARATION**

**Project Title:** **Ritchie Ranch Tentative Subdivision Map No. 5600, Conditional Use Permit No. 2024-23**

**Project Description:** **Ritchie Ranch Subdivision Map No. 5600** is a request by Lennar Homes of California LLC to subdivide a parcel totaling approximately 44.89 acres into 320 lots for single-family residential use, six outlots for landscaping, and two outlots for use as pocket parks, to be located within the R-1-5 (Single-Family Residential, 5,000 square foot minimum site area) zone. **Conditional Use Permit No. 2024-23** is a request by Lennar Homes of California LLC for a planned residential development on a 44.89-acre parcel, consisting of 320 single-family residential lots, located within the R-1-5 (Single-Family Residential, 5,000 square foot minimum site area) zone. The proposal will include non-standard lots that will be less than 5,000 square feet in size, with reduced lot widths, and reduced setbacks.

The project will include the construction of local streets within the subdivision, connection to North Demaree Street and West Shannon Parkway to the east, and connection to West Riverway Avenue to the north. Right of way dedications and frontage street improvements will be conducted along the listed streets, to include construction of curb, gutter, sidewalks, installation of park strip landscaping, block walls, and installation of streetlights throughout the subdivision. Lastly the subdivision will include development of two pocket parks for use by the general public.

The development of the property, if approved, will create additional housing units in the northwest quadrant of the City at a density of 7.13 dwelling units to the gross acre within the Low Density Residential designation area; which is consistent with the General Plan.

**Project Location:** The project site is located on the southwest corner of West Riverway Avenue and North Demaree Street (APN: 077-060-022).

**Contact Person:** Cristobal Carrillo, Associate Planner

**Phone:** (559) 713-4443

**Email:** [cristobal.carrillo@visalia.city](mailto:cristobal.carrillo@visalia.city)

**Time and Place of Public Hearing:** A public hearing will be held before the Planning Commission on August 25, 2025, at 7:00 p.m. in the City Hall Council Chambers located at 707 W. Acequia Ave, Visalia, California.

Pursuant to City Ordinance No. 2388, the Environmental Coordinator of the City of Visalia has reviewed the proposed project described herein and has found that the project will not result in any significant effect upon the environment because of the reasons listed below:

**Reasons for Mitigated Negative Declaration:** Initial Study No. 2024-33 has identified certain significant, adverse environmental impact(s) that may occur because of the project, though with mitigation these impact(s) will be reduced to a level that is less than significant. Copies of the initial study and other documents relating to the subject project may be examined by interested parties at the Planning Division in City Hall East, at 315 East Acequia Avenue, Visalia, CA, and online at:

[https://www.visalia.city/depts/community\\_development/planning/ceqa\\_environmental\\_review.asp](https://www.visalia.city/depts/community_development/planning/ceqa_environmental_review.asp)

Comments on this proposed Mitigated Negative Declaration will be accepted from July 31, 2025 to August 20, 2025.

Date: July 29, 2025

Signed: \_\_\_\_\_



Brandon Smith, AICP  
Environmental Coordinator  
City of Visalia

- (a) The project does not have the potential to degrade the quality of the environment, substantially reduce the habitat of a fish or wildlife species, cause a fish or wildlife population to drop below self-sustaining levels, threaten to eliminate a plant or animal community, reduce the number or restrict the range of a rare or endangered plant or animal, or eliminate important examples of the major periods of California history or prehistory.
- (b) The project does not have the potential to achieve short-term environmental goals to the disadvantage of long-term environmental goals.
- (c) The project does not have environmental effects which are individually limited but cumulatively considerable. Cumulatively considerable means that the incremental effects of an individual project are considerable when viewed in connection with the effects of past projects, the effects of other current projects, and the effects of probable future projects.
- (d) The environmental effects of the project will not cause substantial adverse effects on human beings, either directly or indirectly.

This Mitigated Negative Declaration has been prepared by the City of Visalia Planning Division in accordance with the California Environmental Quality Act of 1970, as amended. A copy may be obtained from the City of Visalia Planning Division Staff during normal business hours.

APPROVED  
Brandon Smith, AICP  
Environmental Coordinator

By: 

Date Approved: July 29, 2025

Review Period: 20 days

## MITIGATED NEGATIVE DECLARATION

**Project Title:** Ritchie Ranch Tentative Subdivision Map No. 5600 and Conditional Use Permit No. 2024-23.

### Project Description:

Ritchie Ranch Subdivision Map No. 5600 is a request by Lennar Homes of California LLC to subdivide a parcel totaling approximately 44.89 acres into 320 lots for single-family residential use, six outlots for landscaping, and two outlots for use as pocket parks, to be located within the R-1-5 (Single-Family Residential, 5,000 square foot minimum site area) zone.

Conditional Use Permit No. 2024-23 is a request by Lennar Homes of California LLC for a planned residential development on a 44.89-acre parcel, consisting of 320 single-family residential lots, located within the R-1-5 (Single-Family Residential, 5,000 square foot minimum site area) zone. The proposal will include non-standard lots that will be less than 5,000 square feet in size, with reduced lot widths, and reduced setbacks.

The project will include the construction of local streets within the subdivision, connection to North Demaree Street and West Shannon Parkway to the east, and connection to West Riverway Avenue to the north. Right of way dedications and frontage street improvements will be conducted along the listed streets, to include construction of curb, gutter, sidewalks, installation of park strip landscaping, block walls, and installation of streetlights throughout the subdivision. Lastly the subdivision will include development of two pocket parks for use by the general public.

The development of the property, if approved, will create additional housing units in the northwest quadrant of the City at a density of 7.13 dwelling units to the gross acre within the Low Density Residential designation area; which is consistent with the General Plan.

**Project Location:** The project site is located on the southwest corner of West Riverway Avenue and North Demaree Street (APN: 077-060-022).

**Project Facts:** Refer to Initial Study for project facts, plans and policies, and discussion of environmental effects.

### Attachments:

|                         |     |
|-------------------------|-----|
| Initial Study           | (X) |
| Environmental Checklist | (X) |
| Location Map            | (X) |
| Mitigation Measures     | (X) |
| Traffic Impact Study    | (X) |
| Biological Study        | (X) |
| Noise Study             | (X) |
| Cultural Study          | (X) |
| Air Impact Assessment   | (X) |

### DECLARATION OF NO SIGNIFICANT EFFECT:

This project will not have a significant effect on the environment for the following reasons:



INITIAL STUDY

I. GENERAL

A. Project Name and Description:

Ritchie Ranch Subdivision Map No. 5600 is a request by Lennar Homes of California LLC to subdivide a parcel totaling approximately 44.89 acres into 320 lots for single-family residential use, six outlots for landscaping, and two outlots for use as pocket parks, to be located within the R-1-5 (Single-Family Residential, 5,000 square foot minimum site area) zone.

Conditional Use Permit No. 2024-23 is a request by Lennar Homes of California LLC for a planned residential development on a 44.89-acre parcel, consisting of 320 single-family residential lots, located within the R-1-5 (Single-Family Residential, 5,000 square foot minimum site area) zone. The proposal will include non-standard lots that will be less than 5,000 square feet in size, with reduced lot widths, and reduced setbacks.

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The development of the property, if approved, will create additional housing units in the northwest quadrant of the City at a density of 7.13 dwelling units to the gross acre within the Low Density Residential designation area; which is consistent with the General Plan.

The project site is located on the southwest corner of West Riverway Avenue and North Demaree Street (APN: 077-060-022).

B. Identification of the Environmental Setting:

The project area is composed of one parcel totaling 44.89 acres. The parcel is currently employed for agricultural production and contains a single family residence, accessory storage buildings, and an agricultural well. The project site is directly bounded to the north by the Modoc Ditch and West Riverway Avenue (a two-lane local street), to the east by North Demaree Street (a four lane minor arterial street), and to the south by the Modoc Ditch. The site will also be bisected by West Shannon Parkway, a two lane collector street, which will run east to west through the middle of the project site. Development surrounding the project site consists of single family residential subdivisions to the north, south, and east, and agriculture to the west. City ponding basins are also found just east and west of the project site.

The surrounding uses, Zoning, and General Plan are as follows:

|        | General Plan<br>(2014 Land<br>Use)                           | Zoning (2017)                                                | Existing uses                                                        |
|--------|--------------------------------------------------------------|--------------------------------------------------------------|----------------------------------------------------------------------|
| North: | Residential Low<br>Density,<br>Residential<br>Medium Density | R-1-5 (Single<br>Family<br>Residential, 5,000<br>square foot | Wildhorse Ranch Subdivision,<br>Belissa Subdivision (in development) |

|        |                                                                                                                   |                                                                                                         |                                                                                                                                                                                      |
|--------|-------------------------------------------------------------------------------------------------------------------|---------------------------------------------------------------------------------------------------------|--------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
|        |                                                                                                                   | minimum site area), R-M-2 (Multifamily Residential, 3,000 square foot minimum site area)                |                                                                                                                                                                                      |
| South: | Residential Low Density                                                                                           | R-1-5                                                                                                   | Avalon Subdivision                                                                                                                                                                   |
| East:  | Residential Low Density, Conservation, Parks/Recreation, Residential Medium Density, Office, Commercial Mixed Use | R-1-5, QP (Quasi Public), R-M-2, O-PA (Professional Administrative Office), C-MU (Mixed Use Commercial) | Shannon Ranch Subdivision, City ponding basin, City trail, Kaweah Delta Urgent Care, Quail Park at Shannon Ranch Senior Living Facility, The Village at Willow Creek Shopping Center |
| West:  | Residential Low Density, Residential Medium Density                                                               | R-1-5, R-M-2, QP                                                                                        | Agricultural land, City ponding basin.                                                                                                                                               |

Fire and police protection services, street maintenance of public streets, refuse collection, and wastewater treatment will be provided by the City of Visalia upon the development of the area.

### **C. Plans and Policies:**

The General Plan Land Use Diagram, adopted October 14, 2014, designates the site as Residential Low Density and the Zoning Map, adopted in 2017, designates the site as R-1-5 (Single Family Residential, 5,000 square foot minimum site area). The proposed development is consistent with the Land Use Element of the General Plan, and consistent with the standards for residential zone development pursuant to the Visalia Municipal Code Title 17 (Zoning Ordinance) Chapter 17.12.

## **II. ENVIRONMENTAL IMPACTS**

No significant adverse environmental impacts have been identified for this project that cannot be mitigated to a *less than significant impact*. The City of Visalia Land Use Element, Zoning Ordinance, and Oak Tree Ordinance contain policies and regulations that are designed to mitigate impacts to a level of non-significance.

## **III. MITIGATION MEASURES**

The following mitigation measures, which are listed below under IV. Mitigation Monitoring Program, will reduce potential environmental impacts related to traffic, cultural, and biological impacts to a less than significant level as described below:

**Transportation / Traffic** – A Traffic Impact Study prepared for the proposed projects (ref.: Ritchie Ranch Residential Development Traffic Impact Study. VRPA Technologies, Inc., July 25, 2025) has

concluded that roadway operating conditions for intersections and roadways in the vicinity of the project area either are or will be significantly impacted with the addition of the proposed project. To ensure that intersections and roadways will operate at acceptable LOS “D” or better through the year 2030, the report recommends mitigation to be incorporated into the project.

**Cultural Resources** – A Cultural Resources Study prepared by Applied EarthWorks, Inc. (ref.: Cultural Resources Assessment and Evaluation for Ritchie Ranch, City of Visalia, Tulare County, California, March 2025) assessed the project site to determine whether cultural resources are present within the Project area. The investigation included a records search through the Southern San Joaquin Valley Information Center (SSJVIC) to identify previously recorded cultural resources and prior studies in the project vicinity, a request to the Native American Heritage Commission (NAHC) to review its Sacred Lands File (SLF) for known resources, and a pedestrian survey of the proposed Project area.

Consultant archaeologists observed four historic-era artifacts (two pieces of glass, and two ceramic fragments) widely scattered across the northern portion of the Project area, which previously contained a historic-era farmhouse. Because the consultant observed isolated historic-era artifacts in the northern half of the project area, it is possible that buried historic-era refuse deposits, objects, or structural remains may be uncovered during construction. As such mitigation measures as outlined in Section IV below are proposed in the event of unanticipated archaeological discovery or exposure of human remains during construction. Mitigations include recommendations that if a potential cultural resource is identified, a Native American monitor from the Santa Rosa Rancheria Tachi-Yokut Tribe (SRR) and an archaeological monitor be contracted to monitor the project for the duration of earthmoving activities. In the event of accidental discovery of unidentified archaeological remains during development or ground-moving activities in the Project area, all work within the immediate vicinity (within a 50-foot radius) should be halted until a qualified archaeologist can identify the discovery and assess its significance. Lastly, if human remains are uncovered during construction, the Tulare County Coroner is to be notified to investigate the remains and arrange proper treatment and disposition. If the remains are identified to be those of a Native American person, California Health and Safety Code 7050.5 requires that the county coroner notify the Native American Heritage Commission within 24 hours of discovery. The NAHC will then identify the Most Likely Descendant, who will be afforded the opportunity to recommend means for treatment of the human remains following protocols in California PRC 5097.98.

**Biological Resources** – A biological evaluation prepared by Live Oak Associates, Inc. (ref.: Biological Evaluation, Ritchie Ranch Development, Tulare County, California, June 21, 2024) assessed the project site and identified that the site has the potential to be used for nesting by a variety of migratory birds and raptors, including the Loggerhead Shrike, a California species of special concern, and Swainson’s hawk, a state-listed species. The project site’s mature trees also have the potential to be used for roosting by various bat species, possibly including the pallid bat (*Antrozous pallidus*), a California species of special concern. Lastly, valley oak trees were identified in the northern portion of the project site. Valley oaks are protected by the City of Visalia Oak Tree Protection Ordinance. The biological evaluation identified that impacts would be considered less than significant with mitigations pertaining to construction timing.

Staff has incorporated mitigation measures, as indicated in Section IV (Mitigation Monitoring Program) below, based on the conclusions of the above environmental factors. The City of Visalia Zoning Ordinance also contains guidelines, criteria, and requirements for the mitigation of potential impacts

related to light/glare, visibility screening, noise, and traffic/parking to eliminate and/or reduce potential impacts to a level of non-significance.

#### **IV. MITIGATION MONITORING PROGRAM**

| <b><u>Mitigation Measure</u></b>                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                        | <b><u>Responsible Party</u></b>    | <b><u>Timeline</u></b>                                                                                                                                                                                                                                    |
|---------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|------------------------------------|-----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| <b>Transportation / Traffic Impact Mitigation Measure 1.1: Demaree Street at Shannon Parkway:</b> <ul style="list-style-type: none"> <li>• Provide a 300-foot northbound left turn storage pocket.</li> <li>• Provide a 100-foot eastbound left turn storage pocket.</li> </ul>                                                                                                                                                                                                                                                                                                                         | Project Applicant                  | Mitigation shall be enforced and improvements completed prior to final occupancy of any building within the first phase of development.                                                                                                                   |
| <b>Transportation / Traffic Impact Mitigation Measure 1.2: Street L/Winslow Street at Shannon Parkway:</b> <ul style="list-style-type: none"> <li>• Provide a 100-foot eastbound left turn storage pocket.</li> <li>• Provide a 100-foot westbound left turn storage pocket.</li> </ul>                                                                                                                                                                                                                                                                                                                 | Project Applicant                  | Mitigation shall be enforced and improvements completed prior to final occupancy of any building within the first phase of development.                                                                                                                   |
| <b>Transportation / Traffic Impact Mitigation Measure 1.3: Demaree Street at Riggins Avenue:</b> <ul style="list-style-type: none"> <li>• For the southbound left turn storage pocket, the City of Visalia will monitor signal timing at the intersection and make adjustments as necessary to maximize vehicular flow at the intersection, since there is insufficient space to extend the southbound left due to the constraint of the northbound left turn pocket at the Demaree Street and Jerome Avenue intersection.</li> <li>• Provide a 300-foot eastbound left turn storage pocket.</li> </ul> | Project Applicant, City of Visalia | Mitigation shall be enforced. The City of Visalia will monitor signal timing at the intersection, and improvements will be completed within five years or as warranted, after the occupancy of the first building within the first phase of development.  |
| <b>Transportation / Traffic Impact Mitigation Measure 1.4: Linwood Street at Riggins Avenue.</b> Since this intersection is currently a 'T' intersection, the City of Visalia will monitor the need for intersection improvements and signalization. Once the north leg of Linwood Street is developed by others, the following improvements are recommended:                                                                                                                                                                                                                                           | Project Applicant, City of Visalia | Mitigation shall be enforced. The City of Visalia will monitor traffic counts at the intersection, and improvements will be completed within five years or as warranted, after the occupancy of the first building within the first phase of development. |



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| <ul style="list-style-type: none"> <li>• Provide a 100-foot northbound left turn storage pocket.</li> <li>• Provide a 100-foot southbound left turn storage pocket.</li> <li>• Provide a 100-foot eastbound right turn storage pocket.</li> <li>• Provide a 100-foot westbound right turn storage pocket.</li> </ul>                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                          |                   |                                                                                         |
| <p><b>Biological Resources Mitigation Measure 2.1 (Nesting Raptors and Migratory Birds Including Loggerhead Shrike):</b></p> <p>Construction Timing: If feasible, the project will be implemented outside of the avian nesting season, typically defined as February 1 to August 31.</p> <p>If construction must occur between February 1 and August 31, a qualified biologist will conduct pre-construction surveys for active bird nests within 10 days prior to the start of construction. The survey area will encompass the site and accessible surrounding lands within 250 feet for nesting migratory birds and 500 feet for raptors.</p> <p>Should any active nests be discovered in or near proposed construction zones, the biologist will identify a suitable construction-free buffer around the nest. This buffer will be identified on the ground with flagging or fencing and will be maintained until the biologist has determined that the young have fledged and are capable of foraging independently.</p> | Project Applicant | Mitigation shall be enforced by the project applicant and carried out during operation. |

