

# PLANNING COMMISSION AGENDA

CHAIRPERSON:

Mary Beatie



VICE CHAIRPERSON:

Chris Tavarez

COMMISSIONERS: Bill Davis, Charlie Norman, Adam Peck, Chris Tavarez, Mary Beatie

**MONDAY, FEBRUARY 24, 2025**

**VISALIA COUNCIL CHAMBERS**

**LOCATED AT 707 W. ACEQUIA AVENUE, VISALIA, CA**

**MEETING TIME: 7:00 PM**

1. CALL TO ORDER –
2. THE PLEDGE OF ALLEGIANCE –
3. ROLL CALL –
4. CITIZEN'S COMMENTS – This is the time for citizens to comment on subject matters that are not on the agenda but are within the jurisdiction of the Visalia Planning Commission. You may provide comments to the Planning Commission at this time, but the Planning Commission may only legally discuss those items already on tonight's agenda.  
  
The Commission requests that a five (5) minute time limit be observed for Citizen Comments. You will be notified when your five minutes have expired.
5. AGENDA COMMENTS OR CHANGES –
6. CONSENT CALENDAR - All items under the consent calendar are to be considered routine and will be enacted by one motion. For any discussion of an item on the consent calendar, it will be removed at the request of the Commission and made a part of the regular agenda.
  - None
7. PUBLIC HEARING – Cristobal Carrillo, Associate Planner

**Conditional Use Permit No. 2025-01:** A request by Danielle Panuco to amend Conditional Use Permit No. 1998-22, to formally establish a licensed daycare facility for 125 students within an existing church, located in the R-1-5 (Single Family Residential, 5,000 sq. ft. minimum lot size) Zone. The project site is located at 4525 West Caldwell Avenue, on the southwest corner of West Caldwell Avenue and South Linwood Street (APN: 119-360-062). The project is Categorically Exempt from the California Environmental Quality Act (CEQA) pursuant to CEQA Guidelines Section 15301, Categorical Exemption No. 2025-01.

8. PUBLIC HEARING – Cristobal Carrillo, Associate Planner

- a. **Tentative Parcel Map No. 2024-11:** A request by Allen Williams to subdivide a 4.89 acre parcel into three parcels, to separate existing development from a vacant parcel planned for a subdivision, in the R-1-5 (Single-Family Residential, 5,000 square foot minimum site area) Zone. A Notice of Exemption was prepared for the Jennings Estates Tentative Subdivision Map No. 5603 and Tentative Parcel Map No. 2024-11. Notice of Exemption No. 2024-76 disclosed that no additional environmental review is required based upon the project being consistent with the development density established by the City's General Plan and based upon no further project-specific effects that are peculiar to the project or the site. The project site is located at 1716 North Cain Street, east of the intersection of North Cain Street and East Prospect Avenue (APN: 098-470-001).
- b. **Jennings Estates Tentative Subdivision Map No. 5603:** A request by Allen Williams to subdivide a 4.36 acre parcel into a 22-lot single-family residential subdivision with one out lot for landscaping purposes, in the R-1-5 (Single-Family Residential, 5,000 square foot minimum site area) Zone. A Notice of Exemption was prepared for the Jennings Estates Tentative Subdivision Map No. 5603 and Tentative Parcel Map No. 2024-11. Notice of Exemption No. 2024-76 disclosed that no additional environmental review is required based upon the project being consistent with the development density established by the City's General Plan and based upon no further project-specific effects that are peculiar to the project or the site. The project site is located at 1716 North Cain Street, east of the intersection of North Cain Street and East Prospect Avenue (APN: 098-470-001).

9. CITY PLANNER UPDATE –

- a. Reserve Area Work Session Item
- b. Adoption of Environmental Justice Element and Safety Element

10. ADJOURNMENT

The Planning Commission meeting may end no later than 11:00 P.M. Any unfinished business may be continued to a future date and time to be determined by the Commission at this meeting. The Planning Commission routinely visits the project sites listed on the agenda.

For Hearing Impaired – Call (559) 713-4900 (TTY) 48-hours in advance of the scheduled meeting time to request signing services.

Any written materials relating to an item on this agenda submitted to the Planning Commission after distribution of the agenda packet are available for public inspection in the City Office, 315 E. Acequia Visalia, CA 93291, during normal business hours.

**APPEAL PROCEDURE**

**THE LAST DAY TO FILE AN APPEAL IS THURSDAY, MARCH 6, 2025, BEFORE 5:00 PM**

According to the City of Visalia Zoning Ordinance Section 17.02.145 and Subdivision Ordinance Section 16.04.040, an appeal to the City Council may be submitted within ten days following the date of a decision by the Planning Commission. An appeal form with applicable fees shall be filed with the City Clerk at 220 North Santa Fe Street, Visalia, CA 93291. The appeal shall specify errors or abuses of discretion by the Planning Commission, or decisions not supported by the evidence in the record. The appeal form can be found on the city's website [www.visalia.city](http://www.visalia.city) or from the City Clerk.

**THE NEXT REGULAR MEETING WILL BE HELD ON MONDAY, MARCH 10, 2025**





# REPORT TO CITY OF VISALIA PLANNING COMMISSION

**HEARING DATE:** February 24, 2025

**PROJECT PLANNER:** Cristobal Carrillo, Associate Planner  
Phone No.: (559) 713-4443  
E-mail: [cristobal.carrillo@visalia.city](mailto:cristobal.carrillo@visalia.city)

**SUBJECT: Conditional Use Permit No. 2025-01:** A request by Danielle Panuco to amend Conditional Use Permit No. 1998-22, to formally establish a licensed daycare facility for 125 students within an existing church, located in the R-1-5 (Single Family Residential, 5,000 sq. ft. minimum lot size) Zone. The project site is located at 4525 West Caldwell Avenue, on the southwest corner of West Caldwell Avenue and South Linwood Street (APN: 119-360-062).

## STAFF RECOMMENDATION

Staff recommends approval of Conditional Use Permit No. 2025-01 based upon the findings and conditions in Resolution No. 2025-01. Staff's recommendation is based on the conclusion that the request is consistent with the Visalia General Plan and Zoning Ordinance.

## RECOMMENDED MOTION

I move to approve Conditional Use Permit No. 2025-01 based on the findings and conditions in Resolution No. 2025-01.

## PROJECT DESCRIPTION

The applicant requests approval to amend Conditional Use Permit No. 1998-22 to permit the establishment of a licensed daycare facility serving 125 students within the existing West Visalia Church of Christ complex. The original 1998 Conditional Use Permit (CUP) that established the 25,000 square foot church included approval to develop a separate 4,800 square foot elementary school building for 125 students (see Exhibit "E"). However, the school was never formally established or building constructed. The applicants request will establish a license daycare facility serving the same number of students, but would locate the daycare within the existing church, and would limit clientele to children ages two through six.

A site plan and floor plan depicting how the existing facilities will be employed by the daycare are provided in Exhibits "A" and "B". Per the site plan, the daycare will make use of the existing 215 stall parking field, providing access to drivers primarily from South Linwood Street. The children's pick up/drop off area will be located along the eastern side of the church. Existing open space south of the church will be employed as a playground area. Per the floor plan in Exhibit "B", the applicant would use four existing rooms and a fellowship hall as classrooms, with the possibility of expansion into other rooms, if necessary, though the number of students would not change.

Per the operational statement in Exhibit "D", the daycare would have a staff of 16 employees at full capacity, and would operate 7:30 A.M. to 4:45 P.M. Monday through Friday, with special events (graduations, performances, family game nights, etc.) occurring 5:30 P.M. to 7:00 P.M. on weekdays, or 9:30 A.M. to 11:00 A.M. on Saturdays. Classroom ratios would be 12 students per staff member. Daycare operations would not conflict with regular church operations, which would either occur at times when the school is closed (such as worship services) or would be contained to portions of the church not used by the daycare (i.e., administration activities).

## BACKGROUND INFORMATION

General Plan Land Use Designation:	Residential Low Density
Zoning:	R-1-5 (Single Family Residential, 5,000 square foot minimum site area)
Surrounding Zoning and Land Use	North: Q-P (Quasi Public), R-M-3 (Multifamily Residential, 1,200 square foot minimum site area per dwelling) / Fortress of Truth church, Visalia Montessori School, Oak View multifamily apartments, Linwood Elementary School. South: R-1-5 / Lindwood Estates residential subdivision East: R-1-5 / Linwood Ranch residential subdivision West: R-1-5 / Hunter's Crossing residential subdivision
Environmental Review:	Categorical Exemption No. 2025-01
Site Plan	2024-241

### **RELATED PROJECTS**

**Conditional Use Permit No. 1998-22:** A request by West Visalia Church of Christ to establish a 25,000 square foot, 650-seat sanctuary and 4,800 square foot future school, located at the southwest corner of West Caldwell Avenue and South Linwood Street. The project was approved by the Visalia Planning Commission on September 14, 1998.

**Conditional Use Permit No. 2010-10 and Variance No. 2010-05:** A request by Verizon Wireless to install a new 75-foot-tall stealth telecommunications tower, with 12 antennas, outdoor equipment cabinets, and a back-up generator, at the West Visalia Church of Christ complex, located on the southwest corner of West Caldwell Avenue and South Linwood Street. The project was approved by the Visalia Planning Commission on August 9, 2010.

## PROJECT EVALUATION

### **Land Use Compatibility**

Churches and daycare facilities serving more than 14 children are identified as conditionally permitted uses in several of Visalia's zoning classifications, including the R-1-5 Zone. Through the CUP process, potential impacts can be addressed thereby ensuring compatibility between the proposed use and existing surrounding uses.

A mixture of residential and quasi-public uses are currently located within the vicinity of the project site. The proposed use is not expected to produce noise or lighting impacts that would negatively affect adjacent areas. Parking needs for the use will be satisfied by the existing on-site parking field. Hours of operation have also been designed to prevent impacts from the use on existing church operations. Given the above, staff concludes that the proposed use will be compatible with the project site and surrounding area.

### **Access and Circulation**

Adequate access to the project site will be provided via two existing driveways off South Linwood Street and West Caldwell Avenue. The existing parking field is designed to provide

sufficient area for maneuvering vehicles through the parking lot. The pick up/drop off area is placed in such a way as to allow parents to park and walk students to the daycare, without having to traverse parking lot drive aisles. Lastly, hours of operation for the church would not conflict with most church functions. As such, the parking lot would remain largely vacant during times when students will be dropped off and picked up, further reducing potential circulation concerns.

### **Parking**

The Zoning Ordinance requires kindergarten, nursery schools, and similar uses to provide one parking space for each employee plus one parking space for each ten children. If the facility were to operate at full capacity, the use would require 29 stalls. The existing church parking field contains 215 stalls, the vast majority of which will be available since the school will primarily operate when the church is not in use. No additional parking is required.

### **Public Comment**

Public comment was received from a resident who resides south of the project site. The resident stated that the proposed daycare would negatively impact the residential areas adjacent to the proposed playground area through increased noise pollution. They also noted that existing mature evergreen trees located along the southern project site boundary were being removed, further increasing impacts from noise and lighting, and reducing privacy.

Per the project applicant, only one tree has been removed, to provide space for new fencing that will enclose the proposed playground area. There are no plans to remove the remaining evergreen trees onsite. Staff also notes that as part of the original church/school CUP approval, a screening wall was placed along the southern project site boundary to reduce impacts from noise and lighting. Given that the proposal does not seek to increase the number of students originally approved for the project site, staff has determined that the existing site improvements and trees are sufficient to reduce noise and lighting impacts to the surrounding residential areas.

The public comment provided is included as an attachment to the staff report.

### **Environmental Review**

The proposal will make use of spaces within the existing West Visalia Church of Christ complex. No physical changes are proposed to the project site. As such, the requested action is considered Categorical Exempt under Section 15301 (Existing Facilities) of the Guidelines for the Implementation of the California Environmental Quality Act (CEQA). (Categorical Exemption No. 2025-01).