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| <p><b>Biological Resources Mitigation Measure 2.2 (Swainson's Hawk):</b></p> <p>Construction Timing: Should any active nests be discovered in or near proposed construction zones, the biologist will identify a suitable construction-free buffer around the nest. This buffer will be identified on the ground with flagging or fencing and will be maintained until the biologist has determined that the young have fledged and are capable of foraging independently.</p> <p>Pre-Construction Surveys: If the project must be constructed between March 1 and September 15, a qualified biologist will conduct pre-construction surveys for Swainson's hawk nests on and within ¼ mile of the project site within 10 days of the onset of these activities.</p> <p>Establish Buffers: Should any active nests be discovered in or near proposed construction zones, the biologist will identify a suitable construction-free buffer around the nest. This buffer will be identified on the ground with flagging or fencing and will be maintained until the biologist has determined that the young have fledged.</p> <p>Monitor Nest: Should construction activity be necessary within the designated buffer around an active Swainson's hawk nest, a qualified biologist will monitor the nest daily for one week, and thereafter once a week, for the duration of the activity or until the nest is no longer active, whichever comes first. Should construction activity within the buffer change such that a higher level of disturbance will be generated, monitoring will occur daily for one week and then resume the once-a-week regime. If, at any time, the biologist determines that construction activity may be compromising nesting success, construction activity within the designated buffer will be altered or suspended until the biologist determines that the nest is no longer at risk of failing.</p> | <p>Project Applicant</p> | <p>Mitigation shall be enforced by the project applicant and carried out during operation.</p> |
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| <p><b>Biological Resources Mitigation Measure 2.3 (Pallid Bat):</b></p> <p>Construction Timing: If feasible, demolition and removal of the mature trees will occur outside of the period between April 15 and September 30. This is the time frame within which colony-nesting bats in the vicinity generally assemble, give birth, nurse their young, and ultimately disperse.</p> <p>Pre-Construction Surveys: Within 10 days prior to the removal of the site's trees, a qualified biologist will survey them for roosting bats. The biologist will look for individuals, guano, and staining, and will listen for bat vocalizations. If necessary, the biologist will wait for nighttime emergence of bats from roost sites.</p> <p>Avoidance of Maternity Roosts: Should any active maternity bat roosts be discovered, the biologist will identify a suitable construction-free buffer around the maternity roost. The buffer will be identified on the ground with flagging or fencing, and will be maintained until the biologist has determined that the nursery is no longer active.</p> <p>Humane Eviction of Non-Breeding Bats: If a non-breeding bat colony is found in tree cavities, the individuals will be humanely evicted, under the direction of a qualified biologist, to ensure that bats are not physically harmed by demolition and removal of the trees.</p> | <p>Project Applicant</p> | <p>Mitigation shall be enforced by the project applicant and carried out during operation.</p> |
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| <p><b>Biological Resources Mitigation Measure 2.4 (Valley Oaks):</b></p> <p>Avoidance: Should the applicant choose to avoid oak trees, a Valley Oak Management plan will be prepared and implemented, in accordance with the City of Visalia Parks and Recreation Department Urban Forestry Division's Standard Specifications for Building Around Valley Oaks (2007; Appendix D).</p> <p>Mitigation Fees or Replacement Planting: Should avoidance of oak trees not be possible, the applicant will obtain an oak tree removal permit from the City of Visalia, if required by the City of Visalia Oak Tree Preservation Ordinance (Municipal Code Chapter 12.24) at the time of development. Based on the City's tree protection ordinance, compensation for Valley Oak removal will consist of either payment of a mitigation fee (\$120 multiplied by diameter at breast height (DBH) for each tree removed), replacement planting at a ratio of one new oak tree for every inch of DBH of the tree removed, or some combination of the two, as determined in consultation with the City.</p>                                 | <p>Project Applicant</p> | <p>Mitigation shall be enforced by the project applicant and carried out during operation.</p>                                                                           |
| <p><b>Cultural Resources Mitigation Measure 3.1:</b></p> <p>If unknown precontact or historic-era cultural resources are encountered during Project activities, all ground-disturbing activities within 50 feet of the find shall cease. A Secretary of the Interior-qualified archaeologist and/or historian, as appropriate to the resource and approved by the City, shall evaluate the significance of the resource and recommend appropriate management measures. The City shall consult with interested Native American representatives in determining appropriate mitigation for unearthed cultural resources if the resources are precontact or Native American in nature. Per CEQA Guidelines Section 15126.4(b)(3), project redesign and preservation in place shall be the preferred means to avoid impacts to significant cultural resources (i.e., historical resources). Consistent with CEQA Guidelines Section 15126.4(b)(3)(C), if it is demonstrated that a historical resource cannot be avoided, the qualified archaeologist shall develop mitigation in consultation with the City and interested Native</p> | <p>Project Applicant</p> | <p>Mitigation shall be enforced by the project applicant and carried out during the initial ground disturbance stages of construction for each phase of development.</p> |



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| <p>American representatives if the resources are tribal in nature, which may include data recovery or other appropriate measures. If preservation in place is not possible and additional studies or data recovery mitigation is necessary, the qualified archaeologist will prepare a plan outlining the mitigation steps to be approved by the City and the Santa Rosa Rancheria Tachi Yokut Tribe (SRR). Once the plan has been implemented and the resources mitigated, construction can recommence based on the direction of the archaeologist and City concurrence. A formal report documenting the results of mitigation must be prepared as outlined in Cultural Resources Mitigation Measure 3.2.</p>                                                                                                                                                                                                                                  |                          |                                                                                                                                                            |
| <p><b>Cultural Resources Mitigation Measure 3.2:</b><br/>In the event that potential cultural resources are identified, a Secretary of the Interior-qualified archaeologist, approved by the City, will be contracted to provide archaeological monitoring services for the duration of the earthmoving activities. All remaining soils that have not been previously disturbed as part of the project will require archaeological observation. Within 60 days of conclusion of the construction activities, the qualified archaeologist shall prepare a report documenting the results of the monitoring activities, including any finds or other resources observed during the project. All discovered cultural resources will be documented on California Department of Parks and Recreation 523 series forms. A copy of the report shall be provided to City, the SRR, and the Southern San Joaquin Valley Information Center (SSJVIC).</p> | <p>Project Applicant</p> | <p>Mitigation shall be enforced by the project applicant and carried out during development or ground moving activities for each phase of development.</p> |
| <p><b>Cultural Resources Mitigation Measure 3.3:</b><br/>As requested by the Santa Rosa Rancheria Tachi Yokut Tribe, the City also will notify the SRR of any inadvertent discoveries within 24 hours of the find. If inadvertent tribal cultural resources are identified, the SRR will be contracted to provide tribal monitoring services for the duration of the earthmoving activities. All remaining soils that have not been previously disturbed as part of the project will require tribal observation.</p>                                                                                                                                                                                                                                                                                                                                                                                                                            | <p>Project Applicant</p> | <p>Mitigation shall be enforced by the project applicant and carried out during construction of the entire project.</p>                                    |

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| <p><b>Cultural Resources Mitigation Measure 3.4:</b><br/>In the event human remains are uncovered during Project activities, the Tulare County Coroner is to be immediately notified to evaluate the remains, and follow the procedures and protocols set forth in CEQA Guidelines Section 15064.5 (e)(1). If the remains are identified to be those of a Native American person, California Health and Safety Code 7050.5 requires that the county coroner notify the Native American Heritage Commission within 24 hours of discovery. The NAHC will then identify the Most Likely Descendant, who will be afforded the opportunity to recommend means for treatment of the human remains following protocols in California PRC 5097.98.</p> | <p>Project Applicant</p> | <p>Mitigation shall be enforced by the project applicant and carried out during construction of the entire project.</p> |
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#### **IV. PROJECT COMPATIBILITY WITH EXISTING ZONES AND PLANS**

The project is compatible with the General Plan and Zoning Ordinance as the project relates to surrounding properties.

#### **V. SUPPORTING DOCUMENTATION**

The following documents are hereby incorporated into this Mitigated Negative Declaration and Initial Study by reference:

- Visalia General Plan Update. Dyett & Bhatia, October 2014.
- Visalia City Council Resolution No. 2014-38 (Certifying the Visalia General Plan Update) passed and adopted October 14, 2014.
- Visalia General Plan Update Final Environmental Impact Report (SCH No. 2010041078). Dyett & Bhatia, June 2014.
- Visalia General Plan Update Draft Environmental Impact Report (SCH No. 2010041078). Dyett & Bhatia, March 2014.
- Visalia City Council Resolution No. 2014-37 (Certifying the EIR for the Visalia General Plan Update) passed and adopted October 14, 2014.
- Visalia Municipal Code, including Title 17 (Zoning Ordinance).
- California Environmental Quality Act Guidelines.
- City of Visalia, California, Climate Action Plan, Draft Final. Strategic Energy Innovations, December 2013.
- Visalia City Council Resolution No. 2014-36 (Certifying the Visalia Climate Action Plan) passed and adopted October 14, 2014.
- City of Visalia Storm Water Master Plan. Boyle Engineering Corporation, September 1994.
- City of Visalia Sewer System Master Plan. City of Visalia, 1994.
- City of Visalia Zoning Ordinance Update. City of Visalia, March 2017.
- Acoustical Analysis, Ritchie Ranch Residential Development, Visalia, California, WJVA Project No. 24-23. WJV Acoustics, May 20, 2024 (Revised April 1, 2025).

- Ritchie Ranch Residential Development Traffic Impact Study. VRPA Technologies, Inc., July 25, 2025.
- Ritchie Ranch Residential Development Air Quality & Greenhouse Gas Impact Assessment, VRPA Technologies, Inc, January 2025.
- Cultural Resource Study and Evaluation for Ritchie Ranch, City of Visalia, Tulare County, California. Applied EarthWorks, Inc., March 2025.
- Biological Evaluation, Ritchie Ranch Development, Tulare County, California. Live Oak Associates, Inc., June 21, 2024.

**VI. NAME OF PERSON WHO PREPARED INITIAL STUDY**



Cristobal Carrillo  
Associate Planner



Brandon Smith, AICP  
Environmental Coordinator

## INITIAL STUDY ENVIRONMENTAL CHECKLIST

|                              |                                                                                         |                          |                                                  |
|------------------------------|-----------------------------------------------------------------------------------------|--------------------------|--------------------------------------------------|
| <b>Name of Proposal</b>      | Ritchie Ranch Tentative Subdivision Map No. 5600 and Conditional Use Permit No. 2024-23 |                          |                                                  |
| <b>NAME OF PROPONENT:</b>    | Lennar Homes of California LLC                                                          | <b>NAME OF AGENT:</b>    | AW Engineering, Attn: Allen Williams, Dana Bryan |
| <b>Address of Proponent:</b> | 8080 North Palm Avenue, Suite 110,<br>Fresno, CA 93711                                  | <b>Address of Agent:</b> | 810 West Acequia Avenue,<br>Visalia, CA 93291    |
| <b>Telephone Number:</b>     | 559-240-5053                                                                            | <b>Telephone Number:</b> | 559-713-6139                                     |
| <b>Date of Review</b>        | July 10, 2025                                                                           | <b>Lead Agency:</b>      | City of Visalia                                  |

The following checklist is used to determine if the proposed project could potentially have a significant effect on the environment. Explanations and information regarding each question follow the checklist.

1 = No Impact                      2 = Less Than Significant Impact  
3 = Less Than Significant Impact with Mitigation Incorporated                      4 = Potentially Significant Impact

### I. AESTHETICS

Except as provided in Public Resources Code Section 21099, would the project:

- 2 a) Have a substantial adverse effect on a scenic vista?
- 2 b) Substantially damage scenic resources, including, but not limited to, trees, rock outcroppings, and historic buildings within a state scenic highway?
- 1 c) Substantially degrade the existing visual character or quality of public views of the site and its surroundings? (Public views are those that are experienced from publicly accessible vantage point). If the project is in an urbanized area, would the project conflict with applicable zoning and other regulations governing scenic quality?
- 2 d) Create a new source of substantial light or glare that would adversely affect day or nighttime views in the area?

### II. AGRICULTURAL RESOURCES

In determining whether impacts to agricultural resources are significant environmental effects, lead agencies may refer to the California Agricultural Land Evaluation and Site Assessment Model (1997) prepared by the California Dept. of Conservation as an optional model to use in assessing impacts on agriculture and farmland. In determining whether impacts to forest resources, including timberland, are significant environmental effects, lead agencies may refer to information compiled by the California Department of Forestry and Fire Protection regarding the state's inventory of forest land, including the Forest and Range Assessment Project and the Forest Legacy Assessment project; and forest carbon measurement methodology provided in Forest Protocols adopted by the California Air Resources Board. Would the project:

- 1 a) Convert Prime Farmland, Unique Farmland, or Farmland of Statewide Importance, as shown on the maps prepared pursuant to the Farmland Mapping and Monitoring Program of the California Resources Agency to non-agricultural use?
- 1 b) Conflict with existing zoning for agricultural use, or a Williamson Act contract?
- 1 c) Conflict with existing zoning for, or cause rezoning of, forest land (as defined in Public Resources Code section 12220(g)), timberland (as defined by Public Resources Code section 4526), or timberland zoned Timberland Production (as defined by Government Code section 51104(g))?

- 1 d) Result in the loss of forest land or conversion of forest land to non-forest use?
- 1 e) Involve other changes in the existing environment which, due to their location or nature, could result in conversion of Farmland to nonagricultural use or conversion of forest land to non-forest use?

### III. AIR QUALITY

Where available, the significance criteria established by the applicable air quality management or air pollution control district may be relied upon to make the following determinations. Would the project:

- 2 a) Conflict with or obstruct implementation of the applicable air quality plan?
- 2 b) Result in a cumulatively considerable net increase of any criteria pollutant for which the project region is non-attainment under applicable federal or state ambient air quality standard?
- 2 c) Expose sensitive receptors to substantial pollutant concentrations?
- 1 d) Result in other emissions, such as those leading to odors adversely affecting a substantial number of people?

### IV. BIOLOGICAL RESOURCES

Would the project:

- 3 a) Have a substantial adverse effect, either directly or through habitat modifications, on any species identified as a candidate, sensitive, or special status species in local or regional plans, policies, or regulations, or by the California Department of Fish and Game or U.S. Fish and Wildlife Service?
- 2 b) Have a substantial adverse effect on any riparian habitat or other sensitive natural community identified in local or regional plans, policies, regulations, or by the California Department of Fish and Game or U.S. Fish and Wildlife Service?
- 1 c) Have a substantial adverse effect on federally protected wetlands (including but not limited to, marsh, vernal pool, coastal, etc.) through direct removal, filling, hydrological interruption, or other means?
- 1 d) Interfere substantially with the movement of any native resident or migratory fish or wildlife species or with



established native resident or migratory wildlife corridors, or impede the use of native wildlife nursery sites?

- 3 e) Conflict with any local policies or ordinances protecting biological resources, such as a tree preservation policy or ordinance?
- 1 f) Conflict with the provisions of an adopted Habitat Conservation Plan, Natural Community Conservation Plan, or other approved local, regional, or state habitat conservation plan?

#### V. CULTURAL RESOURCES

Would the project:

- 3 a) Cause a substantial adverse change in the significance of a historical resource pursuant to Public Resources Code Section 15064.5?
- 3 b) Cause a substantial adverse change in the significance of an archaeological resource pursuant to Public Resources Code Section 15064.5?
- 3 c) Disturb any human remains, including those interred outside of formal cemeteries?

#### VI. ENERGY

Would the project:

- 2 a) Result in potentially significant environmental impact due to wasteful, inefficient, or unnecessary consumption of energy resources, during project construction or operation?
- 1 b) Conflict with or obstruct a state or local plan for renewable energy or energy efficiency?

#### VII. GEOLOGY AND SOILS

Would the project:

- a) Directly or indirectly cause potential substantial adverse effects, including the risk of loss, injury, or death involving:
  - 1 i) Rupture of a known earthquake fault, as delineated on the most recent Alquist-Priolo Earthquake Fault Zoning Map issued by the State Geologist for the area or based on other substantial evidence of a known fault? Refer to Division of Mines and Geology Special Publication 42.
  - 1 ii) Strong seismic ground shaking?
  - 1 iii) Seismic-related ground failure, including liquefaction?
  - 1 iv) Landslides?
- 1 b) Result in substantial soil erosion or loss of topsoil?
- 1 c) Be located on a geologic unit or soil that is unstable, or that would become unstable as a result of the project, and potentially result in on- or off-site landslide, lateral spreading, subsidence, liquefaction, or collapse?
- 1 d) Be located on expansive soil, as defined in Table 18-1-B of the Uniform Building Code (1994), creating substantial risks to life or property?
- 1 e) Have soils incapable of adequately supporting the use of septic tanks or alternative wastewater disposal systems where sewers are not available for the disposal of wastewater?
- 3 f) Directly or indirectly destroy a unique paleontological resource or site or unique geologic feature?

#### VIII. GREENHOUSE GAS EMISSIONS

Would the project:

- 2 a) Generate greenhouse gas emissions, either directly or indirectly, that may have a significant impact on the environment?
- 2 b) Conflict with an applicable plan, policy, or regulation adopted for the purpose of reducing the emissions of greenhouse gases?

#### IX. HAZARDS AND HAZARDOUS MATERIALS

Would the project:

- 1 a) Create a significant hazard to the public or the environment through the routine transport, use, or disposal of hazardous materials?
- 1 b) Create a significant hazard to the public or the environment through reasonably foreseeable upset and accident conditions involving the release of hazardous materials into the environment?
- 1 c) Emit hazardous emissions or handle hazardous or acutely hazardous materials, substances, or waste within one-quarter mile of an existing or proposed school?
- 1 d) Be located on a site which is included on a list of hazardous materials sites compiled pursuant to Government Code section 65962.5 and, as a result, would it create a significant hazard to the public or the environment?
- 1 e) For a project located within an airport land use plan or, where such a plan has not been adopted, within two miles of a public airport or public use airport, would the project result in a safety hazard for people residing or working in the project area?
- 1 f) Impair implementation of or physically interfere with an adopted emergency response plan or emergency evacuation plan?
- 1 g) Expose people or structures, either directly or indirectly, to a significant risk of loss, injury or death involving wildland fires?

#### X. HYDROLOGY AND WATER QUALITY

Would the project:

- 2 a) Violate any water quality standards of waste discharge requirements or otherwise substantially degrade surface or groundwater quality?
- 2 b) Substantially decrease groundwater supplies or interfere substantially with groundwater recharge such that the project may impede sustainable groundwater management of the basin?
- 2 c) Substantially alter the existing drainage pattern of the site or area, including through the alteration of the course of a stream or river or through the addition of impervious surfaces, in a manner which would:
  - 2 i) result in substantial erosion or siltation on- or off-site;
  - 2 ii) substantially increase the rate or amount of surface runoff in a manner which would result in flooding on- or offsite; or
  - 2 iii) create or contribute runoff water which would exceed the capacity of existing or planned stormwater drainage systems or provide substantial additional sources of polluted runoff?
- 2 d) In flood hazard, tsunami, or seiche zones, risk release of pollutants due to project inundation?
- 2 e) Conflict with or obstruct implementation of a water quality control plan or sustainable groundwater management plan?