## **RECOMMENDED FINDINGS**

1. That the proposed project, as conditioned, will not be detrimental to the public health, safety, or welfare, or materially injurious to properties or improvements in the vicinity.
2. That the proposed project is consistent with the policies and intent of the General Plan and Zoning Ordinance. Specifically, the project is consistent with the required findings of Zoning Ordinance Section 17.38.110:
  - a. The proposed location of the conditional use is in accordance with the objectives of the Zoning Ordinance and the purposes of the zone in which the site is located.
  - b. The proposed location of the conditional use and the conditions under which it would be operated or maintained will not be detrimental to the public health, safety, or welfare, nor materially injurious to properties or improvements in the vicinity.

3. That the project is considered Categorically Exempt under Section 15301 of the Guidelines for the Implementation of the California Environmental Quality Act (CEQA). (Categorical Exemption No. 2025-01).

### **RECOMMENDED CONDITIONS OF APPROVAL**

1. That the site shall be developed consistent with the comments and conditions of the Site Plan Review Committee, as set forth under Site Plan No. 2024-241.
2. That the site shall be developed and use operated in substantial compliance with the Site Plan in Exhibit "A", Floor Plans in Exhibit "B", Building Elevations in Exhibit "C", and Operational Statement in Exhibit "D".
3. That substantial changes to the site plan, floor plan, operational plan, and/or an intensification of the use, may require evaluation by the Site Plan Review committee and/or an amendment to this Conditional Use Permit.
4. That the project shall be developed and operated in compliance with all requirements and conditions of the Conditional Use Permit No. 1998-22, unless superseded by the conditions of Conditional Use Permit No. 2025-01.
5. That any project signage shall comply with all requirements of Visalia Municipal Code Section 17.48 (Signs).
6. That all other federal, state and city codes, ordinances and laws shall be met.

### **APPEAL INFORMATION**

According to the City of Visalia Zoning Ordinance Section 17.02.145, an appeal to the City Council may be submitted within ten days following the date of a decision by the Planning Commission. An appeal with applicable fees shall be in writing and shall be filed with the City Clerk at 220 N. Santa Fe Street, Visalia CA 93292. The appeal shall specify errors or abuses of discretion by the Planning Commission, or decisions not supported by the evidence in the record. The appeal form can be found on the city's website [www.visalia.city](http://www.visalia.city) or from the city clerk.

#### **Attachments:**

- Related Plans and Policies
- Resolution No. 2025-01
- Exhibit "A" – Site Plan
- Exhibit "B" – Floor Plans
- Exhibit "C" – Existing Site Pictures
- Exhibit "D" – Operational Statement
- Exhibit "E" – Conditional Use Permit No. 1998-22 Site Plan
- Public Comment
- Categorical Exemption No. 2025-01
- Site Plan Review No. 2024-241
- General Plan Land Use Map

- Zoning Map
- Aerial Map
- Vicinity Map

## RELATED PLANS AND POLICIES

### VISALIA MUNICIPAL CODE

#### Chapter 17.12

#### R-1 Single Family Residential Zone

##### **17.12.010 Purpose and intent.**

In the R-1 single-family residential zones (R-1-5, R-1-12.5, and R-1-20), the purpose and intent is to provide living area within the city where development is limited to low density concentrations of one-family dwellings where regulations are designed to accomplish the following: to promote and encourage a suitable environment for family life; to provide space for community facilities needed to compliment urban residential areas and for institutions that require a residential environment; to minimize traffic congestion and to avoid an overload of utilities designed to service only low density residential use.

##### **17.12.015 Applicability.**

The requirements in this chapter shall apply to all property within R-1 zone districts.

##### **17.12.020 Permitted uses.**

In the R-1 single-family residential zones, the following uses shall be permitted by right:

- A. One-family dwellings;
- B. Raising of fruit and nut trees, vegetables and horticultural specialties;
- C. Accessory structures located on the same site with a permitted use including private garages and carports, one guest house, storehouses, garden structures, green houses, recreation room and hobby shops;
- D. Swimming pools used solely by persons resident on the site and their guests; provided, that no swimming pool or accessory mechanical equipment shall be located in a required front yard or in a required side yard;
- E. Temporary subdivision sales offices;
- F. Licensed day care for a maximum of fourteen (14) children in addition to the residing family;
- G. Twenty-four (24) hour residential care facilities or foster homes, for a maximum of six individuals in addition to the residing family;
- H. Signs subject to the provisions of Chapter 17.48;
- I. The keeping of household pets, subject to the definition of household pets set forth in Section 17.04.030;
- J. Accessory dwelling units as specified in Sections 17.12.140 through 17.12.200;
- K. Adult day care up to twelve (12) persons in addition to the residing family;
- L. Other uses similar in nature and intensity as determined by the city planner;
- M. Legally existing multiple family units, and expansion or reconstruction as provided in Section 17.12.070.
- N. Transitional or supportive housing for six (6) or fewer resident/clients.
- O. In the R-1-20 zone only, the breeding, hatching, raising and fattening of birds, rabbits, chinchillas, hamsters, other small animals and fowl, on a domestic noncommercial scale, provided that there shall not be less than one thousand (1,000) square feet of site area for each fowl or animal and provided that no structure housing poultry or small animals shall be closer than fifty (50) feet to any property line, closer than twenty-five (25) feet to any dwelling on the site, or closer than fifty (50) feet to any other dwelling;



P. In the R-1-20 zone only, the raising of livestock, except pigs of any kind, subject to the exception of not more than two cows, two horses, four sheep or four goats for each site, shall be permitted; provided, that there be no limitation on the number of livestock permitted on a site with an area of ten acres or more and provided that no stable be located closer than fifty (50) feet to any dwelling on the site or closer than one hundred (100) feet to any other dwelling;

**17.12.030 Accessory uses.**

In the R-1 single-family residential zone, the following accessory uses shall be permitted, subject to specified provisions:

- A. Home occupations subject to the provisions of Section 17.32.030;
- B. Accessory buildings subject to the provisions of Section 17.12.100(B).
- C. Cottage Food Operations subject to the provisions of Health and Safety Code 113758 and Section 17.32.035.

**17.12.040 Conditional uses.**

In the R-1 single-family residential zone, the following conditional uses may be permitted in accordance with the provisions of Chapter 17.38:

- A. Planned development subject to the provisions of Chapter 17.26;
- B. Public and quasi-public uses of an educational or religious type including public and parochial elementary schools, junior high schools, high schools and colleges; nursery schools, licensed day care facilities for more than fourteen (14) children; churches, parsonages and other religious institutions;
- C. Public and private charitable institutions, general hospitals, sanitariums, nursing and convalescent homes; not including specialized hospitals, sanitariums, or nursing, rest and convalescent homes including care for acute psychiatric, drug addiction or alcoholism cases;
- D. Public uses of an administrative, recreational, public service or cultural type including city, county, state or federal administrative centers and courts, libraries, museums, art galleries, police and fire stations, ambulance service and other public building, structures and facilities; public playgrounds, parks and community centers;
- E. Electric distribution substations;
- F. Gas regulator stations;
- G. Public service pumping stations, i.e., community water service wells;
- H. Communications equipment buildings;
- I. Planned neighborhood commercial center subject to the provisions of Chapter 17.26;
- J. Residential development specifically designed for senior housing;
- K. Mobile home parks in conformance with Section 17.32.040;
- L. [Reserved.] M. Residential developments utilizing private streets in which the net lot area (lot area not including street area) meets or exceeds the site area prescribed by this article and in which the private streets are designed and constructed to meet or exceed public street standards;
- N. Adult day care in excess of twelve (12) persons;
- O. Duplexes on corner lots;
- P. Twenty-four (24) hour residential care facilities or foster homes for more than six individuals in addition to the residing family;
- Q. Residential structures and accessory buildings totaling more than ten thousand (10,000) square feet;
- R. Other uses similar in nature and intensity as determined by the city planner.

S. Transitional or supportive housing for seven (7) or more resident/clients.

**17.12.050 Site area.**

The minimum site area shall be as follows:

<b>Zone</b>	<b>Minimum Site Area</b>
R-1-5	5,000 square feet
R-1-12.5	12,500 square feet
R-1-20	20,000 square feet

A. Each site shall have not less than forty (40) feet of frontage on the public street. The minimum width shall be as follows:

<b>Zone</b>	<b>Interior Lot</b>	<b>Corner Lot</b>
R-1-5	50 feet	60 feet
R-1-12.5	90 feet	100 feet
R-1-20	100 feet	110 feet

B. Minimum width for corner lot on a side on cul-de-sac shall be eighty (80) feet, when there is no landscape lot between the corner lot and the right of way.

**17.12.060 One dwelling unit per site.**

In the R-1 single-family residential zone, not more than one dwelling unit shall be located on each site, with the exception to Section 17.12.020(J).

**17.12.070 Replacement and expansion of legally existing multiple family units.**

In accordance with Sections 17.12.020 legally existing multiple family units may be expanded or replaced if destroyed by fire or other disaster subject to the following criteria:

A. A site plan review permit as provided in Chapter 17.28 is required for all expansions or replacements.

B. Replacement/expansion of unit(s) shall be designed and constructed in an architectural style compatible with the existing single-family units in the neighborhood. Review of elevations for replacement/expansion shall occur through the site plan review process. Appeals to architectural requirements of the site plan review committee shall be subject to the appeals process set forth in Chapter 17.28.050.

C. Setbacks and related development standards shall be consistent with existing single-family units in the neighborhood.

D. Parking requirements set forth in Section 17.34.020 and landscaping requirements shall meet current city standards and shall apply to the entire site(s), not just the replacement unit(s) or expanded area, which may result in the reduction of the number of units on the site.

E. The number of multiple family units on the site shall not be increased.

F. All rights established under Sections 17.12.020 and 17.12.070 shall be null and void one hundred eighty (180) days after the date that the unit(s) are destroyed (or rendered uninhabitable) unless a building permit has been obtained and diligent pursuit of construction has commenced. The approval of a site plan review permit does not constitute compliance with this requirement.

**17.12.080 Front yard.**

A. The minimum front yard shall be as follows:

<b>Zone</b>	<b>Minimum Front Yard</b>
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- R-1-5            Fifteen (15) feet for living space and side-loading garages and twenty-two (22) feet for front-loading garages or other parking facilities, such as, but not limited to, carports, shade canopies, or porte cochere. A Porte Cochere with less than twenty-two (22) feet of setback from property line shall not be counted as covered parking, and garages on such sites shall not be the subject of a garage conversion.
- R-1-12.5        Thirty (30) feet
- R-1-20           Thirty-five (35) feet

B. On a site situated between sites improved with buildings, the minimum front yard may be the average depth of the front yards on the improved site adjoining the side lines of the site but need not exceed the minimum front yard specified above.

C. On cul-de-sac and knuckle lots with a front lot line of which all or a portion is curvilinear, the front yard setback shall be no less than fifteen (15) feet for living space and side-loading garages and twenty (20) feet for front-loading garages.

#### **17.12.090 Side yards.**

A. The minimum side yard shall be five feet in the R-1-5 and R-1-12.5 zone subject to the exception that on the street side of a corner lot the side yard shall be not less than ten feet and twenty-two (22) feet for front loading garages or other parking facilities, such as, but not limited to, carports, shade canopies, or porte cocheres.

B. The minimum side yard shall be ten feet in the R-1-20 zone subject to the exception that on the street side of a corner lot the side yard shall be not less than twenty (20) feet.

C. On a reversed corner lot the side yard adjoining the street shall be not less than ten feet.

D. On corner lots, all front-loading garage doors shall be a minimum of twenty-two (22) feet from the nearest public improvement or sidewalk.

E. Side yard requirements may be zero feet on one side of a lot if two or more consecutive lots are approved for a zero lot line development by the site plan review committee.