#### XI. LAND USE AND PLANNING

Would the project:

- 1 a) Physically divide an established community?
- 1 b) Cause a significant environmental impact due to a conflict with any land use plan, policy, or regulation adopted for the purpose of avoiding or mitigating an environmental effect?

## XII. MINERAL RESOURCES

Would the project:

- 1 a) Result in the loss of availability of a known mineral resource that would be of value to the region and the residents of the state?
- 1 b) Result in the loss of availability of a locally-important mineral resource recovery site delineated on a local general plan, specific plan or other land use plan?

## XIII. NOISE

Would the project result in:

- 2 a) Generation of a substantial temporary or permanent increase in ambient noise levels in the vicinity of the project in excess of standards established in the local general plan or noise ordinance, or applicable standards of other agencies?
- 2 b) Generation of excessive groundborne vibration or groundborne noise levels?
- 1 c) For a project located within the vicinity of a private airstrip or an airport land use plan or, where such a plan has not been adopted, within two miles of a public airport or public use airport, would the project expose people residing or working in the project area to excessive noise levels?

## XIV. POPULATION AND HOUSING

Would the project:

- 2 a) Induce substantial unplanned population growth in an area, either directly (for example, by proposing new homes and businesses) or indirectly (for example, through extension of roads or other infrastructure)?
- 1 b) Displace substantial numbers of existing people or housing, necessitating the construction of replacement housing elsewhere?

## XV. PUBLIC SERVICES

Would the project:

- 1 a) Would the project result in substantial adverse physical impacts associated with the provision of new or physically altered governmental facilities, need for new or physically altered governmental facilities, the construction of which could cause significant environmental impacts, in order to maintain acceptable service ratios, response times or other performance objectives for any of the public services:
  - 1 i) Fire protection?
  - 1 ii) Police protection?
  - 1 iii) Schools?
  - 1 iv) Parks?
  - 1 v) Other public facilities?

## XVI. RECREATION

Would the project:

- 1 a) Would the project increase the use of existing neighborhood and regional parks or other recreational facilities such that substantial physical deterioration of the facility would occur or be accelerated?

- 1 b) Does the project include recreational facilities or require the construction or expansion of recreational facilities which might have an adverse physical effect on the environment?

## XVII. TRANSPORTATION / TRAFFIC

Would the project:

- 1 a) Conflict with a program, plan, ordinance or policy addressing the circulation system, including transit, roadway, bicycle and pedestrian facilities?
- 3 b) Conflict with an applicable congestion management program, including, but not limited to level of service standards and travel demand measures, or other standards established by the county congestion management agency for designated roads or highways?
- 2 c) Substantially increase hazards due to a geometric design feature (e.g., sharp curves or dangerous intersections) or incompatible uses (e.g., farm equipment)?
- 1 d) Result in inadequate emergency access?

## XVIII. TRIBAL CULTURAL RESOURCES

Would the project cause a substantial adverse change in the significance of a tribal cultural resource, defined in Public Resources Code section 21074 as either a site, feature, place, cultural landscape that is geographically defined in terms of the size and scope of the landscape, sacred place, or object with cultural value to a California Native American tribe, and that is:

- 1 a) Listed or eligible for listing in the California Register of Historical Resources, or in a local register of historical resources as defined in Public Resources Code section 5020.1(k), or
- 3 b) A resource determined by the lead agency, in its discretion and supported by substantial evidence, to be significant pursuant to criteria set forth in subdivision (c) of Public Resources Code Section 5024.1. In applying the criteria set forth in subdivision (c) of Public Resources Code Section 5024.1, the lead agency shall consider the significance of the resource to a California Native American tribe.

## XIX. UTILITIES AND SERVICE SYSTEMS

Would the project:

- 2 a) Require or result in the relocation or construction of new or expanded water, wastewater treatment or stormwater drainage, electric power, natural gas, or telecommunications facilities, the construction or relocation of which could cause significant environmental effects?
- 2 b) Have sufficient water supplies available to service the project and reasonable foreseeable future development during normal, dry, and multiple dry years?
- 1 c) Result in a determination by the wastewater treatment provider which serves or may serve the project that it has adequate capacity to serve the project's projected demand in addition to the provider's existing commitments?
- 1 d) Generate solid waste in excess of State or local standards, or in excess of the capacity of local infrastructure, or otherwise impair the attainment of solid waste reduction goals?
- 1 e) Comply with federal, state, and local management and reduction statutes and regulations related to solid waste?

## XX. WILDFIRE

If located in or near state responsibility areas or lands classified as very high fire hazard severity zones, would the project:

- 1 a) Substantially impair an adopted emergency response plan or emergency evacuation plan?
- 1 b) Due to slope, prevailing winds, and other factors, exacerbate wildfire risks, and thereby expose project occupants to, pollutant concentrations from a wildfire or the uncontrolled spread of a wildfire?
- 1 c) Require the installation or maintenance of associated infrastructure (such as roads, fuel breaks, emergency water sources, power lines or other utilities) that may exacerbate fire risk or that may result in temporary or ongoing impacts to the environment?
- 1 d) Expose people or structures to significant risks, including downslope or downstream flooding or landslides, as a result of runoff, post-fire slope instability, or drainage changes?

**XXI. MANDATORY FINDINGS OF SIGNIFICANCE**

Would the project:

- 3 a) Does the project have the potential to substantially degrade the quality of the environment, substantially reduce the habitat of a fish or wildlife species, cause a fish or wildlife population to drop below self-sustaining levels, threaten to eliminate a plant or animal community, substantially reduce the number or restrict the range of a rare or endangered plant or animal or eliminate important examples of the major periods of California history or prehistory?
- 2 b) Does the project have impacts that are individually limited, but cumulatively considerable? ("Cumulatively considerable" means that the incremental effects of a project are considerable when viewed in connection with the effects of past projects, the effects of other current projects, and the effects of probable future projects)?
- 2 c) Does the project have environmental effects which will cause substantial adverse effects on human beings, either directly or indirectly?

Note: Authority cited: Sections 21083 and 21083.05, Public Resources Code. Reference: Section 65088.4, Gov. Code; Sections 21080(c), 21080.1, 21080.3, 21083, 21083.05, 21083.3, 21093, 21094, 21095, and 21151, Public Resources Code; *Sundstrom v. County of Mendocino*, (1988) 202 Cal.App.3d 296; *Leonoff v. Monterey Board of Supervisors*, (1990) 222 Cal.App.3d 1337; *Eureka Citizens for Responsible Govt. v. City of Eureka* (2007) 147 Cal.App.4th 357; *Protect the Historic Amador Waterways v. Amador Water Agency* (2004) 116 Cal.App.4th at 1109; *San Franciscans Upholding the Downtown Plan v. City and County of San Francisco* (2002) 102 Cal.App.4th 656.

*Revised 2019*

*Authority: Public Resources Code sections 21083 and 21083.09*

*Reference: Public Resources Code sections 21073, 21074, 21080.3.1, 21080.3.2, 21082.3/ 21084.2 and 21084.3*

## DISCUSSION OF ENVIRONMENTAL EVALUATION

### I. AESTHETICS

- a. This proposed project is a new subdivided residential construction which will meet City standards for setbacks, landscaping, and height requirements. The project will not adversely affect the view of any scenic vistas. The Sierra Nevada Mountain range may be considered a scenic vista; however, the view will not be adversely impacted by the project
- b. There are no scenic resources on the site. However, there are oak trees located on the project site. The City of Visalia has an Oak Tree Preservation Ordinance, which the project shall comply with. Compliance is part of the mitigation measures for the project (See Section II.E).
- c. The project site is located within an urbanized area and the City has development standards related to landscaping and other amenities that will ensure that the visual character of the area is enhanced and not degraded upon development. Thus, the project would not substantially degrade the existing visual character of the site and its surroundings.
- d. The project will facilitate the construction of a new subdivision, as well as the required infrastructure and development such as streetlights, creating new sources of light that are typical of that use. The City has development standards that require light to be directed and/or shielded so it does not fall upon adjacent properties.

### II. AGRICULTURAL RESOURCES

- a. The project is located on property that is identified as Prime Farmland on maps prepared by the California Department of Conservation, and will involve the conversion of the property to non-agricultural use.

The City of Visalia 2030 General Plan has designated the Project site for urban uses under the Urban Growth Development Tier 1. The implementation of this Project will support the General Plan designation for urban land use and Policy LU-P-20 for urban uses, including commercial development, which may develop within Tier 1 at any time consistent with the City's Land Use Diagram.

The Visalia General Plan Update Environmental Impact Report (EIR) has already considered the environmental impacts of the conversion of properties within the Planning Area into non-agriculture uses. Overall, the General Plan results in the conversion of over 14,000 acres of Important Farmland to urban uses, which is considered significant and unavoidable. Aside from preventing development altogether the conversion of Important Farmland to urban uses cannot be directly mitigated, through the use of agricultural conservation easements or by other means. However, the General Plan contains multiple policies that together work to limit conversion only to the extent needed to accommodate long-term growth. The General Plan policies identified under Impact 3.5-1 of the EIR serve as the mitigation that assists in reducing the severity of the impact to the extent possible while still achieving the General Plan's goals of accommodating a certain amount

of growth to occur within the Planning Area. These policies include the implementation of a three-tier growth boundary system that assists in protecting open space around the City fringe and maintaining compact development within the City limits.

The project will be consistent with Policy LU-P-34. The conversion of the site from an agricultural use to urban development does not require mitigation to offset the loss of prime farmland as stated in Policy LU-P-34. The policy states: "the mitigation program shall specifically allow exemptions for conversion of agricultural lands in Tier I."

Because there is still a significant impact to loss of agricultural resources after conversion of properties within the General Plan Planning Area to non-agricultural uses, a Statement of Overriding Considerations was previously adopted with the Visalia General Plan Update EIR.

- b. The project is not located on property that is party to a Williamson Act contract. Existing City zoning for the area is R-1-5 (Single Family Residential, 5,000 square foot minimum site area). As such zoning for agricultural use will not be affected.
- c. There is no forest land or timberland currently located on the site, nor does the site conflict with a zoning for forest land, timberland, or timberland zoned timberland production.
- d. There is no forest or timberland currently located on the project site.
- e. The project will not involve any changes that would promote or result in the conversion of farmland to non-agriculture use. The subject property is currently designated for an urban rather than agricultural land use. Properties that are vacant may develop in a way that is consistent with their zoning and land use designated at any time. The adopted Visalia General Plan's implementation of a three-tier growth boundary system further assists in protecting open space around the City fringe to ensure that premature conversion of farmland to non-agricultural uses does not occur.

### III. AIR QUALITY

- a. The project site is located in an area that is under the jurisdiction of the San Joaquin Valley Air Pollution Control District (SJVAPCD). The project does not disrupt implementation of the San Joaquin Regional Air Quality Management Plan and will therefore be a less than significant impact.
- b. Development under the Visalia General Plan will result in emissions that will exceed thresholds established by the SJVAPCD for PM10 and PM2.5. The project will contribute to a net increase of criteria pollutants and will therefore contribute to exceeding the thresholds. Also, the project could result in short-term air quality impacts related to dust generation and exhaust due to construction and grading activities. This site was evaluated in the Visalia General Plan Update EIR for conversion into urban development.

Development under the General Plan will result in increases of construction and operation-related criteria pollutant impacts, which are considered significant and unavoidable. General Plan policies identified under Impacts 3.3-1 and 3.3-2 serve as the mitigation which assists in reducing the severity of the impact to the extent possible while still achieving the General Plan's goals of accommodating a certain amount of growth to occur within the Planning Area.

The project is required to adhere to requirements administered by the SJVAPCD to reduce emissions to a level of compliance consistent with the District's grading regulations. Compliance with the SJVAPCD's rules and regulations will reduce potential impacts associated with air quality standard violations to a less than significant level.

In addition, development of the project will be subject to the SJVAPCD Indirect Source Review (Rule 9510) procedures that became effective on March 1, 2006. The Applicant will be required to obtain permits demonstrating compliance with Rule 9510, or payment of mitigation fees to the SJVAPCD.

The Tulare County area is nonattainment for Federal and State air quality standards for ozone, in attainment of Federal standards and nonattainment for State standards for PM<sub>10</sub>, and nonattainment for Federal and State standards for PM<sub>2.5</sub>. The SJVAPCD has prepared the 2016 and 2013 Ozone Plans, 2007 PM<sub>10</sub> Maintenance Plan, and 2012 PM<sub>2.5</sub> Plan to achieve Federal and State standards for improved air quality in the SJVAB regarding ozone and PM. Inconsistency with any of the plans would be considered a cumulatively adverse air quality impact. As discussed in Section 4.1.1 of the Air Quality and Greenhouse Gas Impact Assessment (AQGGIA) (Ritchie Ranch Residential Development Air Quality & Greenhouse Gas Impact Assessment, VRPA Technologies, Inc, January 2025) conducted for this proposal, the Project is consistent with the currently adopted General Plan for the City of Visalia and is therefore consistent with the population growth and VMT applied in the plan. Therefore, the Project is consistent with the growth assumptions used in the 2016 and 2013 Ozone Plan, 2007 PM<sub>10</sub> Maintenance Plan, and 2012 PM<sub>2.5</sub> Plan.

Project specific emissions that exceed the thresholds of significance for criteria pollutants would be expected to result in a cumulatively considerable net increase of any criteria pollutant for which the County is in non-attainment under applicable federal or state ambient air quality standards. It should be noted that a project is not characterized as cumulatively insignificant when project emissions fall below thresholds of significance. As discussed in Section 3.1 of the AQGGIA (Ritchie Ranch Residential Development Air Quality & Greenhouse Gas Impact Assessment, VRPA Technologies, Inc, January 2025), the SJVAPCD has established thresholds of significance for determining environmental significance which are provided in Table 6 of the study.

As discussed above in Section 3.2 and 3.3 of the AQGGIA (Ritchie Ranch Residential Development Air Quality & Greenhouse Gas Impact Assessment, VRPA Technologies, Inc, January 2025), results of the analysis show that emissions generated from construction and operation of the Project will be less than the applicable SJVAPCD emission thresholds for criteria pollutants. Table

7 within Section 3.2 (Short-Term Impacts) of the study shows the CalEEMod estimated construction emissions that would be generated from construction of the Project. Results of the analysis show that emissions generated from construction of the Project will not exceed the SJVAPCD emission thresholds. For long-term emissions, Section 3.3 of the AQGGIA studied potential impacts from localized operational emissions (ex. ozone/particulate matter, carbon monoxide, toxic air contaminants, greenhouse gas emissions, etc.) and determined that the annual operational emissions from the Project will be less than the SJVAPCD and CalEEMod emission thresholds for criteria pollutants, per Tables 8 through 10 of the study. Therefore, no mitigation is needed.

- c. Tulare County is designated non-attainment for certain federal ozone and state ozone levels. The project will result in a net increase of criteria pollutants. This site was evaluated in the Visalia General Plan Update EIR for conversion into urban development. Development under the General Plan will result in increases of construction and operation-related criteria pollutant impacts, which are considered significant and unavoidable. General Plan policies identified under Impacts 3.3-1, 3.3-2, and 3.3-3 serve as the mitigation which assists in reducing the severity of the impact to the extent possible while still achieving the General Plan's goals of accommodating a certain amount of growth to occur within the Planning Area.

The project is required to adhere to requirements administered by the SJVAPCD to reduce emissions to a level of compliance consistent with the District's grading regulations. Compliance with the SJVAPCD's rules and regulations will reduce potential impacts associated with air quality standard violations to a less than significant level.

In addition, development of the project will be subject to the SJVAPCD Indirect Source Review (Rule 9510) procedures that became effective on March 1, 2006. The Applicant will be required to obtain permits demonstrating compliance with Rule 9510, or payment of mitigation fees to the SJVAPCD.

An AQGGIA (Ritchie Ranch Residential Development Air Quality & Greenhouse Gas Impact Assessment, VRPA Technologies, Inc, January 2025) was also submitted to identify air quality impacts that may result from the project. To evaluate the potential for impacts from the Project a screening level analysis was performed, using a screening tool found in the CARB Handbook: Air Quality and Land Use Handbook: A Community Perspective. This handbook includes a table (depicted in Table 4 of the AQGGIA) with recommended buffer distances associated with various types of common sources. The screening level analysis for the Project shows that impacts are not a concern based upon the recommendations provided in Table 4. An evaluation of nearby land uses considering CARB's Pollution Mapping Tool shows that the Project will not place sensitive receptors in the vicinity of existing toxic sources. Table 4 indicates that new sensitive land uses shouldn't be sited within 500 feet of freeway/urban roads with 100,000 vehicles/day, or rural roads with 50,000 vehicles/day. The Project meets this requirement. Therefore, no mitigation is needed.

#### Short-Term Impacts



The annual emissions from the construction phase of the Project will be less than the applicable SJVAPCD emission thresholds for criteria pollutants as shown in Table 8 of the AQGGIA. The construction emissions are therefore considered less than significant with the implementation of the SJVAPCD applicable Regulation VIII control measures, which are provided below.

1. All disturbed areas, including storage piles, which are not being actively utilized for construction purposes, shall be effectively stabilized of dust emissions using water, chemical stabilizer/suppressant, covered with a tarp or other suitable cover or vegetative ground cover.
2. All on-site unpaved roads and off-site unpaved access roads shall be effectively stabilized of dust emissions using water or chemical stabilizer/suppressant.
3. All land clearing, grubbing, scraping, excavation, land leveling, grading, cut & fill, and demolition activities shall be effectively controlled of fugitive dust emissions utilizing application of water or by presoaking.
4. When materials are transported off-site, all material shall be covered, or effectively wetted to limit visible dust emissions, and at least six inches of freeboard space from the top of the container shall be maintained.
5. All operations shall limit or expeditiously remove the accumulation of mud or dirt from adjacent public streets at the end of each workday. The use of dry rotary brushes is expressly prohibited except where preceded or accompanied by sufficient wetting to limit the visible dust emissions. Use of blower devices is expressly forbidden.
6. Following the addition of materials to, or the removal of materials from, the surface of outdoor storage piles, said piles shall be effectively stabilized of fugitive dust emissions utilizing sufficient water or chemical stabilizer/suppressant.
7. Within urban areas, track out shall be immediately removed when it extends 50 or more feet from the site and at the end of each workday.