F. The placement of any mechanical equipment, including but not limited to, pool/spa equipment and evaporative coolers shall not be permitted in the five-foot side yard within the buildable area of the lot, or within five feet of rear/side property lines that are adjacent to the required side yard on adjoining lots. This provision shall not apply to street side yards on corner lots, nor shall it prohibit the surface mounting of utility meters and/or the placement of fixtures and utility lines as approved by the building and planning divisions.

#### **17.12.100 Rear yard.**

In the R-1 single-family residential zones, the minimum yard shall be twenty-five (25) feet, subject to the following exceptions:

A. On a corner or reverse corner lot the rear yard shall be twenty-five (25) feet on the narrow side or twenty (20) feet on the long side of the lot. The decision as to whether the short side or long side is used as the rear yard area shall be left to the applicant's discretion as long as a minimum area of one thousand five hundred (1,500) square feet of usable rear yard area is maintained. The remaining side yard to be a minimum of five feet.

B. Accessory structures not exceeding twelve (12) feet may be located in the required rear yard but not closer than three feet to any lot line provided that not more than twenty (20) percent of the area of the required rear yard shall be covered by structures enclosed on more than one side and not more than forty (40) percent may be covered by structures enclosed on only one side. On a reverse corner lot an accessory structure shall not be located closer to the rear property line than the required side yard on the adjoining key lot. An accessory structure shall not be closer to a side property line adjoining key lot and not closer to a side property line adjoining the street than the required front yard on the adjoining key lot.

C. Main structures may encroach up to five feet into a required rear yard area provided that such encroachment does not exceed one story and that a usable, open, rear yard area of at least one thousand five hundred (1,500) square feet shall be maintained. Such encroachment and rear yard area shall be approved by the city planner prior to issuing building permits.

**17.12.110 Height of structures.**

In the R-1 single-family residential zone, the maximum height of a permitted use shall be thirty-five (35) feet, with the exception of structures specified in Section 17.12.100(B).

**17.12.120 Off-street parking.**

In the R-1 single-family residential zone, subject to the provisions of Chapter 17.34.

**17.12.130 Fences, walls and hedges.**

In the R-1 single-family residential zone, fences, walls and hedges are subject to the provisions of Section 17.36.030.

**17.12.135 Lot area less than 5,000 square feet.**

A. Notwithstanding Section 17.12.050, lots in the R-1-5 zone may have a lot area of between 3,600 and 4,999 square feet if all of the following standards are met:

1. The Planning Commission finds that the development's overall density is consistent with the General Plan.

2. The maximum number of lots less than 5,000 square feet that may be approved by a tentative subdivision map shall be fifty (50) percent or less of the total lots.

3. Streets shall be constructed to public street standards.

4. Each subdivision with at least 15 lots that are less than 5,000 square feet in size shall make available to buyers at least three (3) different small lot floor plans with at least four (4) available elevation designs for each floor plan to construct on those lots.

5. The primary frontage of the dwelling unit shall face a public street, primary entryway, circulation walkway, or open space with sidewalks that provide delineated paths of travel.

6. The primary frontage of the dwelling unit shall include the primary entrance and at least one window.

7. Required covered parking spaces shall be in garages. Carports are prohibited.

8. The width of the garage shall not be greater than fifty (50) percent of the width of the dwelling unit.

9. The garage shall not extend beyond the front building facade (living area.)

10. All dwelling units shall include a covered front porch at least four (4) feet deep and six (6) feet wide or an uncovered front courtyard at least five (5) feet wide and five (5) feet deep that is surrounded on four sides by the dwelling unit or a wall or fence between three (3) and four (4) feet high with a pedestrian gate or entryway.

11. The building official shall not approve a building permit for a new dwelling unit on a lot with a lot area less than 5,000 square feet until the city planner, or designee, has determined that the standards identified in this section are met.

12. The subdivision shall provide a common, usable open space area of a minimum 3,000 square feet or two hundred fifty (250) square feet per lot under 5,000 square feet, whichever is greater. The area shall be landscaped and maintained with funding from either a homeowner's association or a landscape and lighting act district.

B. Notwithstanding this Chapter, lots with less than five thousand (5,000) square feet shall have the following minimum dimensions and building setback areas, unless they were approved with a planned development permit:

1. The minimum lot depth shall be seventy (70) feet.
2. The minimum lot width shall be forty-six (46) feet for interior lots and fifty-one (51) feet for corner lots.
3. The minimum front building setback area shall be twelve (12) feet for livable space and twenty (20) feet for garages.
4. The minimum rear yard building setback area shall be fifteen (15) feet.
5. The minimum interior side yard building setback area shall be five (5) feet.
6. The minimum corner side yard building setback area shall be ten (10) feet.
7. The maximum building height shall be thirty-five (35) feet.
8. Lots shall provide for a usable open space area of a minimum three hundred (300) square feet. The open space shall be a minimum fifteen (15) feet wide.

C. Lots less having a lot area of 3,600 square feet, or lots that do not meet the standards in this section may be approved through the planned development permit process per Chapter 17.26. (Ord. 2017-01 (part), 2017)

## **Chapter 17.38 Conditional Use Permits**

### **17.38.010 Purposes and powers.**

In certain zones conditional uses are permitted subject to the granting of a conditional use permit. Because of their unusual characteristics, conditional uses require special consideration so that they may be located properly with respect to the objectives of the zoning ordinance and with respect to their effects on surrounding properties. In order to achieve these purposes and thus give the zone use regulations the flexibility necessary to achieve the objectives of this title, the planning commission is empowered to grant or deny applications for conditional use permits and to impose reasonable conditions upon the granting of such permits. (Prior code § 7525)

### **17.38.020 Application procedures.**

- A. Application for a conditional use permit shall be made to the planning commission on a form prescribed by the commission which shall include the following data:
  1. Name and address of the applicant;
  2. Statement that the applicant is the owner of the property or is the authorized agent of the owner;
  3. Address and legal description of the property;
  4. The application shall be accompanied by such sketches or drawings as may be necessary by the planning division to clearly show the applicant's proposal;
  5. The purposes of the conditional use permit and the general description of the use proposed;

6. Additional information as required by the historic preservation advisory committee.
- B. The application shall be accompanied by a fee set by resolution of the city council sufficient to cover the cost of handling the application. (Prior code § 7526)

#### **17.38.030 Lapse of conditional use permit.**

A conditional use permit shall lapse and shall become void twenty-four (24) months after the date on which it became effective, unless the conditions of the permit allowed a shorter or greater time limit, or unless prior to the expiration of twenty-four (24) months a building permit is issued by the city and construction is commenced and diligently pursued toward completion on the site which was the subject of the permit. A permit may be renewed for an additional period of one year; provided, that prior to the expiration of twenty-four (24) months from the date the permit originally became effective, an application for renewal is filed with the planning commission. The commission may grant or deny an application for renewal of a conditional use permit. In the case of a planned residential development, the recording of a final map and improvements thereto shall be deemed the same as a building permit in relation to this section. (Ord. 2001-13 § 4 (part), 2001: prior code § 7527)

#### **17.38.040 Revocation.**

Upon violation of any applicable provision of this title, or, if granted subject to a condition or conditions, upon failure to comply with the condition or conditions, a conditional use permit shall be suspended automatically. The planning commission shall hold a public hearing within sixty (60) days, in accordance with the procedure prescribed in Section 17.38.080, and if not satisfied that the regulation, general provision or condition is being complied with, may revoke the permit or take such action as may be necessary to insure compliance with the regulation, general provision or condition. Appeals of the decision of the planning commission may be made to the city council as provided in Section 17.38.120. (Prior code § 7528)

#### **17.38.050 New application.**

Following the denial of a conditional use permit application or the revocation of a conditional use permit, no application for a conditional use permit for the same or substantially the same conditional use on the same or substantially the same site shall be filed within one year from the date of denial or revocation of the permit unless such denial was a denial without prejudice by the planning commission or city council. (Prior code § 7530)

#### **17.38.060 Conditional use permit to run with the land.**

A conditional use permit granted pursuant to the provisions of this chapter shall run with the land and shall continue to be valid upon a change of ownership of the site or structure which was the subject of the permit application subject to the provisions of Section 17.38.065. (Prior code § 7531)

#### **17.38.065 Abandonment of conditional use permit.**

If the use for which a conditional use permit was approved is discontinued for a period of one hundred eighty (180) days, the use shall be considered abandoned and any future use of the site as a conditional use will require the approval of a new conditional use permit.

#### **17.38.070 Temporary uses or structures.**

- A. Conditional use permits for temporary uses or structures may be processed as administrative matters by the city planner and/or planning division staff. However, the city planner may, at his/her discretion, refer such application to the planning commission for consideration.
- B. The city planner and/or planning division staff is authorized to review applications and to issue such temporary permits, subject to the following conditions:



1. Conditional use permits granted pursuant to this section shall be for a fixed period not to exceed thirty (30) days for each temporary use not occupying a structure, including promotional enterprises, or six months for all other uses or structures.
  2. Ingress and egress shall be limited to that designated by the planning division. Appropriate directional signing, barricades, fences or landscaping shall be provided where required. A security officer may be required for promotional events.
  3. Off-street parking facilities shall be provided on the site of each temporary use as prescribed in Section 17.34.020.
  4. Upon termination of the temporary permit, or abandonment of the site, the applicant shall remove all materials and equipment and restore the premises to their original condition.
  5. Opening and closing times for promotional enterprises shall coincide with the hours of operation of the sponsoring commercial establishment. Reasonable time limits for other uses may be set by the city planner and planning division staff.
  6. Applicants for a temporary conditional use permit shall have all applicable licenses and permits prior to issuance of a conditional use permit.
  7. Signing for temporary uses shall be subject to the approval of the city planner.
  8. Notwithstanding underlying zoning, temporary conditional use permits may be granted for fruit and vegetable stands on properties primarily within undeveloped agricultural areas. In reviewing applications for such stands, issues of traffic safety and land use compatibility shall be evaluated and mitigation measures and conditions may be imposed to ensure that the stands are built and are operated consistent with appropriate construction standards, vehicular access and off-street parking. All fruits and vegetables sold at such stands shall be grown by the owner/operator or purchased by said party directly from a grower/farmer.
- C. The applicant may appeal an administrative decision to the planning commission. (Ord. 9605 § 30 (part), 1996: prior code § 7532)

#### **17.38.080 Public hearing--Notice.**

- A. The planning commission shall hold at least one public hearing on each application for a conditional use permit.
- B. Notice of the public hearing shall be given not less than ten days nor more than thirty (30) days prior to the date of the hearing by mailing a notice of the time and place of the hearing to property owners within three hundred (300) feet of the boundaries of the area occupied or to be occupied by the use which is the subject of the hearing, and by publication in a newspaper of general circulation within the city. (Prior code § 7533)

#### **17.38.090 Investigation and report.**

The planning staff shall make an investigation of the application and shall prepare a report thereon which shall be submitted to the planning commission. (Prior code § 7534)

#### **17.38.100 Public hearing--Procedure.**

At the public hearing the planning commission shall review the application and the statement and drawing submitted therewith and shall receive pertinent evidence concerning the proposed use and the proposed conditions under which it would be operated or maintained, particularly with respect to the findings prescribed in Section 17.38.110. The planning commission may continue a public hearing from time to time as it deems necessary. (Prior code § 7535)

**17.38.110 Action by planning commission.**

- A. The planning commission may grant an application for a conditional use permit as requested or in modified form, if, on the basis of the application and the evidence submitted, the commission makes the following findings:
  - 1. That the proposed location of the conditional use is in accordance with the objectives of the zoning ordinance and the purposes of the zone in which the site is located;
  - 2. That the proposed location of the conditional use and the conditions under which it would be operated or maintained will not be detrimental to the public health, safety or welfare, or materially injurious to properties or improvements in the vicinity.
- B. A conditional use permit may be revocable, may be granted for a limited time period, or may be granted subject to such conditions as the commission may prescribe. The commission may grant conditional approval for a permit subject to the effective date of a change of zone or other ordinance amendment.
- C. The commission may deny an application for a conditional use permit. (Prior code § 7536)

**17.38.120 Appeal to city council.**

The decision of the City planning commission on a conditional use permit shall be subject to the appeal provisions of Section 17.02.145. (Prior code § 7537) (Ord. 2006-18 § 6, 2007)

**17.38.130 Effective date of conditional use permit.**

A conditional use permit shall become effective immediately when granted or affirmed by the council, or upon the sixth working day following the granting of the conditional use permit by the planning commission if no appeal has been filed. (Prior code § 7539)

RESOLUTION NO. 2025-01

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF VISALIA APPROVING CONDITIONAL USE PERMIT NO. 2025-01, A REQUEST BY DANIELLE PANUCO TO AMEND CONDITIONAL USE PERMIT NO. 1998-22, TO FORMALLY ESTABLISH A LICENSED DAYCARE FACILITY FOR 125 STUDENTS WITHIN AN EXISTING CHURCH, LOCATED IN THE R-1-5 (SINGLE FAMILY RESIDENTIAL, 5,000 SQ. FT. MINIMUM LOT SIZE) ZONE. THE PROJECT SITE IS LOCATED AT 4525 WEST CALDWELL AVENUE, ON THE SOUTHWEST CORNER OF WEST CALDWELL AVENUE AND SOUTH LINWOOD STREET (APN: 119-360-062).