#### Naturally Occurring Asbestos (NOA)

The proposed Project's construction phase may cause asbestos to become airborne due to the construction activities that will occur on site. In order to control naturally occurring asbestos dust, the Project will be required to submit a Dust Control Plan under the SJVAPCD's Rule 8021. The Dust Control Plan may include the following measures:

1. Water wetting of road surfaces;
2. Rinse vehicles and equipment;
3. Wet loads of excavated material; and
4. Cover loads of excavated material.

#### Long-Term Impacts

Long-Term emissions from the Project are generated primarily by mobile source (vehicle) emissions from the project site and area sources such as lawn maintenance equipment. Emissions from long-term operations generally represent a project's most substantial air quality impact.

Table 8 of the AQGGIA summarizes the Project's operational impacts by pollutant. Results indicate that operational emissions from the Project will not exceed the SJVAPCD emissions threshold for any emissions, hence no mitigations are required.

- d. The proposed project will not involve the generation of objectionable odors that would affect a substantial number of people.

#### **IV. BIOLOGICAL RESOURCES**

- a. A Biological Habitat Assessment was submitted by Live Oak Associates, Inc (Biological Evaluation, Ritchie Ranch Development, Tulare County, California, June 21, 2024). Live Oak staff surveyed the project site on May 23, 2024, for its biotic habitats, the plants and animals occurring in those habitats, and significant habitat values that may be protected by state and federal law. At the time, the site consisted of a residential area, a disked field, and an almond orchard. The site supported several mature trees and herbaceous plants used for landscaping in the residential portion and grasses and forbs typical of a disturbed agricultural environment within the disked field and almond orchard. The project site did not contain wildlife movement corridors, sensitive natural communities, designated critical habitat, or federally protected waters or wetlands.

Three special status species known from the vicinity have some potential to occur on site, and project related impacts to these species are considered potentially significant under CEQA. These include Swainson's hawk, loggerhead shrike, and pallid bat. Project related impacts are also considered potentially significant for nesting birds and raptors. Impacts to Swainson's hawks, loggerhead shrike, and other nesting birds and raptors will be reduced by either constructing the project outside of the nesting season or, if construction must occur during the nesting season, by conducting preconstruction surveys and avoiding active nests. Impacts to pallid bat will be reduced by either constructing the project outside of pupping season, or, if construction must occur during pupping season, by conducting preconstruction surveys and avoiding active roosts. If construction occurs outside of pupping season but pallid bats are found to be roosting in tree cavities, they will be humanely evicted by a qualified biologist. If Oak trees can be avoided, then a Valley Oak management plan will be prepared and implemented. If avoidance of oak trees is not possible, then an oak tree removal permit will be obtained from the City of Visalia to ensure compliance with local policies and plans. These recommendations are included as Biological Resources Mitigation Measures No. 2.1 through 2.13. With incorporation of the mitigation, impacts would be less than significant with mitigation incorporation.

The project will either have no impact or a less than significant impact, as defined by CEQA, on the following biotic resources: all eighteen special plant species known to occur in the area; fourteen special status animal species that would not likely use the site (i.e., the project site is outside their typical range or habitats of the site are not suitable for them); one special status animal species (western mastiff bat) that may occasionally use habitats of the project site for foraging; jurisdictional waters; wildlife movement corridors; and sensitive natural communities and designated critical habitat.

Furthermore, Citywide biological resources were evaluated in the Visalia General Plan Update Environmental Impact Report (EIR). The EIR concluded that certain special-status species or their habitats may be directly or indirectly affected by future development within the General Plan Planning Area. This may be through the removal of or disturbance to habitat. Such effects would be considered significant. However, the General Plan contains multiple policies, identified under Impact 3.8-1 of the EIR, that together work to reduce the potential for impacts on special-status species likely to occur in the Planning Area. With implementation of these policies, together with the mitigation measures contained in the Assessment, impacts on special-status species will be less than significant with mitigation.

- b. The project is not located within an identified sensitive riparian habitat or other natural community. The Modoc Ditch is located along the northern and southern boundaries of the project, with the northern portion to be removed as part of the project. The ditch only holds water seasonally when it's available. Consequently, amphibians such as western toad (*Anaxyrus boreas*) and Pacific tree frog (*Pseudacris regilla*) would only be found on the site in small numbers, if at all. At the time of the survey, the ditch and basin to the west of the project were holding water. Reptile species like the side-blotched lizard (*Uta stansburiana*), gopher snake (*Pituophis melanoleucus*), and common kingsnake (*Lampropeltis getulus*) may forage in the orchard and disked field, but numbers are expected to be low as well. Furthermore, the ditch does not meet the criteria to be considered a Water of the United States. As such, no impacts to riparian habitats or Waters of the United States are anticipated.

Furthermore, City-wide biological resources were evaluated in the Visalia General Plan Update Environmental Impact Report (EIR). The EIR concluded that certain sensitive natural communities may be directly or indirectly affected by future development within the General Plan Planning Area, particularly valley oak woodlands and valley oak riparian woodlands. Such effects would be considered significant. However, the General Plan contains multiple policies, identified under Impact 3.8-2 of the EIR, that together work to reduce the potential for impacts on woodlands located within in the Planning Area. With implementation of these policies and being that the project is not located within or adjacent to an identified sensitive riparian habitat or other natural community, including woodlands, impacts on woodlands will be less than significant.

- c. The project is not located within or adjacent to federally protected wetlands as defined by Section 404 of the Clean Water Act.

City-wide biological resources were evaluated in the Visalia General Plan Update Environmental Impact Report (EIR). The EIR concluded that certain protected wetlands and other waters may be directly or indirectly affected by future development within the General Plan Planning Area. Such effects would be considered significant. However, the General Plan contains multiple policies, identified under Impact 3.8-3 of the EIR, that together work to reduce the potential for impacts on wetlands and other waters located within the Planning Area. With implementation of these policies, impacts on wetlands will be less than significant.

- d. This development would not interfere with the movement of any native resident or migratory fish or wildlife species or with established native resident or migratory wildlife corridors or impede the use of native wildlife nursery sites.

Citywide biological resources were evaluated in the Visalia General Plan Update Environmental Impact Report (EIR). The EIR concluded that the movement of wildlife species may be directly or indirectly affected by future development within the General Plan Planning Area. Such effects would be considered significant. However, the General Plan contains multiple policies, identified under Impact 3.8-4 of the EIR, that together work to reduce the potential for impacts on wildlife movement corridors located within in the Planning Area. With implementation of these policies, impacts on wildlife movement corridors will be less than significant.

- e. The project will not conflict with any local policies or ordinances protecting biological resources. Three valley oaks were identified in the northern portion of the residential habitat. These trees are protected by City of Visalia's Oak Tree Preservation Ordinance (Visalia Municipal Code Chapter 12.24). In order to ensure compliance with the Oak Tree Preservation Ordinance, Biological Resource Mitigation Measure No. 2.4 shall be incorporated. Implementation of these measures will ensure the project is consistent with local policies and habitat conservation plans.

With the exception of the proposed removal of valley oaks on site, which is addressed in these mitigation measures, the project is in compliance with all other local policies and plans.

- f. There are no local or regional habitat conservation plans for the area.

## **V. CULTURAL RESOURCES**

- a. Applied EarthWorks, Inc. (Æ) completed a cultural resource study for the proposed Ritchie Ranch Project (Cultural Resource Study and Evaluation for Ritchie Ranch, City of Visalia, Tulare County, California. Applied EarthWorks, Inc., March 2025) to determine if historical resources are present within the Project area that could be impacted by the proposed development. For this study Æ conducted a records search at the Southern San Joaquin Valley Information Center (SSJVIC) of the California Historical Resources Information System (CHRIS); desktop research to better understand the history of land use in the Project area; a search of the Native American Heritage Commission's (NAHC) Sacred Lands File and nongovernmental outreach to local tribes and individuals; an intensive pedestrian survey of the Project area to identify archaeological and historical built environment cultural resources; and an evaluation of those resources for listing in the California Register of Historic Resources (CRHR).

The SSJVIC records search revealed three cultural resource investigations have occurred within the Project area and one investigation has occurred in the 0.5-mile search radius. They further reported one previously recorded cultural resource within the Project area—the historical Modoc Ditch (P-54-003602)—and one previously recorded cultural resource within a 0.5-mile search radius—the historical Wutchumna Canal (P-54-004875). A search of the NAHC's Sacred Land File did not identify Native American cultural resources within or near the Project area,

and no specific information was gleaned from outreach with local tribal representatives.

Æ conducted an archaeological and historic built environment pedestrian survey of the Project area on August 30, 2024. Archaeologists surveyed 43.6 acres (97 percent) of the 44.9-acre Project area and identified four historic-era artifacts widely dispersed primarily in the northeast corner of the Project area. Æ recorded the items as an isolated find on California Department of Parks and Recreation (DPR) 523-series forms under the temporary number AE-4633-ISO-01, which has now been assigned a permanent CHRIS designation of P-54-005811. Historical research indicated that the scattered items are in the vicinity of a late 1800s farmhouse that was removed in the 1970s. Isolated artifacts, by definition, are not eligible for listing in the CRHR because they lack context and association with other archaeological materials. Additionally, Æ identified two historic-era built environment resources within the Project area—a previously unrecorded residence at 3629 N. Demaree Street and two segments of the previously recorded Modoc Ditch. Æ evaluated the residence and segments of the Modoc Ditch for CRHR-eligibility and found both resources ineligible for listing because they do not possess significance under any CRHR evaluation criteria. No further action is recommended for the management of these cultural resources.

Æ's cultural resource study found no historical resources within the Project area that could be impacted by the proposed development. However, because Æ observed isolated historic-era artifacts in the northern half of the Project area that once contained a late nineteenth-century farmhouse, it is possible that buried historic-era refuse deposits, objects, or structural remains may be uncovered during construction. Cultural Resources Mitigation Measures 3.1 through 3.4 are proposed in the event of unanticipated archaeological discovery or exposure of human remains during construction. This will ensure that impacts will be less than significant with mitigation incorporation.

- b. There are no known archaeological resources located within the project area. Implementation of Cultural Resources Mitigation Measures 3.1 through 3.4 will ensure that potential impacts to unknown archeological resources will be less than significant with mitigation incorporation.
- c. There are no known human remains buried in the project vicinity. If human remains are unearthed during project construction, there is a potential for a significant impact. As such, implementation of Cultural Resources Mitigation Measures 3.1 through 3.4 will ensure that impacts remain less than significant with mitigation incorporation.

## **VI. ENERGY**

- a. Development of the site includes construction of 320-unit single-family subdivision, as well as the required infrastructure such as the construction of streets, extension of sewer lines and laterals, future connection to storm drainage system and extension of other utilities and services (gas, electricity, water) and improvements such as curb and gutter, sidewalks, streetlights. This development may increase the energy consumption related to worker trips and operation of construction equipment. This increase would be temporary and limited through the compliance with local, state, and federal regulations. Once

the subdivision is complete, the energy consumption would be typical of a single-family home subdivision, similar to what is located directly east of the site.

Policies identified under Impacts 3.4-1 and 3.4-2 of the EIR will reduce any potential impacts to a less than significant level. With implementation of these policies and the existing City standards, impacts to energy will be less than significant.

- b. The project will not conflict with or obstruct any state or local plans for renewable energy or energy efficiency. The proposed project will comply with all state and local policies related to energy efficiency.

## **VII. GEOLOGY AND SOILS**

- a. The State Geologist has not issued an Alquist-Priolo Earthquake Fault Map for Tulare County. The project area is not located on or near any known earthquake fault lines. Therefore, the project will not expose people or structures to potential substantial adverse impacts involving earthquakes.
- b. The development of this site will require movement of topsoil. Existing City Engineering Division standards require that a grading and drainage plan be submitted for review to the City to ensure that off- and on-site improvements will be designed to meet City standards.
- c. The project area is relatively flat and the underlying soil is not known to be unstable. Soils in the Visalia area have few limitations with regard to development. Due to low clay content and limited topographic relief, soils in the Visalia area have low expansion characteristics.
- d. Due to low clay content, soils in the Visalia area have an expansion index of 0-20, which is defined as very low potential expansion.
- e. The project does not involve the use of septic tanks or alternative wastewater disposal systems since sanitary sewer lines are available for connection for the disposal of wastewater at this location.
- f. There are no known unique paleontological resources or geologic features located within the project area. In the event that potentially significant cultural resources are discovered during ground disturbing activities associated with project preparation, construction, or completion, work shall halt in that area until a qualified Native American Tribal observer, archeologist, or paleontologist can assess the significance of the find, and, if necessary, develop appropriate treatment measures in consultation with Tulare County Museum, Coroner, and other appropriate agencies and interested parties.

Implementation of Cultural Resources Mitigation Measures 3.1 through 3.4 will ensure that potential impacts to unique paleontological resources or geologic features will be less than significant with mitigation incorporation.

## **VIII. GREENHOUSE GAS EMISSIONS**

- a. Per the AQGGIA (Ritchie Ranch Residential Development Air Quality & Greenhouse Gas Impact Assessment, VRPA Technologies, Inc, January 2025) conducted for this project, the project is expected to generate Greenhouse Gas (GHG) emissions in the short-term as a result of the construction of the project, and long-term as a result of day-to-day operation of the development. In 2009, the

SJVAPCD adopted the following guidance documents applicable to projects within the San Joaquin Valley:

- Guidance for Valley Land-use Agencies in Addressing GHG Emission Impacts for New Projects under CEQA (SJVAPCD 2009), and
- District Policy: Addressing GHG Emission Impacts for Stationary Source Projects Under CEQA When Serving as the Lead Agency (SJVAPCD 2009).

As shown in Table 9 of the Air Quality & Greenhouse Gas Impact Assessment (AQGGIA), the Project would generate 5105.91 Metric Tons of Carbon Dioxide Equivalent per year (MTCO<sub>2</sub>eq./year) using an operational year of 2005, which includes area, energy, mobile, waste, and water sources. "Business as usual" (BAU) is referenced in CARB's AB 32 Scoping Plan as emissions projected to occur in 2020 if the average baseline emissions during the 2002-2004 period grew to 2020 levels, without control or Best Performance Standards (BPS) offsets. As a result, an estimate of the Project's operational emissions in 2005 were compared to operational emissions in 2020 in order to determine if the Project meets the 29% emission reduction. The SJVAPCD has reviewed relevant scientific information related to GHG emissions and has determined that they are not able to determine a specific quantitative level of GHG emissions increase, above which a project would have a significant impact on the environment, and below which would have an insignificant impact. As a result, the SJVAPCD has determined that projects achieving at least a 29% GHG emission reduction compared to BAU would be determined to have a less than significant individual and cumulative impact for GHG. Results of the analysis show that the Project's GHG emissions in the year 2020 are 4203.90 MTCO<sub>2</sub>eq./year. This represents an achievement of 16% GHG emission reduction on the basis of BAU, which does not meet the 29% GHG emission reduction target.

In the event that a local air district's guidance for addressing GHG impacts does not use numerical GHG emissions thresholds, at the lead agency's discretion, a neighboring air district's GHG threshold may be used to determine impacts. In December 2008, the South Coast Air Quality Management District (SCAQMD) Governing Board adopted the staff proposal for an interim GHG significance threshold for projects where the SCAQMD is lead agency. The SCAQMD guidance identifies a threshold of 10,000 MTCO<sub>2</sub>eq./year for GHG for construction emissions amortized over a 30-year project lifetime, plus annual operation emissions. This threshold is often used by agencies, such as the California Public Utilities Commission, to evaluate GHG impacts in areas that do not have specific thresholds (CPUC 2015)<sup>3</sup>. Therefore, because this threshold has been established by the SCAQMD in an effort to control GHG emissions in the largest metropolitan area in the State of California, this threshold is considered a conservative approach for evaluating the significance of GHG emissions in a more rural area, such as Tulare County. Though the Project is under SJVAPCD jurisdiction, the SCAQMD GHG threshold provides some perspective on the GHG emissions generated by the Project. Table 10 of the AQGGIA shows the yearly GHG emissions generated by the Project as determined by the CalEEMod model, which is approximately 62% less than the threshold identified by the SCAQMD.

CARB's California GHG Emissions Inventory provides estimates of anthropogenic GHG emissions within California, as well as emissions associated with imported electricity; natural sources are not included in the inventory. California's GHG emissions for 2020 totaled approximately 358.76 million MTCO<sub>2</sub>eq. The proposed Project's GHG emissions represent less than 0.001% of the total GHG emissions for the state of California when compared to year 2018 emissions data.

Based on the assessment above, the Project will not generate greenhouse gas emissions, either directly or indirectly, that may have a significant impact on the environment.

The City has also prepared and adopted a Climate Action Plan (CAP) which includes a baseline GHG emissions inventories, reduction measures, and reduction targets consistent with local and State goals. The CAP was prepared concurrently with the proposed General Plan and its impacts are also evaluated in the Visalia General Plan Update EIR.

The Visalia General Plan and the CAP both include policies that aim to reduce the level of GHG emissions emitted in association with buildout conditions under the General Plan. Although emissions will be generated as a result of the projects, implementation of the General Plan and CAP policies will result in fewer emissions than would be associated with a continuation of baseline conditions. Thus, the impact on GHG emissions will be less than significant.

- b. California passed the California Global Warming Solutions Act of 2006. AB 32 requires that statewide GHG emissions be reduced to 1990 levels by 2020. Under AB 32, CARB must adopt regulations by January 1, 2011, to achieve reductions in GHGs to meet the 1990 emission cap by 2020. On December 11, 2008, CARB adopted its initial Scoping Plan, which functions as a roadmap of CARB's plans to achieve GHG reductions in California required by AB 32 through subsequently enacted regulations. CARB's 2017 Climate Change Scoping Plan builds on the efforts and plans encompassed in the initial Scoping Plan.

SB 375 requires MPOs to adopt an SCS or APS that will prescribe land use allocation in that MPO's regional transportation plan. CARB, in consultation with MPOs, has provided each affected region with reduction targets for GHGs emitted by passenger cars and light trucks in the region for the years 2020 and 2035.