**WHEREAS**, Conditional Use Permit No. 2025-01 is a request by Danielle Panuco to amend Conditional Use Permit No. 1998-22, to formally establish a licensed daycare facility for 125 students within an existing church, located in the R-1-5 (Single Family Residential, 5,000 sq. ft. minimum lot size) Zone. The project site is located at 4525 West Caldwell Avenue, on the southwest corner of West Caldwell Avenue and South Linwood Street (APN: 119-360-062); and

**WHEREAS**, the Planning Commission of the City of Visalia, after duly published notice, did hold a public hearing before said Commission on February 24, 2025; and

**WHEREAS**, the Planning Commission of the City of Visalia finds the Conditional Use Permit to be in accordance with Section 17.38.110 of the Zoning Ordinance of the City of Visalia based on the evidence contained in the staff report and testimony presented at the public hearing; and

**WHEREAS**, the Planning Commission finds the project to be Categorically Exempt consistent with the California Environmental Quality Act (CEQA) and City of Visalia Environmental Guidelines.

**NOW, THEREFORE, BE IT RESOLVED** that the project is exempt from further environmental review pursuant to CEQA Section 15301.

**BE IT FURTHER RESOLVED** that the Planning Commission of the City of Visalia makes the following specific findings based on the evidence presented:

1. That the proposed project, as conditioned, will not be detrimental to the public health, safety, or welfare, or materially injurious to properties or improvements in the vicinity.
2. That the proposed project is consistent with the policies and intent of the General Plan and Zoning Ordinance. Specifically, the project is consistent with the required findings of Zoning Ordinance Section 17.38.110:
  - a. The proposed location of the conditional use is in accordance with the objectives of the Zoning Ordinance and the purposes of the zone in which the site is located.
  - b. The proposed location of the conditional use and the conditions under which it would be operated or maintained will not be detrimental to the public health, safety, or welfare, nor materially injurious to properties or improvements in the vicinity.

3. That the project is considered Categorically Exempt under Section 15301 of the Guidelines for the Implementation of the California Environmental Quality Act (CEQA). (Categorical Exemption No. 2025-01).

**BE IT FURTHER RESOLVED** that the Planning Commission hereby approves the Conditional Use Permit on the real property here described in accordance with the terms of this resolution under the provisions of Section 17.38.110 of the Ordinance Code of the City of Visalia, subject to the following conditions:

1. That the site shall be developed consistent with the comments and conditions of the Site Plan Review Committee, as set forth under Site Plan No. 2024-241.
2. That the site shall be developed and use operated in substantial compliance with the Site Plan in Exhibit "A", Floor Plans in Exhibit "B", Building Elevations in Exhibit "C", and Operational Statement in Exhibit "D".
3. That substantial changes to the site plan, floor plan, operational plan, and/or an intensification of the use, may require evaluation by the Site Plan Review committee and/or an amendment to this Conditional Use Permit.
4. That the project shall be developed and operated in compliance with all requirements and conditions of the Conditional Use Permit No. 1998-22, unless superseded by the conditions of Conditional Use Permit No. 2025-01.
5. That any project signage shall comply with all requirements of Visalia Municipal Code Section 17.48 (Signs).
6. That all other federal, state and city codes, ordinances and laws shall be met.



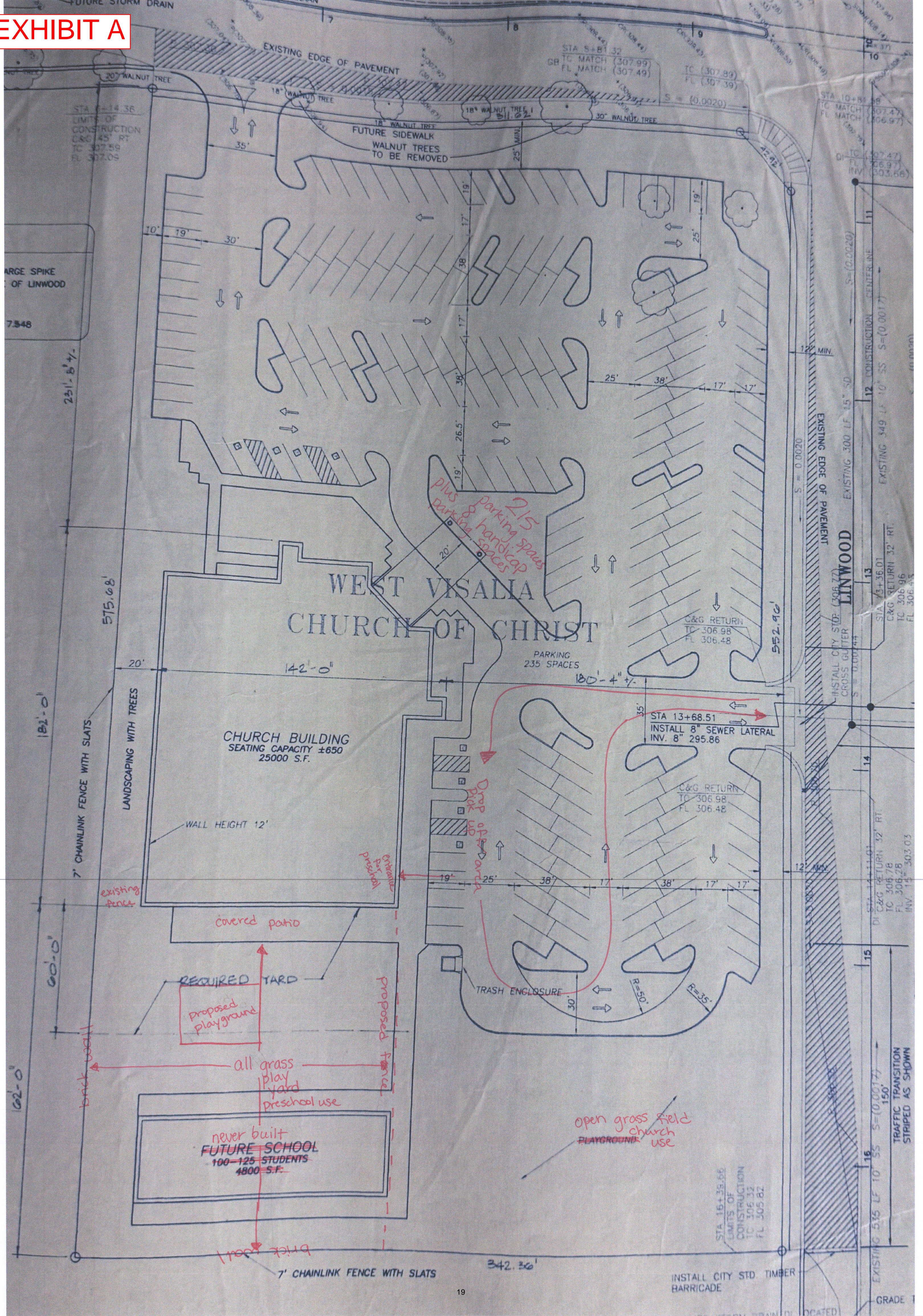
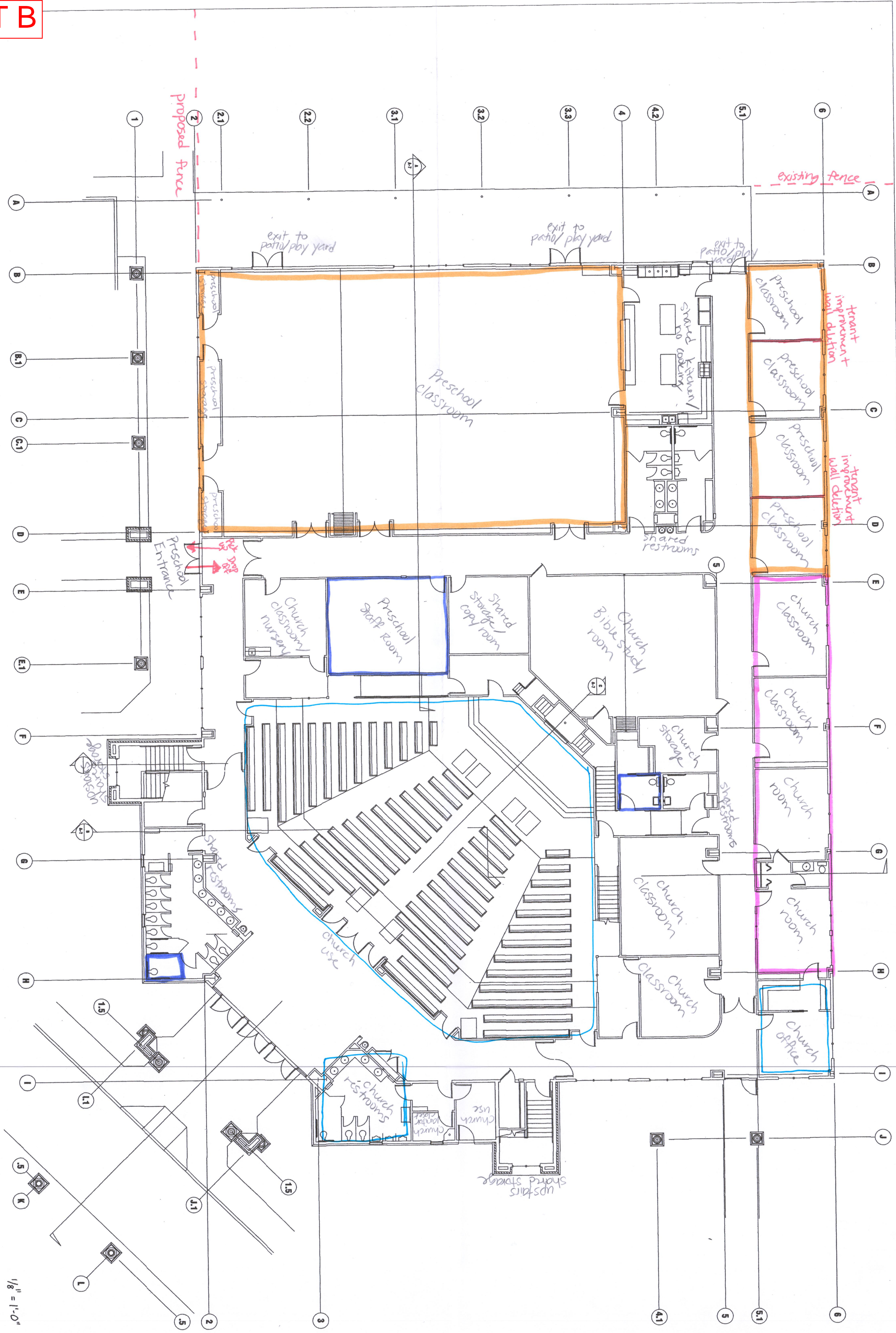




EXHIBIT B









# EXHIBIT C

**SOUTH**



**WEST**





## EAST



## NORTH





## EXISTING REAR YARD (SOUTH)









# EXHIBIT D

## **Daycare Expansion**

Hello and thank you for taking the time to review our proposal for the amendments of the current CUP for 4525 W Caldwell Ave. We would like to keep the existing CUP at 125 students. Our license will be for students ages 2-6. Our hours of operation would be from 7:30am-4:45pm Monday-Friday. We are also asking to use the premises all months of the year. We will be on vacation the week of 4th of July, the week of Christmas, and federal holidays. We may have a few events outside of school hours such as a Christmas concert, graduation, and scheduled family nights for games, music, or anything else. These events would occur no more than once per month and would be no longer than a two hour duration. The Christmas concert and graduation will most likely take place in the sanctuary. Other mentioned events will most likely take place in the large room. Any of these special events which may happen during a weekday evening may take place between 5:30-7:00pm or on Saturday mornings from 9:30-11am.