Executive Order B-30-15 establishes a California greenhouse gas reduction target of 40 percent below 1990 levels by 2030 to ensure California meets its target of reducing greenhouse gas emissions to 80 percent below 1990 levels by 2050. Executive Order B-30-15 requires MPO's to implement measures that will achieve reductions of greenhouse gas emissions to meet the 2030 and 2050 greenhouse gas emissions reductions targets.

As required by California law, city and county General Plans contain a Land Use Element that details the types and quantities of land uses that the city or county estimates will be needed for future growth, and that designate locations for land uses to regulate growth. FCOG uses the growth projections and land use information in adopted general plans to estimate future average daily trips and then VMT, which are then provided to SJVAPCD to

estimate future emissions in the AQPs. The applicable General Plan for the project is City of Visalia 2035 General Plan Update, which was adopted in 2014.

The Project is consistent with the currently adopted General Plan for the City of Visalia and the adopted RTP/SCS and is therefore consistent with the population growth and VMT applied in those plan documents. Therefore, the Project is consistent with the growth assumptions used in the applicable AQP. It should also be noted that yearly GHG emissions generated by the Project (Table 9 of the AQGGIA) are approximately 62% less than the threshold identified by the SCAQMD (see the discussion for Impact 4.2.1 above).

CARB's 2017 Climate Change Scoping Plan builds on the efforts and plans encompassed in the initial Scoping Plan. The current plan has identified new policies and actions to accomplish the State's 2030 GHG limit. Below is a list of applicable strategies in the Scoping Plan and the Project's consistency with those strategies.

- California Light-Duty Vehicle GHG Standards – Implement adopted standards and planned second phase of the program. Align zero-emission vehicles, alternative and renewable fuel, and vehicle technology programs for long-term climate change goals.
  - The Project is consistent with this reduction measure. This measure cannot be implemented by a particular project or lead agency since it is a statewide measure. When this measure is implemented, standards would be applicable to light-duty vehicles that would access the Project. The Project would not conflict or obstruct this reduction measure.
- Energy Efficiency – Pursuit of comparable investment in energy efficiency from all retail providers of electricity in California. Maximize energy efficiency building and appliance standards.
  - The Project is consistent with this reduction measure. Though this measure applies to the State to increase its energy standards, the Project would comply with this measure through existing regulation. The Project would not conflict or obstruct this reduction measure.
- Low Carbon Fuel – Development and adoption of the low carbon fuel standard.
  - The Project is consistent with this reduction measure. This measure cannot be implemented by a particular project or lead agency since it is a statewide measure. When this measure is implemented, standards would be applicable to the fuel used by vehicles that would access the Project. The Project would not conflict or obstruct this reduction measure.

Based on the assessment above, the Project will not conflict with an applicable plan, policy or regulation adopted for the purpose of reducing the emissions of greenhouse gases. Therefore, any impact would be less than significant.

#### **IX. HAZARDS AND HAZARDOUS MATERIALS**

- a. No hazardous materials are anticipated with the project.
- b. Construction activities associated with development of the project may include maintenance of on-site construction equipment that could lead to minor fuel and oil spills. The use and handling of any hazardous materials during construction activities would occur in accordance with applicable federal, state, regional, and local laws. Therefore, impacts are considered to be less than significant.
- c. There are no schools located within one-quarter mile from the project. There is no reasonably foreseeable condition or incident involving the project that could affect existing or proposed school sites within one-quarter mile of school sites.
- d. The project area does not include any sites listed as hazardous materials sites pursuant to Government Code Section 65692.5.
- e. The City's adopted Airport Master Plan shows the project area is located outside of all Airport Zones. There are no restrictions for the proposed project related to Airport Zone requirements.

The project area is not located within 2 miles of a public airport.
- f. The project will not interfere with the implementation of any adopted emergency response plan or evacuation plan.
- g. There are no wild lands within or near the project area.

#### **X. HYDROLOGY AND WATER QUALITY**

- a. The project will not violate any water quality standards of waste discharge requirements. Development of the project site into a single-family subdivision would be required to meet the City's improvement standards for directing storm water runoff to the existing City storm water drainage system, consistent with the City's adopted City Storm Drain Master Plan.

Furthermore, the Visalia General Plan contains multiple policies, identified under Impact 3.6-2 and 3.9-3 of the EIR, that together work to reduce the potential for impacts to water quality. With implementation of these policies and the existing City standards, impacts to water quality will be less than significant.
- b. The project will not substantially deplete groundwater supplies in the project vicinity. The project site will be served by a water lateral for domestic, irrigation, and fire protection use.

The project area also overlies the southern portion of the San Joaquin unit of the Central Valley groundwater aquifer. The project will result in an increase of impervious surfaces on the project site, which might affect the amount of precipitation that is recharged to the aquifer. However, as the City of Visalia is already largely developed and covered by impervious surfaces, the increase of impervious surfaces through this project will be small by comparison.



The project therefore might affect the amount of precipitation that is recharged to the aquifer. The City of Visalia's water conservation measures and explorations for surface water use over groundwater extraction will assist in offsetting the loss in groundwater recharge.

- c.
- i. The development of this site will require movement of topsoil. Existing City Engineering Division standards require that a grading and drainage plan be submitted for review to the City to ensure that off- and on-site improvements will be designed to meet City standards.

- ii. Development of the site will create additional impervious surfaces. However, existing and planned improvements to storm water drainage facilities as required through the Visalia General Plan policies will reduce any potential impacts to a less than significant level.

Policies identified under Impact 3.6-2 of the EIR will reduce any potential impacts to a less than significant level. With implementation of these policies and the existing City standards, impacts to groundwater supplies will be less than significant.

- iii. Development of the site will create additional impervious surfaces. However, existing and planned improvements to storm water drainage facilities as required through the Visalia General Plan policies will reduce any potential impacts to a less than significant level.

Policies identified under Impact 3.6-2 of the EIR will reduce any potential impacts to a less than significant level. With implementation of these policies and the existing City standards, impacts to groundwater supplies will be less than significant.

Lastly, the project will be required to meet the City's improvement standards for directing storm water runoff to the City's storm water drainage system consistent with the City's adopted City Storm Drain Master Plan. These improvements will not cause significant environmental impacts.

- d. The project area is located sufficiently inland and distant from bodies of water, and outside potentially hazardous areas for seiches and tsunamis. The site is also relatively flat, which will contribute to the lack of impacts by mudflow occurrence. Therefore there will be no impact related to these hazards.
- e. The project will not conflict with or obstruct implementation of a water quality plan or sustainable groundwater management plan. The General Plan contains multiple policies that address the issue under Impact 3.6-1, and the County of Tulare maintains the Tulare County Hazard Mitigation Plan and a Mass Evacuation Plan that will help to reduce the impact. The project will comply with all applicable rules and regulations regarding water quality and groundwater management and there is no impact.

## **XI. LAND USE AND PLANNING**

- a. The project will not physically divide an established community. The project proposes the establishment of residential uses on a property zoned R-1-5 (Single-Family Residential, 5,000 square foot minimum site area), which is consistent with the surrounding land uses. The project

would continue to operate as the same designation following project implementation.

The Visalia General Plan contains multiple policies, identified under Impact 3.1-2 of the EIR, that together work to reduce the potential for impacts to the development of land as designated by the General Plan. With implementation of these policies and the existing City standards, impacts to land use development consistent with the General Plan will be less than significant.

- b. The project site is within the Urban Development Tier 1 Boundary. Development of residential lands in Tier 1 may occur at any time. The proposed project is consistent with Land Use Policy LU-P-19 of the General Plan. Policy LU-P-19 states; "Ensure that growth occurs in a compact and concentric fashion by implementing the General Plan's phased growth strategy."

The project as a whole does not conflict with any land use plan, policy or regulation of the City of Visalia. The site's General Plan Land Use Designation of Residential Low Density and the Zoning Designation of R-1-5 are consistent with each other based on the underlying allowed land uses and density ranges as identified in Table 9-1 "Consistency between the Plan and Zoning" of the General Plan. As such there is no impact.

## **XII. MINERAL RESOURCES**

- a. No mineral areas of regional or statewide importance exist within the Visalia area.
- b. There are no mineral resource recovery sites delineated in the Visalia area.

## **XIII. NOISE**

- a. An acoustical analysis for the project was conducted by WJV Acoustics (Acoustical Analysis, Ritchie Ranch Residential Development, Visalia, California, WJVA Project No. 24-23, May 20, 2024. Revised April 1, 2025). The study determined that the 320-lot single-family residential development will comply with applicable City of Visalia exterior and interior noise level criteria. Mitigation measured are not required for project noise compliance and compatibility requirements. The project will not result in noise generation typical of urban development.

Noise levels will increase temporarily during the construction of these facilities but shall remain within noise limits and will be restricted to the allowed hours of construction defined by the City of Visalia Noise Ordinance. Temporary increase in ambient noise levels is considered to be less than significant.

Furthermore, the Visalia General Plan contains multiple policies, identified under Impact N-P-3 through N-P-5, that work to reduce the potential for noise impacts to sensitive land uses. With the implementation of Noise Impact Policies and existing City Standards, noise impacts to new noise sensitive land uses would be less than significant

- b. Ground-borne vibration or ground-borne noise levels may occur as part of construction activities associated with the project. Construction activities will be temporary and will not expose persons to such vibration or noise levels for an extended period of time; thus, the impacts will be less than significant. There are no existing uses near the project area that create ground-borne vibration or ground-borne noise levels.

- c. The project area is not within two miles of a public airport, and there is no private airstrip near the project area. The project will not expose people residing or working in the project area to excessive noise levels resulting from aircraft operations.

#### **XIV. POPULATION AND HOUSING**

- a. The United States Census Bureau stated the population in the City of Visalia to be 141,214 as of April 2020. The project proposes to construct 320 new single family residential lots. The US Census Bureau states that the City's average household size is 2.99 persons. Based on this average household size, the anticipated population increase because of the proposed project is 957 persons. The construction of housing at this location would not be unplanned, as the Visalia General Plan designated the proposed project site for low density residential use. Additionally, the city is planning for more businesses, services, and infrastructure to accommodate the new population. Overall, the project will not constitute an unplanned increase in growth and population. There is no impact
- b. There is one existing house on the site which will be removed. Overall, the project will have a net increase the amount of available housing in the community. There is no Impact.

#### **XV. PUBLIC SERVICES**

- a.
  - i. Current fire protection facilities are located at Visalia Station 55, located approximately two miles southwest of the property, and can adequately serve the site without a need for alteration. Impact fees will be paid to mitigate the project's proportionate impact on these facilities.
  - ii. Current police protection facilities can adequately serve the site without a need for alteration. Impact fees will be paid to mitigate the project's proportionate impact on these facilities.
  - iii. The project will generate new students for which existing schools in the area would need to accommodate. In addition, to address direct impacts, the project will be required to pay residential impact fees. These fees are considered to be conclusive mitigation for direct impacts.
  - iv. Current park facilities can adequately serve the site without a need for alteration. Impact fees will be paid to mitigate the project's proportionate impact on these facilities.
  - v. Other public facilities can adequately serve the site without a need for alteration.

#### **XVI. RECREATION**

- a. The project will directly generate new residents and will therefore directly increase the use of existing neighborhood and regional parks or other recreational facilities such that substantial physical deterioration of the facility would occur or be accelerated. Residential developments will pay impact fees to mitigate impacts.
- b. The proposed project includes development of two pocket parks. However, the project does not include any recreational facilities, or require the construction or expansion of recreational facilities, that would have an

adverse physical effect on the environment.

#### **XVII. TRANSPORTATION AND TRAFFIC**

- a. Development and operation of the project is not anticipated to conflict with applicable plans, ordinances, or policies establishing measures of effectiveness of the City's circulation system. The project will result in an increase in traffic levels on arterial and collector roadways, although the City of Visalia's Circulation Element has been prepared to address this increase in traffic.
- b. Development of the site will result in increased traffic in the immediate area; but will not cause a substantial increase in traffic Citywide. This site was evaluated in the Visalia General Plan Update Environmental Impact Report (EIR) for Low Density Residential urban use.

A Traffic Impact Study has been provided by the applicant (Ritchie Ranch Residential Development Traffic Impact Study. VRPA Technologies, Inc., July 25, 2025), for the purpose of analyzing traffic conditions related to the Ritchie Ranch Residential Development (Project).

The Project is located at the southwest corner of River Way Drive and Demaree Street in the City of Visalia. The Project proposes to develop 320 single-family residential units and public park space on 44.9 acres of land. Primary vehicular access to the site would be provided at the Demaree Street/Shannon Parkway intersection with secondary access provided along Demaree Street and River Way Drive.

The following intersections and roadway segments included in this TIS were determined in consultation with City of Visalia staff and include:

- Demaree St/Ave 320
- Demaree St/Pratt Rd
- Demaree St/River Way Dr
- Demaree St/Shannon Pkwy
- Demaree St/Riggin Ave
- Linwood St/Riggin Ave
- Linwood St/Shannon Pkwy (Future Intersection)

The TIS completed for the Project includes level of service (LOS) analysis for the following traffic scenarios.

- Existing Conditions
- Opening Year Without Project
- Opening Year Plus Project
- 5 Year Horizon Without Project
- 5 Year Horizon Plus Project

The TIS concluded that with addition of the project all study area intersections are expected to operate at level of service D or better under the Existing and Opening Year scenarios except for the Demaree Street and Shannon Parkway intersection. It should be noted that this intersection does not meet peak hour signal warrants because the minor approach does not carry enough traffic to justify signalization.

All of the study area intersections are expected to operate at level of service D or better with or without the Project for Future Year 2030 conditions. By 2030, traffic signals are expected to be needed at the intersections of Demaree Street with Avenue 320, and Pratt Road, and at the intersection of Riggin Avenue and Linwood Street.

The Analysis concluded that the Project is screened out of requiring a detailed Vehicle Miles Travelled (VMT) analysis based on the screening criteria included in the City of Visalia's VMT guidelines. The project is located in a low VMT area north of Riggin Avenue and west of Demaree Street. Therefore, the project is screened out of requiring a detailed VMT analysis. As a result, VMT impacts are presumed to be less than significant and no mitigation measures are required pertaining to VMT.

The Analysis recommends improvements to storage pocket lengths, as presented in Table E-1 of the Study, considering the Future Year 2030 study scenario. The timing of recommended storage pocket length improvements is shown below:

#### Opening Year Plus Project

##### Demaree Street at Shannon Parkway

- Provide a 300-foot northbound left turn storage pocket.
- Provide a 100-foot eastbound left turn storage pocket.

##### Street L at Shannon Parkway

- Provide a 100-foot eastbound left turn storage pocket.
- Provide a 100-foot westbound left turn storage pocket.

#### Future Year 2030 Plus Project

##### Demaree Street at Riggin Avenue

- For the southbound left turn storage pocket, the City of Visalia will monitor signal timing at the intersection and make adjustments as necessary to maximize vehicular flow at the intersection, since there is insufficient space to extend the southbound left due to the constraint of the northbound left turn pocket at the Demaree Street and Jerome Avenue intersection.
- Provide a 300-foot eastbound left turn storage pocket.

Linwood Street at Riggin Avenue. Since this intersection is currently a 'T' intersection, the City of Visalia will monitor the need for intersection improvements and signalization. Once the north leg of Linwood Street is developed by others, the following improvements are recommended.

- Provide a 100-foot northbound left turn storage pocket.
- Provide a 100-foot southbound left turn storage pocket.
- Provide a 100-foot eastbound right turn storage pocket.
- Provide a 100-foot westbound right turn storage pocket.

These recommended improvements have been included as Transportation / Traffic Impact Mitigation Measures 1.1 to 1.4.

- c. There are no planned geometric designs associated with the project that are considered hazardous. West Shannon Parkway will feature a curvilinear pathway that is designed to align with West Riverway Drive upon development of the

property to the west of the project site. The design has been evaluated by the City of Visalia Traffic Engineering and Engineering Divisions and is compliant with City standards and circulation plans.

- d. The project will not result in inadequate emergency access.

#### **XVIII. TRIBAL CULTURAL RESOURCES**

The proposed project would not cause a substantial adverse change in the significance of a tribal cultural resource, defined in Public Resources Code section 21074 as either a site, feature, place, cultural landscape that is geographically defined in terms of the size and scope of the landscape, sacred place, or object with cultural value to a California Native American tribe.

Tribal notification was circulated in accordance with Senate Bill 52. A response was received from the Santa Rosa Rancheria Tachi Yokut Tribe (see Cultural Resource Study and Evaluation for Ritchie Ranch, City of Visalia, Tulare County, California. Applied EarthWorks, Inc., March 2025, Appendix C – Native American Outreach). Comments received have been incorporated as mitigation via Cultural Resources Mitigation Measure 3.3.

- a. The site is not listed or eligible for listing in the California Register of Historical Resources, or in a local register of historical resources as defined in Public Resources Code section 5020.1(k).
- b. The site has been determined to not be significant pursuant to criteria set forth in subdivision (c) of Public Resources Code Section 5024.1. In applying the criteria set forth in subdivision (c) of Public Resource Code Section 5024.1, the lead agency shall consider the significance of the resource to a California Native American tribe.

Pre-consultation letters were sent to local tribes in accordance with AB 52, providing tribes with a 30-day early review period. Staff did receive correspondence from the Santa Rosa Rancheria Tachi Yokut Tribe and mitigation incorporated via Cultural Resources Mitigation Measure 3.3.

Furthermore, the EIR (SCH 2010041078) for the 2014 General Plan update included a thorough review of sacred lands files through the California Native American Heritage Commission. The sacred lands file did not contain any known cultural resources information for the Visalia Planning Area.

#### **XIX. UTILITIES AND SERVICE SYSTEMS**

- a. The project will be connecting to existing City sanitary sewer lines, consistent with the City Sewer Master Plan. The Visalia wastewater treatment plant has a current rated capacity of 22 million gallons per day, but currently treats an average daily maximum month flow of 12.5 million gallons per day. With the completed project, the plant has more than sufficient capacity to accommodate impacts associated with the proposed project. The proposed project will therefore not cause significant environmental impacts.

The development onsite will be required to install City storm water drainage lines that handle on-site and street runoff. Usage of these lines is consistent with the City Storm Drain Master Plan. These improvements will not cause significant environmental impacts.

- b. California Water Service Company has determined that there are sufficient water supplies to support the site, and

that service can be extended to the site. A will serve letter was provided to the City, dated May 5, 2025.