## **Meals**

We will not be cooking meals at the school. Parents will provide lunches that may need to be heated in a microwave. We will serve a morning and afternoon snack that will not need to be cooked. We will use a refrigerator and microwave to meet our food preparation needs for snacks.

## **Dropoff/Pickup**

Dropoff and pickup will occur at the southeast entrance of the building. Parents will have an hour and a half drop off window from 7:30am-9:00am. Parents will bring children inside the preschool and sign them in. They will have a two hour pickup window from 2:40pm-4:45pm. Parents will use the same entrance/exit doors to pick up their child after they sign them out for the day.

## **Our Building Usage**

For the first year or two, we will be utilizing the areas highlighted in yellow on the map for classroom use, which totals 5,334 sq ft of usable classroom space. The smaller classrooms in yellow will be designated for preschool use only, but are currently used as Sunday school rooms. The church will no longer use the yellow classrooms when we begin our expansion. We plan to mainly use the restrooms by the large room as shown on the map but have access to the others when needed as well. The areas on the plan shown as "shared use" for restrooms and other shared areas will be off limits to any church members or church staff while any preschool students are in attendance of the areas in the building. (As we continue to grow, we may decide to expand into existing classrooms as shown in pink on the map. If we do that, the rooms will be used by us during the week and by the church on Sundays for Sunday school. We will still not go above 125 students, we may just want a little more separation in the future and will be sure to get clearance from the building department at that time for use of additional classroom space which may need some alterations such as additional fire alarms). Staff will have access to the kitchen in order to heat up their lunches, and will have a break area in the room shown in purple on the map. In addition, they will have access to the toilets highlighted in purple as well. For storage purposes, the church has given us permission to store our outdoor play equipment in their shed that is located on the patio and has a padlock on it. For storage purposes inside, we will be using the 3 closets located in the large room on the map. In addition, students have personal storage in their own cubby. Any larger items that do not fit in these designated areas will be stored upstairs which has already been agreed upon with the church.



Students will also be allowed to play outside. Each child will have a designated time for outdoor play which will be about one hour and fifteen minutes in total each day. They will be able to sit on picnic benches under the shaded patio area, play in play houses under the shaded area as well, or run around the fenced grass yard and play games, play with toys, ride in cars, etc. Depending on our left over funds, we may or may not install a small playground area with a slide for the students. If we do, everything would be done according to state licensing and insurance standards and cannot be cleared for use until licensing approves the facilities. We will use the church sanctuary 2-3 times throughout the year for large events like our Christmas concert and graduations.

### **Our Staff**

We will maintain a 12-1 ratio for staff and students ages 2-6 according to state licensing requirements. Therefore, in our first year we will likely have five or six qualified preschool teachers for 60-72 students. We will also have one director for the facility and one aide who assists with students in need. As we continue to grow, our staffing numbers will continue to meet the 12/1 ratio. If we work our way to 125 students, we will have 11-12 qualified preschool teachers, 2 aides, and 1-2 directors.

### **Our Schedule**

7:30-9 Indoor play & exploration in the large room

9:00 clean up

9:10-9:30 morning snack, sing songs

9:30-10:15 morning rotations (art/religion, math/english/outdoor play)

10:15-11:00 morning rotations (art/religion, math/english/outdoor play)

11:00-11:45 morning rotations (art/religion, math/english/outdoor play)

11:45-12:15 lunch

12:15-12:30 restroom/diaper changes

12:30-2:15 nap

2:15-2:40 wake up, cleanup, afternoon snack, sing songs

2:40-3:05 afternoon rotations (outdoor play, weekly theme, body movement & coordination)

3:05-3:30 afternoon rotations (outdoor play, weekly theme, body movement & coordination)

3:30-3:55 afternoon rotations (outdoor play, weekly theme, body movement & coordination)

4:00-4:30 indoor play & exploration in the large room

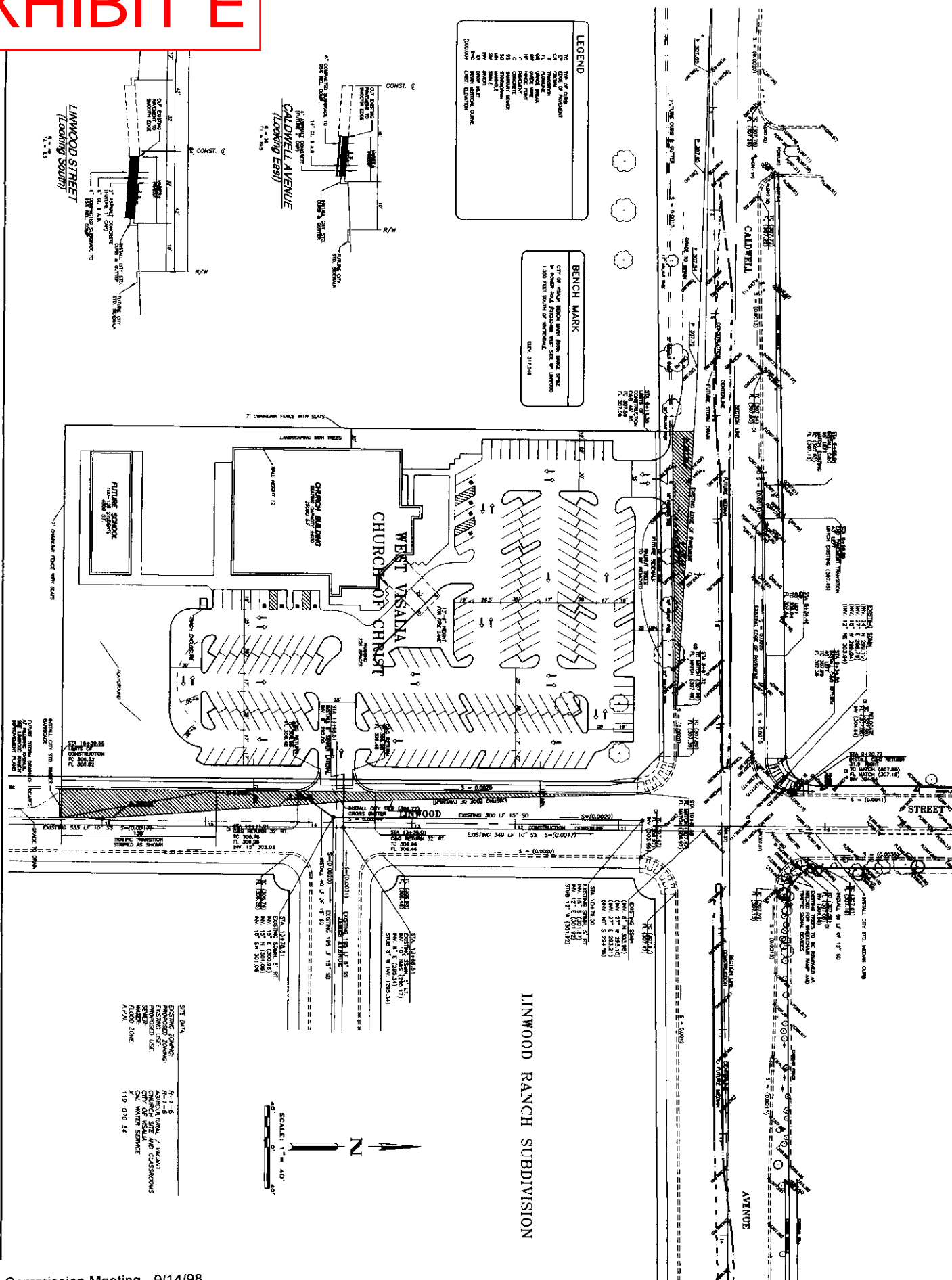
4:30-4:45 movie time or dance time

### **Church Use of Building and Schedule**

The church plans to use the facilities outlined in blue on the map, on a regular basis (the sanctuary, office, and restroom). There are already doors located in the hallways that block off the office, sanctuary, and larger restrooms for church use incase staff may ever need to come during our operating hours. If we were to expand to 125 students in the near future and use the classrooms highlighted in pink on the map, they would be of shared use with the church with set days of use. The church would only use the shared classrooms and restrooms on Sundays for children. We would use the shared classrooms and restrooms during the week, Monday-Friday 7:30am-4:45pm. The church will use the large room we have access to, for 2-3 large events during the year on weekends or in the evenings after our school hours for vacation Bible school events. The church uses the building for Bible study, church service and children's ministry on Sundays from 8am-12pm and 5pm-7pm. Also, they have a set Bible study for Wednesday

evenings from 7-8pm which will take place in the bible study room as shown on the floor plan. Therefore, the members of the church would be attending during that time. In addition, they may have church staff come to the church throughout the week during the daytime to use the office (north west corner of the building), sanctuary, or space off limits by the preschool use. The hours for this use are not consistent and are dependent upon the church' needs. Staff who will be at the site frequently are willing to be fingerprinted for my license as well. They will not be coming to the areas of use by the kids during our school hours.


Exhibit "A"



RE: 4525 W Caldwell



Julian Salmon

To  Cristobal Carrillo



Wed 9:44 AM

 You forwarded this message on 02/19/2025 10:05 AM.

Our house is located directly adjacent to the south of the proposed pre school. We are concerned about it having an effect on our quality of life. When we bought the home we were drawn to the quietness, and the green space between our home, and the church buildings. The church has a row of redwoods lining the southern cinderblock wall, but as of Monday, they have started to cut down the 40+ foot trees to make room for the pre school play areas. We are in a panic and heartbroken. The trees were not only beautiful, but therapeutic. We intended to spend our retirement years at this location. Now we are faced with the decision of selling or relocating. We have only been at this property for 2 years and are now faced with the issue of possibility of the pre school effecting our resale/property value. The trees are a sound and light barrier from the church parking lot and the intersection of Linwood and Caldwell avenues. The first tree was cut on 2-16-25, and now we have no privacy from headlights and sound pollution from the intersection. I can not imagine what the noise pollution will be once there are 120+ kids, staff, and parent drop offs and pick ups start to happen. We are looking for some documentation to present to the city council during the 2-24-25 meeting to support our concerns. Thank you for your help.