- c. The City has determined that there is adequate capacity existing to serve the site's projected wastewater treatment demands at the City wastewater treatment plant.
- d. Current solid waste disposal facilities can adequately serve the site without a need for alteration.
- e. The project will be able to meet the applicable regulations for solid waste. Removal of debris from construction will be subject to the City's waste disposal requirements.

#### **XX. WILDFIRE**

- a. The project is located on a site that is adjacent on multiple sides by existing development. The site will be further served by multiple points of access. In the event of an emergency response, coordination would be made with the City's Engineering, Police, and Fire Divisions to ensure that adequate access to and from the site is maintained.
- b. The project area is relatively flat and the underlying soil is not known to be unstable. Therefore, the site is not in a location that is likely to exacerbate wildfire risks.
- c. The project is located on a site that is adjacent on multiple sides by existing development. New project development will require the installation and maintenance of associated infrastructure extending from adjacent off-site locations to the project site; however the infrastructure would be typical of residential development and would be developed to the standards of the underlying responsible agencies.
- d. The project area is relatively flat and the underlying soil is not known to be unstable. Therefore, the site is not in a

location that would expose persons or structures to significant risks of flooding or landslides.

#### **XXI. MANDATORY FINDINGS OF SIGNIFICANCE**

- a. This initial study/mitigated negative declaration found the project could have significant impacts on biological resources, transportation / traffic, and tribal cultural resources. However, implementation of the identified mitigation measures for each respective section would ensure that impacts are less than significant with mitigation incorporation.

Furthermore, this site was evaluated in the Program EIR (SCH No. 2010041078) for the City of Visalia's General Plan Update for conversion to urban use. The City adopted mitigation measures for conversion to urban development. Where effects were still determined to be significant a statement of overriding considerations was made.

- b. This site was evaluated in the Program EIR (SCH No. 2010041078) for the City of Visalia General Plan Update for the area's conversion to urban use. The City adopted mitigation measures for conversion to urban development. Where effects were still determined to be significant a statement of overriding considerations was made.
- c. This site was evaluated in the Program EIR (SCH No. 2010041078) for the City of Visalia General Plan Update for conversion to urban use. The City adopted mitigation measures for conversion to urban development. Where effects were still determined to be significant a statement of overriding considerations was made.

## DETERMINATION OF REQUIRED ENVIRONMENTAL DOCUMENT

On the basis of this initial evaluation:

- ☐ I find that the proposed project **COULD NOT** have a significant effect on the environment. **A NEGATIVE DECLARATION WILL BE PREPARED.**
- ☒ I find that although the proposed project could have a significant effect on the environment, there will not be a significant effect in this case because the mitigation measures described on the attached sheet have been added to the project. **A MITIGATED NEGATIVE DECLARATION WILL BE PREPARED.**
- ☐ I find the proposed project **MAY** have a significant effect on the environment, and an **ENVIRONMENTAL IMPACT REPORT** is required.
- ☐ I find that the proposed project **MAY** have a "potentially significant impact" or "potentially significant unless mitigated" impact on the environment, but at least one effect 1) has been adequately analyzed in an earlier document pursuant to applicable legal standards, and 2) has been addressed by mitigation measures based on the earlier analysis as described on attached sheets. An **ENVIRONMENTAL IMPACT REPORT** is required, but it must analyze only the effects that remain to be addressed.
- ☐ I find that as a result of the proposed project no new effects could occur, or new mitigation measures would be required that have not been addressed within the scope of the Program Environmental Impact Report (SCH No. 2010041078). The Environmental Impact Report prepared for the City of Visalia General Plan was certified by Resolution No. 2014-37 adopted on October 14, 2014. **THE PROGRAM ENVIRONMENTAL IMPACT REPORT WILL BE UTILIZED.**



Brandon Smith, AICP  
Environmental Coordinator

July 29, 2025

Date





**Yana Garcia**  
Secretary for  
Environmental Protection



**Department of Toxic Substances Control**

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**Gavin Newsom**  
Governor

**SENT VIA ELECTRONIC MAIL**

August 6, 2025

Cristobal Carrillo  
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RE: MITIGATED NEGATIVE DECLARATION FOR RITCHIE RANCH TENTATIVE  
SUBDIVISION MAP NO. 5600, CONDITIONAL USE PERMIT NO. 2024-23 DATED  
JULY 31, 2025, STATE CLEARINGHOUSE # [2025071349](#)

Dear Cristobal Carrillo,

The Department of Toxic Substances Control (DTSC) reviewed the Mitigated Negative Declaration (MND) for the Ritchie Ranch Tentative Subdivision Map No. 5600, Conditional Use Permit No. 2024-23 (Project). The Project is a request by Lennar Homes of California LLC to subdivide a parcel totaling approximately 44.89 acres into 320 lots for single-family residential use. The proposal will include non-standard lots that will be less than 5,000 square feet in size, with reduced lot widths, and reduced setbacks. DTSC recommends and requests consideration of the following comments:

1. When agricultural crops and/or land uses are proposed or rezoned for residential use, several contaminants of concern (COCs) can be present. The Lead Agency shall identify the amounts of Pesticides and Organochlorine Pesticides (OCPs) historically used on the property. If present, OCPs requiring further analysis are dichloro-diphenyl-trichloroethane, toxaphene, and dieldrin. Additionally, any level of arsenic present would require further analysis and sampling and must meet approved local area baselines or thresholds. If they do not, remedial action must take place to mitigate them below those thresholds. Additional COCs may be

found in mixing/loading/storage areas, drainage ditches, farmhouses, or any other outbuildings and should be sampled and analyzed. If smudge pots had been routinely utilized, additional sampling for Polycyclic Aromatic Hydrocarbons and/or Total Petroleum Hydrocarbons may be required. These recommendations should be adhered to and become part of the environmental document. Please refer to the [DTSC's Human and Ecological Risk Office \(HERO\) webpage](#) for the most recent guidance and screening levels.

2. DTSC recommends that all imported soil/fill material should be tested to assess any COCs meet screening levels as outlined in [DTSC's PEA Guidance Manual](#). Additionally, DTSC advises referencing the [DTSC Information Advisory Clean Imported Fill Material Fact Sheet](#) if importing fill is necessary. To minimize the possibility of introducing contaminated soil/fill material there should be documentation of the origins of the soil/fill material and, if applicable, sampling be conducted to ensure that the imported soil/fill material are suitable for the intended land use. The soil sampling should include analysis based on the source of the soil/fill and knowledge of prior land use.

DTSC would like to thank you for the opportunity to comment on the MND for the Ritchie Ranch Tentative Subdivision Map No. 5600, Conditional Use Permit No. 2024-23 Project. Thank you for your assistance in protecting California's people and environment from the harmful effects of toxic substances. If you have any questions or would like clarification on DTSC's comments, please respond to this letter or via our [CEQA Review email](#) for additional guidance.

Sincerely,



Dave Kereazis  
Associate Environmental Planner  
HWMP-Permitting Division – CEQA Unit  
Department of Toxic Substances Control  
[Dave.Kereazis@dtsc.ca.gov](mailto:Dave.Kereazis@dtsc.ca.gov)

Cristobal Carrillo  
August 6, 2025  
Page 3

cc: (via email)

Governor's Office of Land Use and Climate Innovation  
State Clearinghouse  
[state.clearinghouse@lci.ca.gov](mailto:state.clearinghouse@lci.ca.gov)

Melody Haigh  
Entitlements Manager / Project Applicant  
Lennar Homes of California LLC  
[melody.haigh@lennar.com](mailto:melody.haigh@lennar.com)

Tamara Purvis  
Associate Environmental Planner  
HWMP - Permitting Division – CEQA Unit  
Department of Toxic Substances Control  
[Tamara.Purvis@dtsc.ca.gov](mailto:Tamara.Purvis@dtsc.ca.gov)

Scott Wiley  
Associate Governmental Program Analyst  
HWMP - Permitting Division – CEQA Unit  
Department of Toxic Substances Control  
[Scott.Wiley@dtsc.ca.gov](mailto:Scott.Wiley@dtsc.ca.gov)



August 13, 2025

Cristobal Carrillo  
City of Visalia  
Planning and Community Preservation Department  
315 E. Acequia Avenue  
Visalia, CA, 93291

**Project: Mitigated Negative Declaration for Ritchie Ranch Tentative Subdivision  
Map No. 5600 and Conditional Use Permit No. 2024-23 – Lennar Homes of  
California LLC**

**District CEQA Reference No: 20250897**

Dear Cristobal Carrillo:

The San Joaquin Valley Air Pollution Control District (District) has reviewed the Mitigated Negative Declaration (MND) from the City of Visalia (City) for the Lennar Homes of California LLC project. Per the MND, the project consists of 320 single-family homes (Project). The Project is located at the corner of West Riverway Avenue and North Demaree Street, in Visalia, CA.

The District offers the following comments at this time regarding the Project:

**1) Health Risk Screening/Assessment**

Per the MND, a Prioritization and/or Health Risk Assessment was not performed for the Project. The City should evaluate the risk associated with the Project for sensitive receptors (residences, businesses, hospitals, day-care facilities, health care facilities, etc.) in the area and mitigate any potentially significant risk to help limit exposure of sensitive receptors to emissions.

To determine potential health impacts on surrounding receptors (residences, businesses, hospitals, day-care facilities, health care facilities, etc.) a Prioritization and/or a Health Risk Assessment (HRA) should be performed for the Project. These health risk determinations should quantify and characterize potential Toxic Air Contaminants (TACs) identified by the Office of Environmental Health Hazard Assessment/California Air Resources Board (OEHHA/CARB) that pose a present or potential hazard to human health.

**Samir Sheikh**  
Executive Director/Air Pollution Control Officer

**Northern Region**  
4800 Enterprise Way  
Modesto, CA 95356-8718  
Tel: (209) 557-6400 FAX: (209) 557-6475

**Central Region (Main Office)**  
1990 E. Gettysburg Avenue  
Fresno, CA 93726-0244  
Tel: (559) 230-6000 FAX: (559) 230-6061

**Southern Region**  
34946 Flyover Court  
Bakersfield, CA 93308-9725  
Tel: (661) 392-5500 FAX: (661) 392-5585

Health risk analyses should include all potential air emissions from the project, which include emissions from construction of the project, including multi-year construction, as well as ongoing operational activities of the project. Note, two common sources of TACs can be attributed to diesel exhaust emitted from heavy-duty off-road earth moving equipment during construction, and from ongoing operation of heavy-duty on-road trucks.

Prioritization (Screening Health Risk Assessment):

A "Prioritization" is the recommended method for a conservative screening-level health risk assessment. The Prioritization should be performed using the California Air Pollution Control Officers Association's (CAPCOA) methodology. Please contact the District for assistance with performing a Prioritization analysis.

The District recommends that a more refined analysis, in the form of an HRA, be performed for any project resulting in a Prioritization score of 10 or greater. This is because the prioritization results are a conservative health risk representation, while the detailed HRA provides a more accurate health risk evaluation.

Health Risk Assessment:

Prior to performing an HRA, it is strongly recommended that land use agencies/ project proponents develop and submit for District review a health risk modeling protocol that outlines the sources and methodologies that will be used to perform the HRA.

A development project would be considered to have a potentially significant health risk if the HRA demonstrates that the health impacts would exceed the District's established risk thresholds, which can be found here:

<https://ww2.valleyair.org/permitting/ceqa/>.

A project with a significant health risk would trigger all feasible mitigation measures. The District strongly recommends that development projects that result in a significant health risk not be approved by the land use agency.

The District is available to review HRA protocols and analyses. For HRA submittals please provide the following information electronically to the District for review:

- HRA (AERMOD) modeling files
- HARP2 files
- Summary of emissions source locations, emissions rates, and emission factor calculations and methodologies.



For assistance, please contact the District's Technical Services Department by:

- E-Mailing inquiries to: [hramodeler@valleyair.org](mailto:hramodeler@valleyair.org)
- Calling (559) 230-5900

*Recommended Measure:* Development projects resulting in TAC emissions should be located an adequate distance from residential areas and other sensitive receptors to prevent the creation of a significant health risk in accordance to CARB's Air Quality and Land Use Handbook: A Community Health Perspective located at <https://ww2.arb.ca.gov/our-work/programs/resource-center/strategy-development/land-use-resources>.

## **2) Clean Lawn and Garden Equipment in the Community**

Per the MND, the Project consists of residential development, gas-powered residential lawn and garden equipment have the potential to result in an increase of NO<sub>x</sub> and PM<sub>2.5</sub> emissions. Utilizing electric lawn care equipment can provide residents with immediate economic, environmental, and health benefits. The District recommends the Project proponent consider the District's Clean Green Yard Machines (CGYM) program which provides incentive funding for replacement of existing gas powered lawn and garden equipment. More information on the District CGYM program and funding can be found at: <https://ww2.valleyair.org/grants/clean-green-yard-machines-residential/>.

## **3) On-Site Solar Deployment**

It is the policy of the State of California that renewable energy resources and zero-carbon resources supply 100% of retail sales of electricity to California end-use customers by December 31, 2045. While various emission control techniques and programs exist to reduce air quality emissions from mobile and stationary sources, the production of solar energy is contributing to improving air quality and public health. The District suggests that the City consider incorporating solar power systems as an emission reduction strategy for the Project.

## **4) District Rules and Regulations**

The District issues permits for many types of air pollution sources, and regulates some activities that do not require permits. A project subject to District rules and regulations would reduce its impacts on air quality through compliance with the District's regulatory framework. In general, a regulation is a collection of individual rules, each of which deals with a specific topic. As an example, Regulation II (Permits) includes District Rule 2010 (Permits Required), Rule 2201 (New and Modified Stationary Source Review), Rule 2520 (Federally Mandated Operating

Permits), and several other rules pertaining to District permitting requirements and processes.

The list of rules below is neither exhaustive nor exclusive. Current District rules can be found online at: <https://ww2.valleyair.org/rules-and-planning/current-district-rules-and-regulations>. To identify other District rules or regulations that apply to future projects, or to obtain information about District permit requirements, the project proponents are strongly encouraged to contact the District's Small Business Assistance (SBA) Office at (559) 230-5888.

#### **4a) District Rule 9510 - Indirect Source Review (ISR)**

The Project is subject to District Rule 9510 because it will receive a project-level discretionary approval from a public agency and will equal or exceed 50 dwelling units of residential.

The purpose of District Rule 9510 is to reduce the growth in both NO<sub>x</sub> and PM emissions associated with development and transportation projects from mobile and area sources; specifically, the emissions associated with the construction and subsequent operation of development projects. The ISR Rule requires developers to mitigate their NO<sub>x</sub> and PM emissions by incorporating clean air design elements into their projects. Should the proposed development project clean air design elements be insufficient to meet the required emission reductions, developers must pay a fee that ultimately funds incentive projects to achieve off-site emissions reductions.

Per Section 5.0 of the ISR Rule, an Air Impact Assessment (AIA) application is required to be submitted no later than applying for project-level approval from a public agency. Currently for this Project, the District received and approved an AIA application (ISR project #20240504).

#### **4b) District Rule 4002 (National Emissions Standards for Hazardous Air Pollutants)**

In the event an existing building will be renovated, partially demolished or removed, the Project may be subject to District Rule 4002. This rule requires a thorough inspection for asbestos to be conducted before any regulated facility is demolished or renovated. Information on how to comply with District Rule 4002 can be found online at: <https://ww2.valleyair.org/compliance/demolition-renovation/>

#### **4c) District Rule 4601 (Architectural Coatings)**

The Project will be subject to District Rule 4601 since it is expected to utilize architectural coatings. Architectural coatings are paints, varnishes, sealers, or

stains that are applied to structures, portable buildings, pavements or curbs. The purpose of this rule is to limit VOC emissions from architectural coatings. In addition, this rule specifies architectural coatings storage, cleanup and labeling requirements. Additional information on how to comply with District Rule 4601 requirements can be found online at:  
<https://ww2.valleyair.org/media/tkgjeusd/rule-4601.pdf>

#### **4d) District Regulation VIII (Fugitive PM10 Prohibitions)**

The project proponent may be required to submit a Construction Notification Form or submit and receive approval of a Dust Control Plan prior to commencing any earthmoving activities as described in Regulation VIII, specifically Rule 8021 – *Construction, Demolition, Excavation, Extraction, and Other Earthmoving Activities*.

Should the project result in at least 1-acre in size, the project proponent shall provide written notification to the District at least 48 hours prior to the project proponents intent to commence any earthmoving activities pursuant to District Rule 8021 (Construction, Demolition, Excavation, Extraction, and Other Earthmoving Activities). Also, should the project result in the disturbance of 5-acres or more, or will include moving, depositing, or relocating more than 2,500 cubic yards per day of bulk materials, the project proponent shall submit to the District a Dust Control Plan pursuant to District Rule 8021 (Construction, Demolition, Excavation, Extraction, and Other Earthmoving Activities). For additional information regarding the written notification or Dust Control Plan requirements, please contact District Compliance staff at (559) 230-5950.

The application for both the Construction Notification and Dust Control Plan can be found online at: <https://ww2.valleyair.org/media/fm3jrbsq/dcp-form.docx>

Information about District Regulation VIII can be found online at:  
<https://ww2.valleyair.org/dustcontrol>

#### **4e) District Rule 4901 - Wood Burning Fireplaces and Heaters**

The purpose of this rule is to limit emissions of carbon monoxide and particulate matter from wood burning fireplaces, wood burning heaters, and outdoor wood burning devices. This rule establishes limitations on the installation of new wood burning fireplaces and wood burning heaters. Specifically, at elevations below 3,000 feet in areas with natural gas service, no person shall install a wood burning fireplace, low mass fireplace, masonry heater, or wood burning heater.

Information about District Rule 4901 can be found online at:  
<https://ww2.valleyair.org/compliance/residential-wood-smoke-reduction-program/>

**4f) Other District Rules and Regulations**

The Project may also be subject to the following District rules: Rule 4102 (Nuisance) and Rule 4641 (Cutback, Slow Cure, and Emulsified Asphalt, Paving and Maintenance Operations).

**5) District Comment Letter**

The District recommends that a copy of the District's comments be provided to the Project proponent.

If you have any questions or require further information, please contact Eric McLaughlin by e-mail at [eric.mclaughlin@valleyair.org](mailto:eric.mclaughlin@valleyair.org) or by phone at (559) 230-5808.

Sincerely,

Mark Montelongo  
Director of Policy and Government Affairs



For: Daniel Martinez  
Program Manager



MEETING DATE

February 14, 2024

SITE PLAN NO.

2023-231 – 1 – 1

PARCEL MAP NO.

SUBDIVISION

LOT LINE ADJUSTMENT NO.

Enclosed for your review are the comments and decisions of the Site Plan Review committee. Please review all comments since they may impact your project.

☐ **RESUBMIT** Major changes to your plans are required. Prior to accepting construction drawings for building permit, your project must return to the Site Plan Review Committee for review of the revised plans.

☐ During site plan design/policy concerns were identified, schedule a meeting with

☐ Planning

☐ Engineering prior to resubmittal plans for Site Plan Review.

☐ Solid Waste

☐ Parks and Recreation

☐ Fire Dept.

☒ **REVISE AND PROCEED** (see below)

☐ A revised plan addressing the Committee comments and revisions must be submitted for Off-Agenda Review and approval prior to submitting for building permits or discretionary actions.

☐ Submit plans for a building permit between the hours of 9:00 a.m. and 4:00 p.m., Monday through Friday.

☒ Your plans must be reviewed by:

☐ CITY COUNCIL

☐ REDEVELOPMENT

☒ PLANNING COMMISSION

☐ PARK/RECREATION

☒ TSM, CUP

☐ HISTORIC PRESERVATION

☐ OTHER –Abandonment Authorization-  
Modoc Ditch Company

☒ **ADDITIONAL COMMNTS:**

If you have any questions or comments, please call the Site Plan Review Hotline at (559) 713-4440  
Site Plan Review Committee



# SITE PLAN REVIEW COMMENTS

**Cristobal Carrillo, Planning Division (559) 713-4443**

Date: February 14, 2024

SITE PLAN NO: 2023-231 – 1 – 1  
PROJECT: Ritchie Ranch TSM  
DESCRIPTION: A NEW SUBDIVISION FOR 321 SINGLE FAMILY HOMES  
APPLICANT: GREG NUNLEY  
LOCATION TITLE: 3629 N. DEMAREE STREET  
APN TITLE: 077-060-022  
GENERAL PLAN: Residential Low Density, Conservation  
ZONING: R-1-5 (Single Family Residential, 5,000 sq. ft. minimum site area)

## **Planning Division Recommendation:**

- ☒ Revise and Proceed  
☐ Resubmit

**Reference Site Plan  
Review No. 2021-  
093 and 2022-133.**

## **Project Requirements**

- Tentative Subdivision Map
- Conditional Use Permit/Planned Residential Development
- Traffic Impact Analysis
- Cultural Resources Study
- Biological Study
- Tribal Consultation under AB 52
- Abandonment Authorization from the Modoc Ditch Company

## **PROJECT SPECIFIC INFORMATION:** February 14, 2024

1. The proposal to develop a residential subdivision will require the applicant to file for the following:
  - a. Tentative Subdivision Map, including the following:
    - i. Phasing Plan;
    - ii. Site Plan showing the entire project site;
    - iii. Operational Statement/Project Narrative. Document shall provide data on the subdivision, including average lot sizes, smallest/largest lot sizes, open space tabulations, etc.. The name of the potential developers shall also be provided.
    - iv. Building Elevations. Note: two story units shall contain ornamentation on all four sides of the second story.
    - v. A color rendering of all landscape and open spaces areas shall be provided. The rendering shall also depict what amenities will be provided within the park areas (play ground equipment, sports areas, seating areas, BBQ areas, etc.).
    - vi. Lot depictions for regular sized lots shall show proposed driveway widths, location of two-car garages, area where trash bins will be stored, and number of vehicles that can be parked along the property street frontage. (Belissa had small lots at 3 & 5, larger next to garage).
  - b. A Conditional Use Permit for a Planned Residential Development for the small lot subdivision.
2. If reduced setbacks are proposed, it is highly recommended that significant increases in open space and guest parking be provided.
3. Tribal consultation as required by AB 52 shall be conducted for the project. If requested by a tribe, a Cultural Resources Study and records searches through the California Historical Resources Information System and Native American Heritage Commission may be required.
4. Provide a Biological Study for the project site with the entitlement application.

5. The applicant shall consult with the Modoc Ditch Company. Verification shall be submitted that the Modoc Ditch Company has approved abandonment of its northern section with the entitlement application.
6. Fencing/block wall details shall be provided on the site plan, including material, height, and location.
7. A City Standard Block Wall shall be provided along the northern boundary of Lots 294 through 321.
8. Block walls shall be provided along the street side yards of all lots intersecting with a major Collector/Arterial street (Lots 46, 47, 93, 94, 248, 249, and 233).
9. Building foot prints shall be provided for all irregular shaped lots.
10. Lots 231 and 232 are double fronting lots. The applicant shall provide an outlot along the rear yard boundary of the lots, and install a City Standard Block Wall along said outlot. It is highly recommended that the outlot and block wall be placed at the southern portion of Lots 231 and 232.
11. It is highly recommended that lots do not rear against the Modoc Ditch.
12. It is recommended that a trail be placed in the Shannon Parkway right of way.
13. Staff will recommend inclusion of a condition requiring no street parking during trash pick-up days.
14. All reverse corner lots shall contain a five foot "no build" easement. Easement shall be shown on the plans.
15. Consult with the Traffic and Engineering Divisions regarding the development of Shannon Parkway, design of intersections, and alignment of driveways. All comments shall be incorporated into the plans submitted for entitlement review.
16. Per the Traffic Engineering Divisions, a Traffic Impact Analysis shall be provided with the entitlement application.
17. An Indemnification Agreement shall be signed by the applicant prior to processing of the CEQA environmental determination. The agreement shall be provided to the applicant by staff.
18. See previous comments.

**PROJECT SPECIFIC INFORMATION:** January 17, 2024

1. The proposal to develop a residential subdivision will require the applicant to file for the following:
  - a. Tentative Subdivision Map, including the following:
    - i. Phasing Plan;
    - ii. Site Plan showing the entire project site;
    - iii. Operational Statement/Project Narrative;
    - iv. Building Elevations. Note: two story units shall contain articulation/ornamentation on all four sides of the second story.
  - b. A Conditional Use Permit for a Planned Residential Development for the small lot subdivision.
  - c. Note: Annexation mentioned in previous SPR comments is NOT required.
2. Setbacks, while still reduced from normal R-1-5 standards, have been reduced to numbers similar to the Belissa Subdivision. If reduced setbacks are proposed, it is highly recommended that significant increases in open space and guest parking be provided.
3. Building elevations do **not** need to be provided with the next Site Plan Review submittal (though it is recommended). Elevations can be provided with the Tentative Subdivision Map / Conditional Use Permit application.
4. The open space area shall be increased to a minimum 1.97 acres, to equal the ratio of park space provided within the small lot portion of the Belissa Subdivision.
5. Tribal consultation as required by AB 52 shall be conducted for the project. If requested by a tribe, a Cultural Resources Study and records searches through the California Historical Resources Information System and Native American Heritage Commission may be required.
6. The applicant shall consult with the Modoc Ditch Company. Verification shall be submitted that the Modoc Ditch supports the proposal, including abandonment of its northern section.
7. Fencing/block wall details shall be provided on the site plan, including material, height, and location.
8. Block walls shall be provided along the street side yards of all lots intersecting with a major Collector/Arterial street (Lots 43, 72, 73, 84, 283, 284, 263, 264).
9. Building foot prints shall be provided for all irregular shaped lots.

10. Lot depictions for regular sized lots shall show proposed driveway widths, location of two-car garages, area where trash bins will be stored, and number of vehicles that can be parked along the property street frontage.
11. A color rendering of all landscape and open spaces areas shall be provided. The rendering shall also depict what amenities will be provided within the park areas (play ground equipment, sports areas, seating areas, BBQ areas, etc.).
12. It is highly recommended that lots do not rear against the Modoc Ditch.
13. Staff will recommend inclusion of a condition requiring no street parking during trash pick up days.
14. All reverse corner lots shall contain a five foot "no build" easement. Easement shall be shown on the plans.
15. Consult with the Engineering Division regarding the development of Shannon Parkway as it relates to the Phasing Plan and its alignment.

**PROJECT SPECIFIC INFORMATION:** January 3, 2024

1. The proposal to develop a residential subdivision will require the applicant to file for the following:
  - a. Annexation of the project site into the Visalia City Limits;
  - b. Tentative Subdivision Map, including the following:
    - i. Phasing Plan;
    - ii. Site Plan showing the entire project site;
    - iii. Operational Statement/Project Narrative;
    - iv. Building Elevations. Note: two story units shall contain articulation/ornamentation on all four sides of the second story.
2. A Conditional Use Permit for a Planned Residential Development for the small lot subdivision.
3. Staff will not support the proposed setbacks. There shall be a minimum 20 foot setback for garages, and minimum rear yard setbacks of 8 to 10 feet. If reduced setbacks are proposed, it is highly recommended that significant increases in open space and guest parking be provided.
4. The open space area shall be increased to a minimum 1.97 acres, to equal the ratio of park space provided within the small lot portion of the Belissa Subdivision.
5. Tribal consultation as required by AB 52 shall be conducted for the project. If requested by a tribe, a Cultural Resources Study and records searches through the California Historical Resources Information System and Native American Heritage Commission may be required.
6. The applicant shall consult with the Modoc Ditch Company.
7. Fencing/block wall details shall be provided on the site plan, including material, height, and location.
8. Street and ditch cross sections shall be provided.
9. Building foot prints shall be provided for all irregular shaped lots.
10. A color rendering of all landscape and open spaces areas shall be provided. The rendering shall also indicate the site of all open space areas.
11. A 25 foot riparian setback shall be provided along the Modoc Ditch, from the top of bank.
12. It is highly recommended that lots do not rear against the Modoc Ditch.
13. Staff will recommend inclusion of a condition requiring no street parking during trash pick up days.

**Note:**

1. The applicant shall contact the San Joaquin Valley Air Pollution Control District to verify whether additional permits are required through the District.
2. Prior to a final for the project, a signed Certificate of Compliance for the MWELo standards is required indicating that the landscaping has been installed to MWELo standards.

**Sections of the Municipal Code to review:**

**Title 16 Subdivisions**



17.34.020(A)(1) Single-family dwelling

17.36.030 Single-family residential zones

✓✓

Signature \_\_\_\_\_





**SUBDIVISION & PARCEL MAP  
REQUIREMENTS  
ENGINEERING DIVISION**

|                                                   |          |
|---------------------------------------------------|----------|
| <input type="checkbox"/> Lupe Garcia              | 713-4197 |
| <input checked="" type="checkbox"/> Keyshawn Ford | 713-4268 |
| <input type="checkbox"/> Edelma Gonzalez          | 713-4364 |
| <input type="checkbox"/> Sarah MacLennan          | 713-4271 |
| <input type="checkbox"/> Luqman Ragabi            | 713-4362 |

ITEM NO: 1 DATE: FEBRUARY 14, 2024

|                |                                                  |
|----------------|--------------------------------------------------|
| SITE PLAN NO.: | 23-231 3 <sup>rd</sup> SUBMITTAL                 |
| PROJECT TITLE: | RITCHIE RANCH                                    |
| DESCRIPTION:   | TENTATIVE SUBDIVISION MAP-343 SINGLE FAMILY LOTS |
| APPLICANT:     | GREG NUNLEY                                      |
| PROP. OWNER:   | LARRY RITCHIE                                    |
| LOCATION:      | 3629 N DEMAREE ST                                |
| APN:           | 077-060-022                                      |

**SITE PLAN REVIEW COMMENTS**

- ☒ REQUIREMENTS (Indicated by checked boxes)
- ☒ Submit improvements plans detailing all proposed work; ☒ Subdivision Agreement will detail fees & bonding requirements
- ☒ Bonds, certificate of insurance, cash payment of fees/inspection, and approved map & plan required prior to approval of Final Map.
- ☒ The Final Map & Improvements shall conform to the Subdivision Map Act, the City's Subdivision Ordinance and Standard Improvements.
- ☒ A preconstruction conference is required prior to the start of any construction.
- ☒ Right-of-way dedication required. A title report is required for verification of ownership. ☒ by map ☒ by deed  
**Additional ROW for Demaree St may be required. SEE ADDITIONAL COMMENTS**
- ☒ City Encroachment Permit Required which shall include an approved traffic control plan.
- ☐ CalTrans Encroachment Permit Required. ☐ CalTrans comments required prior to tentative parcel map approval. CalTrans contacts: David Deel (Planning) 488-4088
- ☒ Landscape & Lighting District/Home Owners Association required prior to approval of Final Map. Landscape & Lighting District will maintain common area landscaping, street lights, street trees and local streets as applicable. Submit completed Landscape and Lighting District application and filing fee a min. of 75 days before approval of Final Map. **Maintainance District to be formed for subdivision**
- ☒ Landscape & irrigation improvement plans to be submitted for each phase. Landscape plans will need to comply with the City's street tree ordinance. The locations of street trees near intersections will need to comply with Plate SD-1 of the City improvement standards. A street tree and landscape master plan for all phases of the subdivision will need to be submitted with the initial phase to assist City staff in the formation of the landscape and lighting assessment district.
- ☒ Dedicate landscape lots to the City that are to be maintained by the Landscape & Lighting District.
- ☐ Northeast Specific Plan Area: Application for annexation into Northeast District required 75 days prior to Final Map approval.
- ☒ Written comments required from ditch company. **Modoc** Contacts: James Silva 747-1177 for Modoc, Persian, Watson, Oakes, Flemming, Evans Ditch and Peoples Ditches; Paul Hendrix 686-3425 for Tulare Irrigation Canal, Packwood and Cameron Creeks; Bruce George 747-5601 for Mill Creek and St. John's River.
- ☒ Final Map & Improvements shall conform to the City's Waterways Policy. ☒ Access required on ditch bank, 12' minimum. ☐ Provide \_\_\_\_\_ wide riparian dedication from top of bank.
- ☒ Sanitary Sewer master plan for the entire development shall be submitted for approval prior to approval of any portion of the system. The sewer system will need to be extended to the boundaries of the development where future connection and extension is anticipated. The sewer system will need to be sized to serve any future developments that are anticipated to connect to the system.
- ☒ Grading & Drainage plan required. If the project is phased, then a master plan is required for the entire project area that shall include pipe network sizing and grades and street grades. ☐ Prepared by registered civil engineer or project architect. ☒ All elevations shall be based on the City's benchmark network. Storm run-off from the project shall be handled as follows: a) ☐ directed to the City's existing storm drainage system; b) ☐ directed to a permanent on-site basin; or c) ☒ directed to a temporary on-site basin is required until a connection with adequate capacity is available to the City's storm drainage system. On-site basin:



- : maximum side slopes, perimeter fencing required, provide access ramp to bottom for maintenance. **Install any City master planned storm drain infrastructure. See additional comments.**
- ☒ Show Valley Oak trees with drip lines and adjacent grade elevations. ☒ Protect Valley Oak trees during construction in accordance with City requirements. ☒ A permit is required to remove Valley Oak trees. Contact Public Works Admin at (559)713-4428 for a Valley Oak tree evaluation or permit to remove. ☐ Valley Oak tree evaluations by a certified arborist are required to be submitted to the City in conjunction with the tentative map application. ☐ A pre-construction conference is required.
  - ☒ Show adjacent property grade elevations on improvement plans. A retaining wall will be required for grade differences greater than 0.5 feet at the property line.
  - ☒ Relocate existing utility poles and/or facilities. **Required with all public street widening/construction**
  - ☒ Underground all existing overhead utilities within the project limits. Existing overhead electrical lines over 50kV shall be exempt from undergrounding. **As necessary per required road improvements.**
  - ☒ Provide "R" value tests: **1** each at **each intersection and 300' intervals**
  - ☒ Traffic indexes per city standards: **Refer to Arterial and Local street City standards.**
  - ☒ All public streets within the project limits and across the project frontage shall be improved to their full width, subject to available right of way, in accordance with City policies, standards and specifications. **Riverway, Demaree, and local streets**
  - ☒ All lots shall have separate drive approaches constructed to City Standards. **REFER TO CITY STDS**
  - ☒ Install street striping as required by the City Engineer. **DETERMINED AT TIME OF CIVIL REVIEW**
  - ☒ Install sidewalk: **varies** ft. wide, with **5'** ft. wide parkway on **Riverway, Demaree, and local streets**
  - ☒ Cluster mailbox supports required at 1 per 2 lots, or use postal unit (contact the Postmaster at 732-8073).
  - ☐ Subject to existing Reimbursement Agreement to reimburse prior developer:
  - ☒ Abandon existing wells per City of Visalia Code. A building permit is required.
  - ☒ Remove existing irrigation lines & dispose off-site. ☒ Remove existing leach fields and septic tanks.
  - ☒ Fugitive dust will be controlled in accordance with the applicable rules of San Joaquin Valley Air District's Regulation VIII. Copies of any required permits will be provided to the City.
  - ☒ If the project requires discretionary approval from the City, it may be subject to the San Joaquin Valley Air District's Rule 9510 Indirect Source Review per the rule's applicability criteria. A copy of the approved AIA application will be provided to the City.
  - ☒ If the project meets the one acre of disturbance criteria of the State's Storm Water Program, then coverage under General Permit Order 2009-0009-DWQ is required and a Storm Water Pollution Prevention Plan (SWPPP) is needed. A copy of the approved permit and the SWPPP will be provided to the City.