*Julian Salmon*

City of Visalia Code Enforcement

PH 559-713-4448

CEL 559-571-0159

Email [Julian.Salmon@visalila.city](mailto:Julian.Salmon@visalila.city)



**Environmental Document #2025-01**

**NOTICE OF EXEMPTION**

City of Visalia  
315 E. Acequia Ave.  
Visalia, CA 93291

To: County Clerk  
County of Tulare  
County Civic Center  
Visalia, CA 93291-4593

Conditional Use Permit 2025-01

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**PROJECT TITLE**

The project site is located at 4525 West Caldwell Avenue, on the southwest corner of West Caldwell Avenue and South Linwood Street (APN: 119-360-062).

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**PROJECT LOCATION - SPECIFIC**

Visalia

---

**PROJECT LOCATION - CITY**

Tulare

---

**COUNTY**

A request by Danielle Panuco to amend Conditional Use Permit No. 1998-22, to formally establish a licensed daycare facility for 125 students within an existing church, located in the R-1-5 (Single Family Residential, 5,000 sq. ft. minimum lot size) Zone.

---

**DESCRIPTION - Nature, Purpose, & Beneficiaries of Project**

City of Visalia, 315 E. Acequia Avenue, Visalia CA 93291, (559) 713-4449, Email:  
[cristobal.carrillo@visalia.city](mailto:cristobal.carrillo@visalia.city)

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**NAME OF PUBLIC AGENCY/LEAD AGENCY APPROVING PROJECT**

Danielle Panuco, 945 West Whitendale Avenue, Visalia CA 93277, (559) 310-4855,  
[lovinglittlespreschool@gmail.com](mailto:lovinglittlespreschool@gmail.com)

---

**NAME AND ADDRESS OF APPLICANT CARRYING OUT PROJECT**

Danielle Panuco, 945 West Whitendale Avenue, Visalia CA 93277, (559) 310-4855,  
[lovinglittlespreschool@gmail.com](mailto:lovinglittlespreschool@gmail.com)

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**NAME AND ADDRESS OF AGENT CARRYING OUT PROJECT**

**EXEMPT STATUS:** (Check one)

- ☐ Ministerial - Section 15073  
☐ Emergency Project - Section 15071  
☒ Categorical Exemption - Section 15301, Existing Facilities  
☐ Statutory Exemptions- State code number:

The proposal will make use of spaces within the existing West Visalia Church of Christ complex. The project is exempt as the project makes use of an existing building, with no additions proposed.

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**REASON FOR PROJECT EXEMPTION**

Cristobal Carrillo, Associate Planner

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**CONTACT PERSON**

(559) 713-4443

---

**AREA CODE/PHONE**

---

**DATE**

---

Brandon Smith, AICP  
ENVIRONMENTAL COORDINATOR



November 20, 2024

## Site Plan Review No. 2024-241:

Pursuant to Zoning Ordinance Chapter 17.28 the Site Plan Review process has found that your application complies with the general plan, municipal code, policies, and improvement standards of the city. A copy of each Departments/Divisions comments that were discussed with you at the Site Plan Review meeting are attached to this document.

Based upon Zoning Ordinance Section 17.28.070, this is your Site Plan Review determination. However, your project requires discretionary action as stated on the attached Site Plan Review comments. You may now proceed with filing discretionary applications to the Planning Division.

This is your Site Plan Review Permit; your Site Plan Review became effective **October 23, 2024**. A site plan review permit shall lapse and become null and void one year following the date of approval unless, prior to the expiration of one year, a building permit is issued by the building official, and construction is commenced and diligently pursued toward completion.

If you have any questions regarding this action, please call the Community Development Department at (559) 713-4359.

Respectfully,

A handwritten signature in blue ink, appearing to read "Paul Bernal".

Paul Bernal  
Community Development Director  
315 E. Acequia Ave.  
Visalia, CA 93291

## Attachment(s):

- Site Plan Review Comments





MEETING DATE October 23, 2024  
 SITE PLAN NO. 2024-241  
 PARCEL MAP NO.  
 SUBDIVISION  
 LOT LINE ADJUSTMENT NO.

Enclosed for your review are the comments and decisions of the Site Plan Review committee. Please review all comments since they may impact your project.

☐ **RESUBMIT** Major changes to your plans are required. Prior to accepting construction drawings for building permit, your project must return to the Site Plan Review Committee for review of the revised plans.

☐ During site plan design/policy concerns were identified, schedule a meeting with

☐ Planning ☐ Engineering prior to resubmittal plans for Site Plan Review.  
☐ Solid Waste ☐ Parks and Recreation ☐ Fire Dept.

☒ **REVISE AND PROCEED** (see below)

☐ A revised plan addressing the Committee comments and revisions must be submitted for Off-Agenda Review and approval prior to submitting for building permits or discretionary actions.

☐ Submit plans for a building permit between the hours of 7:30 a.m. and 5:00 p.m., Monday through Thursday, offices closed on Fridays.

☒ Your plans must be reviewed by:

☐ CITY COUNCIL ☐ REDEVELOPMENT  
☒ PLANNING COMMISSION ☐ PARK/RECREATION  
☒ Conditional Use Permit Amendment

☐ HISTORIC PRESERVATION ☐ OTHER:

☐ **ADDITIONAL COMMENTS:**

If you have any questions or comments, please call the Site Plan Review Hotline at (559) 713-4440  
 Site Plan Review Committee

# SITE PLAN REVIEW COMMENTS

Colleen A. Moreno, Planning Division, (559) 713-4031

Date: October 23, 2024

SITE PLAN NO: 2024-241

PROJECT TITLE: Loving Littles Expansion

DESCRIPTION: Expand my current in-home daycare of 14 children, to a larger day care center. 4525 W Caldwell Ave already has an existing CUP for 125 students.

APPLICANT: Danielle Panuco

LOCATION TITLE: 4525 W Caldwell Ave

APN TITLE: 119-360-062

EXISTING ZONING: R-1-5 (Single-Family Residential, 5,000 sq. ft. Minimum Site Area)

## Planning Division Recommendation:

- ☒ Revise and Proceed  
☐ Resubmit

## Project Requirements

- Amendment to Conditional Use Permit No. 1998-22
- Building Permit

## **PROJECT SPECIFIC INFORMATION:** October 23, 2024

1. An amendment to Conditional Use Permit No. 1998-22 shall be required.
2. Provide a detailed operational statement. Provide information detailing the proposed use, describe how the use will work in conjunction with the existing church, hours and days of operation, year-round or seasonal, number of employees, minimum and maximum number of students, food preparation on site, etc.
3. Provide a clear and detailed site plan, indicate location of drop-off and pick-up as well parking for use.
4. Provide a clear and detailed floor plan, this should be dimensioned and should indicate the use for each room.

## **NOTES**

1. The applicant shall contact the San Joaquin Valley Air Pollution Control District to verify whether additional permits are required through the District.
2. Prior to a final for the project, a signed Certificate of Compliance for the MWELo standards is required indicating that the landscaping has been installed to MWELo standards.

NOTE: Staff recommendations contained in this document are not to be considered support for a particular action or project unless otherwise stated in the comments. The comments found on this document pertain to the site plan submitted for review on the above referenced date. Any changes made to the plan submitted must be submitted for additional review.

## **Applicable sections of the Visalia Municipal Code:**

- 17.12 Single-Family Residential Zone
- 17.38 Conditional Use Permits

Accessible at <https://codelibrary.amlegal.com/codes/visalia/latest/overview>



Signature: \_\_\_\_\_



**BUILDING/DEVELOPMENT PLAN  
REQUIREMENTS  
ENGINEERING DIVISION**

<input type="checkbox"/>	Edelma Gonzalez	713-4364
<input type="checkbox"/>	Luqman Ragabi	713-4362
<input type="checkbox"/>	Sarah MacLennan	713-4271
<input checked="" type="checkbox"/>	Jesus Carreno	713-4268

**ITEM NO: 6    DATE: 10/23/2024**

SITE PLAN NO.:	24-241
PROJECT TITLE:	Loving Littles Expansion
DESCRIPTION:	Expand my current in home daycare of 14 children, to a larger daycare center. 4525 W Caldwell Ave already has an existing CUP for 125 students.
APPLICANT:	Danielle Panuco
PROP OWNER:	CH-WEST VISALIA CHURCH OF CHRIST INC
LOCATION:	4525 W. Caldwell Ave.
APN:	119-260-062

**SITE PLAN REVIEW COMMENTS**

☒ REQUIREMENTS (indicated by checked boxes)

☐ Install curb return with ramp, with \_\_\_\_\_ radius;

☐ Install curb; ☐ gutter

☐ Drive approach size: ☐ Use radius return;

☐ Sidewalk: \_\_\_\_\_ width; ☐ \_\_\_\_\_ parkway width at

☒ Repair and/or replace any sidewalk across the public street frontage(s) of the subject site that has become uneven, cracked or damaged and may constitute a tripping hazard.

☒ Replace any curb and gutter across the public street frontage(s) of the subject site that has become uneven and has created areas where water can stand.

☐ Right-of-way dedication required. A title report is required for verification of ownership.

☐ Deed required prior to issuing building permit;

☐ City Encroachment Permit Required. **FOR ANY WORK NEEDED WITHIN PUBLIC RIGHT-OF-WAY**

Insurance certificate with general & auto liability (\$1 million each) and workers compensation (\$1 million), valid business license, and appropriate contractor's license must be on file with the City, and valid Underground Service Alert # provided prior to issuing the permit. Contact Encroachment Tech. at 713-4414.

☐ CalTrans Encroachment Permit required. ☐ CalTrans comments required prior to issuing building permit. Contacts: David Deel (Planning) 488-4088;

☐ Landscape & Lighting District/Home Owners Association required prior to approval of Final Map. Landscape & Lighting District will maintain common area landscaping, street lights, street trees and local streets as applicable. Submit completed Landscape and Lighting District application and filing fee a min. of 75 days before approval of Final Map.

☐ Landscape & irrigation improvement plans to be submitted for each phase. Landscape plans will need to comply with the City's street tree ordinance. The locations of street trees near intersections will need to comply with Plate SD-1 of the City improvement standards. A street tree and landscape master plan for all phases of the subdivision will need to be submitted with the initial phase to assist City staff in the formation of the landscape and lighting assessment district.

☐ Grading & Drainage plan required. If the project is phased, then a master plan is required for the entire project area that shall include pipe network sizing and grades and street grades. ☐ Prepared by registered civil engineer or project architect. ☐ All elevations shall be based on the City's benchmark network. Storm run-off from the project shall be handled as follows: a) ☐ directed to the City's existing storm drainage system; b) ☐ directed to a permanent on-site basin; or c) ☐ directed to a temporary on-site basin is required until a connection with adequate capacity is available to the City's storm drainage system. On-site basin: \_\_\_\_\_; \_\_\_\_\_ maximum side slopes, perimeter fencing required, provide access ramp to bottom for maintenance.

☐ Grading permit is required for clearing and earthwork performed prior to issuance of the building permit.

☐ Show finish elevations. (Minimum slopes: A.C. pavement = 1%, Concrete pavement = 0.25%. Curb & Gutter = .20%, V-gutter = 0.25%)

☐ Show adjacent property grade elevations. A retaining wall will be required for grade differences greater than 0.5 feet at the property line.

☐ All public streets within the project limits and across the project frontage shall be improved to their full width, subject to available right of way, in accordance with City policies, standards and specifications.

- ☐ Traffic indexes per city standards:
- ☐ Install street striping as required by the City Engineer.
- ☐ Install landscape curbing (typical at parking lot planters).
- ☐ Minimum paving section for parking: 2" asphalt concrete paving over 4" Class 2 Agg. Base, or 4" concrete pavement over 2" sand.
- ☐ Design Paving section to traffic index of 5.0 min. for solid waste truck travel path.
- ☐ Provide "R" value tests:                      each at
- ☐ Written comments required from ditch company                      Contacts: James Silva 747-1177 for Modoc, Persian, Watson, Oakes, Flemming, Evans Ditch and Peoples Ditch; Jerry Hill 686-3425 for Tulare Irrigation Canal, Packwood and Cameron Creeks; Bruce George 747-5601 for Mill Creek and St. John's River.
- ☐ Access required on ditch bank, 15' minimum    ☐ Provide                      wide riparian dedication from top of bank.
- ☐ Show Valley Oak trees with drip lines and adjacent grade elevations.    ☐ Protect Valley Oak trees during construction in accordance with City requirements.
- ☐ A permit is required to remove Valley Oak trees. Contact Public Works Admin at 713-4428 for a Valley Oak tree evaluation or permit to remove.    ☐ A pre-construction conference is required.
- ☐ Relocate existing utility poles and/or facilities.
- ☐ Underground all existing overhead utilities within the project limits. Existing overhead electrical lines over 50kV shall be exempt from undergrounding.
- ☐ Subject to existing Reimbursement Agreement to reimburse prior developer:
- ☒ Fugitive dust will be controlled in accordance with the applicable rules of San Joaquin Valley Air District's Regulation VIII. Copies of any required permits will be provided to the City.
- ☒ If the project requires discretionary approval from the City, it may be subject to the San Joaquin Valley Air District's Rule 9510 Indirect Source Review per the rule's applicability criteria. A copy of the approved AIA application will be provided to the City.
- ☐ If the project meets the one acre of disturbance criteria of the State's Storm Water Program, then coverage under General Permit Order 2009-0009-DWQ is required and a Storm Water Pollution Prevention Plan (SWPPP) is needed. A copy of the approved permit and the SWPPP will be provided to the City.
- ☐ Comply with prior comments.    ☐ Resubmit with additional information.    ☐ Redesign required.

**Additional Comments:**

- 1. A building permit is required, standard plan check and inspection fees will apply.**
- 2. 20% of improvement cost must go towards "Path of Travel" upgrades.**

## **SUMMARY OF APPLICABLE DEVELOPMENT IMPACT FEES**

Site Plan No: **24-241**

Date: **10/22/2024**

**Summary of applicable Development Impact Fees to be collected at the time of building permit:**

**(Preliminary estimate only! Final fees will be based on the development fee schedule in effect at the time of building permit issuance.)**

(Fee Schedule Date: **08/17/2024**)

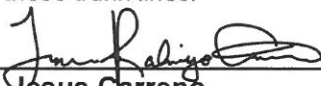
(Project type for fee rates: )

☐ Existing uses may qualify for credits on Development Impact Fees.

<b><u>FEE ITEM</u></b>	<b><u>FEE RATE</u></b>
<input type="checkbox"/> Groundwater Overdraft Mitigation Fee	
<input type="checkbox"/> Transportation Impact Fee	
<input type="checkbox"/> Trunk Line Capacity Fee	
<input type="checkbox"/> Treatment Plant Fee	
<input type="checkbox"/> Sewer Front Foot Fee	
<input type="checkbox"/> Storm Drain Acq/Dev Fee	
<input type="checkbox"/> Park Acq/Dev Fee	
<input type="checkbox"/> Northeast Specific Plan Fees	
<input type="checkbox"/> Waterways Acquisition Fee	
<input type="checkbox"/> Public Safety Impact Fee: Police	
<input type="checkbox"/> Public Safety Impact Fee: Fire	
<input type="checkbox"/> Public Facility Impact Fee	
<input type="checkbox"/> Parking In-Lieu	

### **Reimbursement:**

- 1.) No reimbursement shall be made except as provided in a written reimbursement agreement between the City and the developer entered into prior to commencement of construction of the subject facilities.
- 2.) Reimbursement is available for the development of arterial/collector streets as shown in the City's Circulation Element and funded in the City's transportation impact fee program. The developer will be reimbursed for construction costs and right of way dedications as outlined in Municipal Code Section 16.44. Reimbursement unit costs will be subject to those unit costs utilized as the basis for the transportation impact fee.
- 3.) Reimbursement is available for the construction of storm drain trunk lines and sanitary sewer trunk lines shown in the City's Storm Water Master Plan and Sanitary Sewer System Master Plan. The developer will be reimbursed for construction costs associated with the installation of these trunk lines.

  
\_\_\_\_\_  
**Jesus Carreno**



City of Visalia  
Building: Site Plan  
Review Comments

SPR 24241  
LOVING LITTLE EXPANSION  
4525 W CALDWELL AVE

NOTE: These are general comments and DO NOT constitute a complete plan check for your specific project  
Please refer to the applicable California Code & local ordinance for additional requirements.

- ☒ A building permit will be required. **FOR ALL IMPROVEMENTS** For information call (559) 713-4444
- ☒ Submit 1 digital set of professionally prepared plans and 1 set of calculations. (Small Tenant Improvements)
- ☐ Submit 1 digital set of plans prepared by an architect or engineer. Must comply with 2016 California Building Cod Sec. 2308 for conventional light-frame construction or submit 1 digital set of engineered calculations.
- ☐ Indicate abandoned wells, septic systems and excavations on construction plans.
- You are responsible to ensure compliance with the following checked items:
- ☒ Meet State and Federal requirements for accessibility for persons with disabilities.
- ☒ A path of travel, parking and common area must comply with requirements for access for persons with disabilities. **20% OF PERMIT VALUE SHALL BE USED FOR 'PATH OF TRAVEL' ADA UPGRADES.**
- ☐ All accessible units required to be adaptable for persons with disabilities.
- ☐ Maintain sound transmission control between units minimum of 50 STC.
- ☐ Maintain fire-resistive requirements at property lines.
- ☒ A demolition permit & deposit is required. For information call (559) 713-4444
- ☒ Obtain required permits from San Joaquin Valley Air Pollution Board. For information call (661) 392-5500
- ☒ Plans must be approved by the Tulare County Health Department. For information call (559) 624-8011  
**IF ON-SITE COOKING IS PERFORMED.**
- ☐ Project is located in flood zone \_\_\_\_\_ \* ☐ Hazardous materials report.
- ☐ Arrange for an on-site inspection. (Fee for inspection \$157.00) For information call (559) 713-4444
- ☐ School Development fees.
- ☐ Park Development fee \$\_\_\_\_\_, per unit collected with building permits.
- ☐ Additional address may be required for each structure located on the site. For information call (559) 713-4320
- ☐ Acceptable as submitted
- ☐ No comments at this time

Additional comments: **PROVIDE TYPE I HOOD AND INGROUND GREASE INTERCEPTOR IF ON-SITE COOKING IS PERFORMED. FIRE SPRINKLERS REQUIRED FOR FIRE AREAS WITH AN OCCUPANT LOAD OF 300 OR MORE. AN AUTOMATIC FIRE ALARM SYSTEM SHALL BE INSTALLED FOR 50 OR MORE PERSONS OR CONTAINING MORE THAN ONE CLASSROOM.**

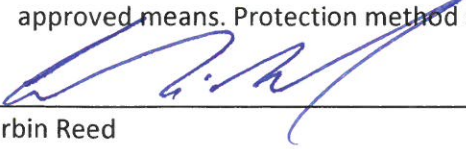
VAL GARCIA 10/23/24

**Site Plan Comments**

Visalia Fire Department  
Corbin Reed, Fire Marshal  
420 N. Burke  
Visalia CA 93292  
559-713-4272 office  
prevention.division@visalia.city

Date            October 13 2024  
Item #           6  
Site Plan #      24241  
APN:            119360062

- The Site Plan Review comments are issued as **general overview** of your project. With further details, additional requirements will be enforced at the Plan Review stage. Please refer to the 2022 California Fire Code (CFC), 2022 California Building Codes (CBC) and City of Visalia Municipal Codes.
- All **fire detection, alarm, and extinguishing systems** in existing buildings shall be maintained in an operative condition at all times and shall be replaced or repaired where defective. If building has been vacant for a significant amount of time the fire detection, alarm, and or extinguishing systems may need to be evaluated by a licensed professional. 2022 CFC 901.6
- **Address numbers** must be placed on the exterior of the building in such a position as to be clearly and plainly visible from the street. Numbers will be at least four inches (4") high and shall be of a color to contrast with their background. If multiple addresses are served by a common driveway, the range of numbers shall be posted at the roadway/driveway. 2022 CFC 505.1
- All hardware on **exit doors, illuminated exit signs and emergency lighting** shall comply with the 2022 California Fire Code. This includes all locks, latches, bolt locks, panic hardware, fire exit hardware and gates.
- **Commercial dumpsters** with 1.5 cubic yards or more shall not be stored or placed within 5 feet of combustible walls, openings, or a combustible roof eave line except when protected by a fire sprinkler system. 2022 CFC 304.3.3
- A **Knox Box key lock system** is required. Where access to or within a structure or area is restricted because of secured openings (doors and/or gates), a key box is to be installed in an approved location. Go to [knoxbox.com](http://knoxbox.com) to order and please allow adequate time for shipping and installation. 2022 CFC 506.1
- Commercial cooking appliances and domestic cooking appliances used for commercial purposes that produce grease laden vapors shall be provided with a **Type 1 Hood**, in accordance with the California Mechanical Code, and an automatic fire extinguishing system. 2022 CFC 904.12 & 609.2
- All exterior risers, drain/test valves and backflow devices shall be protected from unauthorized tampering by approved means. Protection method shall be indicated on building plans. 2022 CFC 903.3.8.4.1

  
Corbin Reed  
Fire Marshal



City of Visalia  
Police Department  
303 S. Johnson St.  
Visalia, CA 93292  
(559) 713-4370

Date: 10/23/24  
Item: 6  
Site Plan: SPR24241  
Name: Robert Avalos

**Site Plan Review Comments**

- ☒ No Comment at this time.
- ☐ Request opportunity to comment or make recommendations as to safety issues as plans are developed.
- ☐ Public Safety Impact Fee:  
Ordinance No. 2001-11 Chapter 16.48 of Title 16 of the Visalia Municipal Code  
Effective date - August 17, 2001.
- ☐ Impact fees shall be imposed by the City pursuant to this Ordinance as a condition of or in conjunction with the approval of a development project. "New Development or Development Project" means any new building, structure or improvement of any parcels of land, upon which no like building, structure of improvement previously existed. \*Refer to Engineering Site Plan comments for fee estimation.
- ☐ Not enough information provided. Please provide additional information pertaining to:
- ☐ Territorial Reinforcement: Define property lines (private/public space).  
\_\_\_\_\_
- ☐ Access Controlled/ Restricted etc.  
\_\_\_\_\_
- ☐ lighting Concerns:  
\_\_\_\_\_
- ☐ Traffic Concerns:  
\_\_\_\_\_
- ☐ Surveillance Issues:  
\_\_\_\_\_
- ☐ Line of Sight Issues:  
\_\_\_\_\_
- ☐ Other Concerns:  
\_\_\_\_\_  
\_\_\_\_\_



# SITE PLAN REVIEW COMMENTS

CITY OF VISALIA TRAFFIC SAFETY DIVISION

October 23, 2024

ITEM NO: 6      Added to Agenda      MEETING TIME: 10:15  
SITE PLAN NO: [SPR24241](#)      ASSIGNED TO: Colleen Moreno [Colleen.Moreno@visalia.city](mailto:Colleen.Moreno@visalia.city)  
PROJECT TITLE: Loving Littles Expansion  
DESCRIPTION: Expand my current in home daycare of 14 children, to a larger daycare center. 4525 W Caldwell Ave already has an existing CUP for 125 students.  
APPLICANT: Danielle Panuco - Applicant  
OWNER: CH-WEST VISALIA CHURCH OF CHRIST INC  
CH-WEST VISALIA CHURCH OF CHRIST INC  
APN: 119360062  
ADDRESS: 4525 W CALDWELL AVE  
LOCATION: 4525 W Caldwell Ave

THE TRAFFIC DIVISION WILL PROHIBIT ON-STREET PARKING AS DEEMED NECESSARY

- ☒ No Comments
- ☐ See Previous Site Plan Comments
- ☐ Install Street Light(s) per City Standards at time of development.
- ☐ Install Street Name Blades at Locations at time of development.
- ☐ Install Stop Signs at **local road intersection with collector/arterial** Locations.
- ☐ Construct parking per City Standards PK-1 through PK-4 at time of development.
- ☐ Construct drive approach per City Standards at time of development.
- ☐ Traffic Impact Analysis required (CUP)
  - ☐ Provide more traffic information such as see below. Depending on development size, characteristics, etc., a TIA may be required.