☐ Comply with prior comments    ☒ Resubmit with additional information    ☒ Redesign required

#### **Additional Comments:**

1. **Subdivision to widen and install Demaree St to 84' collector standard with Phase 1. Refer to City stds. Complete remaining frontage improvements along subdivision. Project to adhere to current City Std. cross section and install 5' parkway, 6' sidewalk, and 10' landscape lot to block wall. Site plan to provide cross-sections of the streets.**
2. **Riverway Ave has been downgraded in classification from Collector to Local. Modification will be accepted to meet local cross-section standards. Design required for ultimate cross-section and alignment as existing SD and ditch may require section modification. Provide proposal with resubmittal.**
3. **The applicant shows that they intent to abandon the portion of Modoc Ditch that is located south of Riverway Avenue. Provide written comments from Modoc Ditch company confirming this is possible and that they are okay with the proposed layout of these lots.**
4. **Provide cross sections of all roads and of Modoc Ditch.**
5. **Chinowth St shall go through Shanon Pkwy to meet super-block connectivity. City Std P-15.**

6. *Development to install SD infrastructure per SD Master Plan. Coordinate with City staff. A temporary basin may be required.*
7. *Development shall extend the existing 12" SS line along Shannon Pkwy to the west limits.*
8. *Chamfer property lines on corner lots. See City Standards SD-1.*
9. *Show blue border with dimensions, including area required for dedication of ROW.*
10. *Provide detail of ditch outfall location with respect to outlot and required access road along southern boundary of development.*
11. *Provide 30' radius at Local to Collector and Collector to Collector. See City Standards.*
12. *Shannon Parkway shall be realigned to match City's adopted alignment. Redesign accordingly. See Traffic comments.*
13. *Outlots shall be continuous at culs-de-sac providing pedestrian access. These Pedestrian access points shall not be included in public right of way*
14. *Utility poles to be undergrounded or relocated as required along east and west of parcel.*
15. *Median may be required along Demaree St. Coordinate with City staff.*
16. *Public improvements required to be installed by development include, but may not be limited to, curb & gutter, sidewalk, parkway landscaping with street trees, street lighting, pavement, road transitions, utility relocations, undergrounding, storm and sewer extensions, curb ramp returns, ditch culverts, block walls, signal mods/installation, and medians.*
17. *Developer shall be responsible for the maintenance of outlots. Method of maintenance shall be worked through final map review.*
18. *Development will incur impact fees due at time of final map and building permits. Refer to applicable fees on page 4.*
19. *The proposed tentative subdivision map shows four phases. The applicant shall be required to buildout Shannon Parkway to the extent of the phase line with Phase 1 to allow for 2-way vehicular travel. The applicant shall also be required to complete the buildout of all of Demaree with Phase 1. Phase 2 shall include building out Shannon Parkway to allow for two way vehicular travel. Phase 3 shall be required to shift the phase line further west to the Shannon Parkway and local road intersection and also be required to complete all of Riverway Avenue. Finally, depending on if the northern park is required to have access for earlier phases, all of Shannon Parkway may be required to be builtout sooner.*
20. *Project to provide master plans for storm, sewer, streetlights, landscaping etc if phased.*
21. *Project shall show method of SD collection, current city draft SD master plan requires extension to Linwood for distribution to ultimate basin location. Alternative design for direct discharge into Modoc Basin from project site can be considered, but will be at the developers expense.*
22. *The applicant shall confirm that the proposed radius design for Shannon Parkway is acceptable prior to Planning Commission.*
23. *Schedule an "Off Agenda" meeting with staff prior to resubmittal for additional coordination.*

## **SUMMARY OF APPLICABLE DEVELOPMENT IMPACT FEES**

Site Plan No: **23-231-1-1**

Date: **02/14/2024**

**Summary of applicable Development Impact Fees to be collected at the time of final/parcel map recordation:**

**(Preliminary estimate only! Final fees will be based on approved subdivision map & improvements plans and the fee schedule in effect at the time of recordation.)**

(Fee Schedule Date: **08/19/2023**)

(Project type for fee rates: **TENTATIVE SUBDIVISION MAP**)

☐ Existing uses may qualify for credits on Development Impact Fees.

| <b><u>FEE ITEM</u></b>                                             | <b><u>FEE RATE</u></b>                    |
|--------------------------------------------------------------------|-------------------------------------------|
| <input checked="" type="checkbox"/> Trunk Line Capacity Fee        | <b>DEFERRED UNTIL TIME OF DEVELOPMENT</b> |
| <input checked="" type="checkbox"/> Sewer Front Foot Fee           |                                           |
| <input checked="" type="checkbox"/> Storm Drainage Acquisition Fee |                                           |
| <input checked="" type="checkbox"/> Park Acquisition Fee           |                                           |
| <input type="checkbox"/> Northeast Acquisition Fee Total           |                                           |
| Storm Drainage                                                     |                                           |
| Block Walls                                                        |                                           |
| Parkway Landscaping                                                |                                           |
| Bike Paths                                                         |                                           |
| <input checked="" type="checkbox"/> Waterways Acquisition Fee      |                                           |

**Additional Development Impact Fees will be collected at the time of issuance of building permits.**

### **City Reimbursement:**

- 1.) No reimbursement shall be made except as provided in a written reimbursement agreement between the City and the developer entered into prior to commencement of construction of the subject planned facilities.
- 2.) Reimbursement is available for the development of arterial/collector streets as shown in the City's Circulation Element and funded in the City's transportation impact fee program. The developer will be reimbursed for construction costs and right of way dedications as outlined in Municipal Code Section 16.44. Reimbursement unit costs will be subject to those unit costs utilized as the basis for the transportation impact fee.
- 3.) Reimbursement is available for the construction of storm drain trunk lines and sanitary sewer trunk lines shown in the City's Storm Water Master Plan and Sanitary Sewer System Master Plan. The developer will be reimbursed for construction costs associated with the installation of these trunk lines.

  
\_\_\_\_\_  
**Keyshawn Ford**



OFF 23111  
 NOBLE & MCXULIFF MULTI-  
 FAMILY  
 424 S MCXULIFF

NOTE: These are general comments and DO NOT constitute a complete plan check for your specific project  
 Please refer to the applicable California Code & local ordinance for additional requirements.

- ☒ A building permit will be required. **FOR EACH BUILDING** For information call (559) 713-4444
- ☒ Submit 1 digital set of professionally prepared plans and 1 set of calculations. (Small Tenant Improvements)
- ☐ Submit 1 digital set of plans prepared by an architect or engineer. Must comply with 2016 California Building Cod Sec. 2308 for conventional light-frame construction or submit 1 digital set of engineered calculations.
- ☐ Indicate abandoned wells, septic systems and excavations on construction plans.
- You are responsible to ensure compliance with the following checked items:**
- ☒ Meet State and Federal requirements for accessibility for persons with disabilities.
- ☐ A path of travel, parking and common area must comply with requirements for access for persons with disabilities.
- ☐ All accessible units required to be adaptable for persons with disabilities.
- ☒ Maintain sound transmission control between units minimum of 50 STC.
- ☒ Maintain fire-resistive requirements **1 HR MIN. BETWEEN UNITS.**
- ☐ A demolition permit & deposit is required. For information call (559) 713-4444
- ☐ Obtain required permits from San Joaquin Valley Air Pollution Board. For information call (661) 392-5500
- ☐ Plans must be approved by the Tulare County Health Department. For information call (559) 624-8011
- ☒ Project is located in flood zone **AE** \* ☐ Hazardous materials report. **MEET FEMA FLOOD REQUIREMENTS**
- ☐ Arrange for an on-site inspection. (Fee for inspection \$157.00) For information call (559) 713-4444
- ☒ School Development fees. **RESIDENTIAL: \$5.50 PER SF.**
- ☐ Park Development fee \$ \_\_\_\_\_, per unit collected with building permits.
- ☐ Additional address may be required for each structure located on the site. For information call (559) 713-4320
- ☐ Acceptable as submitted
- ☐ No comments at this time

Additional comments: **ALL DWELLING UNITS SHALL BE PROTECTED WITH A TYPE 13R SPINKLER SYSTEM. PROVIDE AN ACCESSIBLE ROUTE TO THE PUBLIC WAY. NO FENCE IN REAR YARD**

**VAL GARCIA 5/14/24**  
 Signature



**Site Plan Comments**  
Visalia Fire Department  
Corbin Reed, Fire Marshal  
420 N. Burke  
Visalia CA 93292  
559-713-4272 office  
prevention.division@visalia.city

Date February 14, 2024  
Item # 1  
Site Plan # 23231-1-1  
APN: 077060022

- The Site Plan Review comments are issued as **general overview** of your project. With further details, additional requirements will be enforced at the Plan Review stage. Please refer to the 2022 California Fire Code (CFC), 2022 California Building Codes (CBC) and City of Visalia Municipal Codes.
- Construction and demolition sites prior to and during construction shall comply with the attached **Access & Water Guidelines**.
- **Address numbers** must be placed on the exterior of the building in such a position as to be clearly and plainly visible from the street. Numbers will be at least four inches (4") high and shall be of a color to contrast with their background. If multiple addresses are served by a common driveway, the range of numbers shall be posted at the roadway/driveway. 2022 CFC 505.1
- Residential developments shall be provided with **fire hydrants** every six hundred (600) lineal feet of residential frontage. In isolated developments, no less than two (2) fire hydrants shall be provided. The exact location and number of fire hydrants shall be at the discretion of the fire marshal, fire chief and/or their designee. VMC 16.36.120(5); 2022 CFC §507, App B and C
- **All streets** shall meet the City of Visalia's Design & Improvement Standards for streets to ensure that fire apparatus can make access to all structures in the event of an emergency.
- Traffic calming devices shall be prohibited unless approved by the fire code official. Visalia Fire Department current standards for approved traffic calming are speed tables that can be traversed at 25 miles per hour.
- **Special comments:** Hydrants for roadway hazards shall be provided along all road frontages that are provided with water mains that do not have residence facing them in accordance with CFC appendix B&C.

Corbin Reed  
Fire Marshal





## **Visalia Fire Department Access and Water Guidelines for Residential Construction**

**Effective July 1, 2019**

### Model Homes & Non-Model Homes

Model and Non-Model homes may be constructed once all of the following conditions have been met:

1. All portions of proposed residential construction shall be located and accessible within 150 feet of an existing, paved, city street.
2. **Exceptions:** If any portion of a model home or a non-model is located greater than 150 feet from an existing city street, a fire apparatus access road shall be installed and maintained unobstructed at all times. The fire access road, including curb and gutter, shall be installed per City Specifications and City Standard P-1 excluding the Asphalt Concrete layer, but in no circumstance shall have a structural section less than required under City Standard P-25 based on R-Value of existing subgrade unless otherwise specified on approved plans. Compaction tests, including testing of the aggregate base layer, shall be performed under City inspection and reports shall be submitted to the Public Works Inspector prior to City acceptance for the road to be used for fire access. The fire access roads shall be usable and maintained in place until permanent paved access has been provided meeting City standards and specifications.
3. All required fire hydrants shall be installed in the approved locations per the stamped and approved plans and shall be fully operational.

**Exception:** If fire hydrant installation has not been completed an onsite elevated water tank shall be provided. The minimum size of provided water tank shall be 10,000 gallons, and shall be designated as "Fire Department use only". Tanks shall be located within 300 feet travel distance of each structure being developed. Tanks shall remain in place until all fire hydrant installation has been completed and all hydrants are fully operational. Travel distance shall be measured by an approved fire apparatus access route.

Connection provided on water tanks shall be a four and one half inch National Hose thread male fitting and shall be gravity fed, with connection point located between 18 and 36 inches above ground level.

**\*If at any time the conditions of these guidelines are not being met the Fire Marshal/Fire Chief or his/her designee have the authority to issue a "Stop Work Order" until corrections have been made.**

**\* This information is intended to be a guideline. The Fire Marshal and/or Fire Chief shall have the discretion to modify requirements at any time as set forth under CFC Appendix D.**



City of Visalia  
Police Department  
303 S. Johnson St.  
Visalia, CA 93292  
(559) 713-4370

Date: 02/14/23  
Item: 1  
Site Plan: SPR23231-1-1  
Name: Robert Avalos

**Site Plan Review Comments**

- ☒ No Comment at this time.
- ☐ Request opportunity to comment or make recommendations as to safety issues as plans are developed.
- ☐ Public Safety Impact Fee:  
Ordinance No. 2001-11 Chapter 16.48 of Title 16 of the Visalia Municipal Code  
Effective date - August 17, 2001.
- ☐ Impact fees shall be imposed by the City pursuant to this Ordinance as a condition of or in conjunction with the approval of a development project. "New Development or Development Project" means any new building, structure or improvement of any parcels of land, upon which no like building, structure of improvement previously existed. \*Refer to Engineering Site Plan comments for fee estimation.
- ☐ Not enough information provided. Please provide additional information pertaining to:
- ☐ Territorial Reinforcement: Define property lines (private/public space).
- ☐ Access Controlled/ Restricted etc.
- ☐ lighting Concerns:
- ☐ Traffic Concerns:
- ☐ Surveillance Issues:
- ☐ Line of Sight Issues:
- ☐ Other Concerns:

# **SITE PLAN REVIEW COMMENTS**

## **CITY OF VISALIA TRAFFIC SAFETY DIVISION**

**February 14, 2024**

**ITEM NO: 1**      **Added to Agenda**      **MEETING TIME: 09:00**  
SITE PLAN NO: SPR23231-1-1      ASSIGNED TO: Cristobal Carrillo [Cristobal.Carrillo@visalia.c](mailto:Cristobal.Carrillo@visalia.c)  
PROJECT TITLE: Ritchie Ranch TSM  
DESCRIPTION: A new subdivision for 321 single family homes.  
APPLICANT: Greg Nunley - Applicant  
OWNER: RITCHIE LARRY J & MARY E (TRS)  
APN: 077060022  
ADDRESS: 3629 N DEMAREE ST  
LOCATION: Southwest corner of W. Riverway Ave and N. Demaree St.

**THE TRAFFIC DIVISION WILL PROHIBIT ON-STREET PARKING AS DEEMED NECESSARY**

- ☐ No Comments
- ☒ See Previous Site Plan Comments
- ☒ Install Street Light(s) per City Standards at time of development.
- ☒ Install Street Name Blades at Locations at time of development.
- ☒ Install Stop Signs at **local road intersection with collector/arterial** Locations.
- ☐ Construct parking per City Standards PK-1 through PK-4 at time of development.
- ☒ Construct drive approach per City Standards at time of development.
- ☒ Traffic Impact Analysis required (CUP)
- ☐ Provide more traffic information such as . Depending on development size, characteristics, etc., a TIA may be required.
- ☐ Additional traffic information required (Non Discretionary)
- ☐ Trip Generation - Provide documentation as to concurrence with General Plan.
- ☐ Site Specific - Evaluate access points and provide documentation of conformance with COV standards. If noncomplying, provide explanation.
- ☐ Traffic Impact Fee (TIF) Program - Identify improvements needed in concurrence with TIF.

### **Additional Comments:**

- The alignment of Shannon Pkwy, west of Demaree, is to swing up in a reverse S curve to connect to Linwood at the Riverway alignment. Design speed 50 mph. Reverse curve to have a minimum of a 100-ft straight tangent connecting the two curves. Intersection of Linwood and Shannon Pkwy site of future roundabout.

- Riverway has changed status from a collector to being unclassified. Shannon Pkwy is now the collector in place of Riverway. Median access on Shannon Pkwy will be required to comply with City of Visalia standards.
- Alignment required for the two easterly north-south streets intersecting on both sides of Shannon Pkwy. Allow for non-conflicting left turn pockets.
- Demaree median breaks
  - Intersection of Shannon Pkwy and Demaree is a full median opening, and location for future traffic signal.
  - Intersection of Riverway and Demaree to be a  $\frac{3}{4}$  median access break.
  - Intersection of most southerly east-west street with Demaree will be required to be right in/out only. No median break at this location.
- Traffic calming – Long streets induce speed. Rework layout to provide shorter road segments or provide traffic calming
  - Any street 900-ft or longer required to include traffic calming features such as speed tables. Speed tables to be spaced at 200-300' intervals.
  - Local road intersections – When intersection has 4-legs, provide a raised intersection.
- Intersections to meet at 90 degrees or as near to 90 degrees as possible. A minimum of 100-ft tangent required for each intersection leg. For intersections with Shannon Pkwy, provide intersection sight visibility triangles in accordance with AASHTO standards. Sight visibility required to be provided and maintained at all times.

*Leslie Blair*

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**Leslie Blair**



CITY OF VISALIA  
**SOLID WASTE DIVISION**  
336 N. BEN MADDOX  
VISALIA CA. 93291  
713 - 4532  
**COMMERCIAL BIN SERVICE**

23231-1-1

February 14, 2024

- ☐ No comments.
- ☒ See comments below
- ☐ Revisions required prior to submitting final plans. See comments below.
- ☐ Resubmittal required. See comments below.
- ☒ Customer responsible for all cardboard and other bulky recyclables to be broken down before disposing of in recycle containers
- ☐ ALL refuse enclosures must be city standard R-1 OR R-2 & R-3 OR R-4
- ☒ Customer must provide combination or keys for access to locked gates/bins
- ☐ Type of refuse service not indicated.
- ☐ Location of bin enclosure not acceptable. See comments below.
- ☐ Bin enclosure insufficient to comply with state recycling mandates. See comments for suggestions.
- ☐ Inadequate number of bins to provide sufficient service. See comments below.
- ☐ Drive approach too narrow for refuse trucks access. See comments below.
- ☐ Area not adequate for allowing refuse truck turning radius of : Commercial 50 ft. outside 36 ft. inside; Residential 35 ft. outside, 20 ft. inside.
- ☒ Paved areas should be engineered to withstand a 55,000 lb. refuse truck.
- ☐ Bin enclosure gates are required
- ☐ Hammerhead turnaround must be built per city standards.
- ☒ Cul - de - sac must be built per city standards.
- ☐ Bin enclosures are for city refuse containers only. Grease drums or any other items are not allowed to be stored inside bin enclosures.
- ☐ Area in front of refuse enclosure must be marked off indicating no parking
- ☐ Enclosure will have to be designed and located for a STAB service (DIRECT ACCESS) with no less than 38' clear space in front of the bin, included the front concrete pad.
- ☐ Customer will be required to roll container out to curb for service.
- ☐ Must be a concrete slab in front of enclosure as per city standards, the width of the enclosure by ten(10) feet, minimum of six(6) inches in depth.
- ☐ Roll off compactor's must have a clearance of 3 feet from any wall on both sides and there must be a minimum of 53 feet clearance in front of the compactor to allow the truck enough room to provide service.
- ☒ City ordinance 8.28.120-130 (effective 07/19/18) requires contractor to contract with City for removal of construction debris unless transported in equipment owned by contractor or unless contracting with a franchise permittee for removal of debris utilizing roll-off boxes.
- ☐ City standard (3-can) residential services to be assigned per address. Solid waste services will include trash, recycling, and organics recycling, per the State of California's mandatory recycling laws (AB-341 & AB-1826). Customer to identify placement of multiple "No Parking on Solid Waste Collection Days" signs along higher density roadways. Residential cans to be separated by 3' for scheduled collections. Customers are encouraged to contact Solid Waste at 559-713-4532 to review sample street signage.

Comment

Jason Serpa, Solid Waste Manager, 559-713-4533  
Edward Zuniga, Solid Waste Supervisor, 559-713-4338

Nathan Garza, Solid Waste, 559-713-4532