- ☐ Additional traffic information required (Non Discretionary)
  - ☐ Trip Generation - Provide documentation as to concurrence with General Plan.
  - ☐ Site Specific - Evaluate access points and provide documentation of conformance with COV standards.  
If noncomplying, provide explanation.
  - ☐ Traffic Impact Fee (TIF) Program - Identify improvements needed in concurrence with TIF.

**Additional Comments:**

- 

*Leslie Blair*  

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**Leslie Blair**

## Susan Currier

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**From:** Jennifer Flores  
**Sent:** Tuesday, October 22, 2024 8:51 AM  
**To:** Susan Currier  
**Cc:** Colleen Moreno  
**Subject:** Site Plan Review Comments October 24th  
**Attachments:** SPR 24237 JERSEY MIKES.pdf; SPR 24229 KAWEAH EQUIPMENT COMPANY.pdf

Attached are my comments for this weeks Site Plan review.

SPR24229 – Kaweah Equipment Company – request automotive survey \  
SPR24237 – Jersey Mikes Subs- Grease Trap/ Grease Interceptor require. If Grease prevention device is already on site, not on FOG survey  
SPR24238- Tulare Ave. – No Comments  
SPR24239 – Hounds Town - No comments  
SPR24240 – Yanxin Si – No comments  
**SPR24241**- Loving Littles – No comments

Thanks!

*Sincerely,*

***Jennifer Flores***

Pretreatment Coordinator  
City of Visalia, Waste Water Reclamation  
7579 Ave 288, Visalia CA  
Office phone- (559)713-4463  
Work cell- (559) 972-9269

CITY OF VISALIA  
SOLID WASTE DIVISION  
336 N. BEN MADDOX  
VISALIA CA. 93291  
713 - 4532  
COMMERCIAL BIN SERVICE

24241

October 23, 2024

<input type="checkbox"/>	No comments.
<input checked="" type="checkbox"/>	See comments below
<input type="checkbox"/>	Revisions required prior to submitting final plans. See comments below.
<input type="checkbox"/>	Resubmittal required. See comments below.
<input checked="" type="checkbox"/>	Customer responsible for all cardboard and other bulky recyclables to be broken down before disposing of in recycle containers
<input type="checkbox"/>	ALL refuse enclosures must be city standard R-1 OR R-2 & R-3 OR R-4
<input checked="" type="checkbox"/>	Customer must provide combination or keys for access to locked gates/bins
<input type="checkbox"/>	Type of refuse service not indicated.
<input type="checkbox"/>	Location of bin enclosure not acceptable. See comments below.
<input type="checkbox"/>	Bin enclosure insufficient to comply with state recycling mandates. See comments for suggestions.
<input type="checkbox"/>	Inadequate number of bins to provide sufficient service. See comments below.
<input type="checkbox"/>	Drive approach too narrow for refuse trucks access. See comments below.
<input type="checkbox"/>	Area not adequate for allowing refuse truck turning radius of : Commercial 50 ft. outside 36 ft. inside; Residential 35 ft. outside, 20 ft. inside.
<input type="checkbox"/>	Paved areas should be engineered to withstand a 55,000 lb. refuse truck.
<input type="checkbox"/>	Bin enclosure gates are required
<input type="checkbox"/>	Hammerhead turnaround must be built per city standards.
<input type="checkbox"/>	Cul - de - sac must be built per city standards.
<input checked="" type="checkbox"/>	Bin enclosures are for city refuse containers only. Grease drums or any other items are not allowed to be stored inside bin enclosures.
<input type="checkbox"/>	Area in front of refuse enclosure must be marked off indicating no parking
<input type="checkbox"/>	Enclosure will have to be designed and located for a STAB service (DIRECT ACCESS) with no less than 38' clear space in front of the bin, included the front concrete pad.
<input type="checkbox"/>	Customer will be required to roll container out to curb for service.
<input type="checkbox"/>	Must be a concrete slab in front of enclosure as per city standards, the width of the enclosure by ten(10) feet, minimum of six(6) inches in depth.
<input type="checkbox"/>	Roll off compactor's must have a clearance of 3 feet from any wall on both sides and there must be a minimum of 53 feet clearance in front of the compactor to allow the truck enough room to provide service.
<input checked="" type="checkbox"/>	City ordinance 8.28.120-130 (effective 07/19/18) requires contractor to contract with City for removal of construction debris unless transported in equipment owned by contractor or unless contracting with a franchise permittee for removal of debris utilizing roll-off boxes.
<input type="checkbox"/>	Existing solid waste service are assigned to the Church's account. Customer to contact the Church to schedule a waste assessment when ready to increase solid waste services for the school site. Property owner to complete and submit a City of Visalia "Concrete/Driveway Release of Liability Waiver Agreement".
Comment	

Jason Serpa, Solid Waste Manager, 559-713-4533  
Edward Zuniga, Solid Waste Supervisor, 559-713-4338

Nathan Garza, Solid Waste, 559-713-4532





## CALIFORNIA WATER SERVICE

**Visalia District** 216 North Valley Oaks Drive  
Visalia, CA 93292 Tel: (559) 624-1600

### Site Plan Review Comments From:

California Water Service  
Scott McNamara, Superintendent  
216 N Valley Oaks Dr.  
Visalia, CA 93292  
559-624-1622  
[smcnamara@calwater.com](mailto:smcnamara@calwater.com)

Date: 10/23/2024  
Item #: 6  
Site Plan #: 24-241  
Project: Loving Littles Expansion  
Description:  
Applicant: Danielle Panuco  
APN: 119-360-062  
Address: 4525 W Caldwell

### The following comments are applicable when checked:

- ☐ No New Comments
- ☐ Pulled from agenda

### ☒ Water Mains

**Comments:** Water main is installed on private property within a dedicated Cal Water easement.

- ☒ - Water main fronting your project
- ☐ - No existing water main fronting this project

### ☒ Water Services

**Comments:**

- ☒ - Existing service(s) at this location.
  - ☒ - Domestic/Commercial
  - ☐ - Irrigation
  - ☐ - Fire Protection

The following will be paid for by the property owner/developer:

- Any additional services for the project.
- Relocation of any existing service that is to land within a new drive approach.
- Existing service(s) that are not utilized may need to be abandoned.
- If the existing service(s) is not sufficient in size to meet the customer's demand:
  - Installation of the correct size service.
  - Abandonment of the insufficient size service.
- ☐ - Service(s) will need to be installed for this project.

### ☒ Fire Hydrants

**Comments:**

- Fire hydrants will be installed per the Visalia Fire Departments requirements.
- If new fire hydrants are required for your project off an existing water main:
  - Cal Water will utilize our own contractor (West Valley) for the installation.
  - This work is to be paid for by the property owner/developer.





## CALIFORNIA WATER SERVICE

### ☒ **Backflow Requirements**

#### **Comments:**

A backflow is required if any parcel meets any of the following parameters:

- Designated as multi-family
- Commercial building
- Has multiple dwellings (residential or commercial)
- Has multiple services
  - Any combination of the following:
    - Domestic/Commercial
    - Irrigation
    - Fire Protection

Please contact Cross Connection Control Specialist Juan Cisneros at 559-624-1670 or [visaliabackflow@calwater.com](mailto:visaliabackflow@calwater.com) for a backflow install packet.

### **Additional Comments:**

- ☒ If your project requires the installation of Cal Water facilities, please contact New Business Superintendent Mike Andrada at 559-624-1689 or [mandrada@calwater.com](mailto:mandrada@calwater.com) to receive your new business packet to start your project with Cal Water.
- ☐ Cal Water may work with the developer to purchase a piece of property for a future tank site and/or a new source of water.
- ☐ If Cal Water infrastructure is to be installed on private property, a dedicated easement will be required for our infrastructure.
- ☐ If you need to request existing utility information, please contact Construction Superintendent Scott McNamara at [smcnamara@calwater.com](mailto:smcnamara@calwater.com) for the information and requirements needed to obtain this information.
- ☐ If a fire flow is needed for your project, please contact Distribution Superintendent Alex Cardoso at 559-624-1661 or [lcardoso@calwater.com](mailto:lcardoso@calwater.com) for information and requirements.
- ☐ If you need a construction meter for your project, please call our Operations Center at 559-624-1650.
- ☒ If you need to sign up for an existing service, please call 559-624-1600.



## Susan Currier

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**From:** Deel, David@DOT <david.deel@dot.ca.gov>  
**Sent:** Tuesday, November 19, 2024 8:50 AM  
**To:** Colleen Moreno; Josh Dan; Susan Currier  
**Cc:** Padilla, Dave@DOT; Yelton, Elizabeth@DOT  
**Subject:** Caltrans Response to Site Plan Review Agenda - 10-23-2024  
**Attachments:** Visalia SPR Agenda 10-23-2024.pdf

Colleen and all,

This email summarizes Caltrans response for Site Plan Review Agenda - 10-23-2024:

ITEM NO: 1 SITE PLAN NO: **SPR 24229 - NO COMMENT**

Kaweah Equipment Company Construct 6,000 sf building

ITEM NO: 2 SITE PLAN NO: **SPR 24237 - NO COMMENT**

Interior tenant improvement for a quick serve sub sandwich shop

ITEM NO: 3 SITE PLAN NO: **SPR 24238 - NO COMMENT**

Change of Use from Office to Spa

ITEM NO: 4 SITE PLAN NO: **SPR 24239 - NO COMMENT**

doggy daycare and boarding business

ITEM NO: 5 SITE PLAN NO: **SPR 24240 - NO COMMENT**

Add a new masseur

ITEM NO: 6 SITE PLAN NO: **SPR 24241 - NO COMMENT**

Expand my current in home daycare of 14 children to a larger daycare center.  
4525 W Caldwell Ave already has an existing CUP for 125 students.

Respectfully,

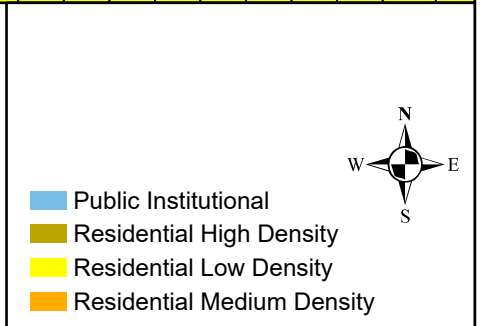
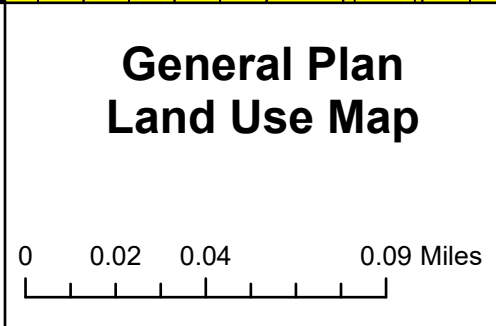
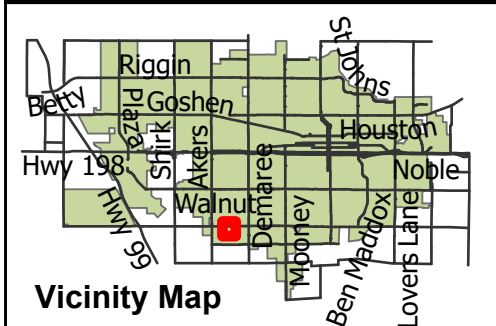
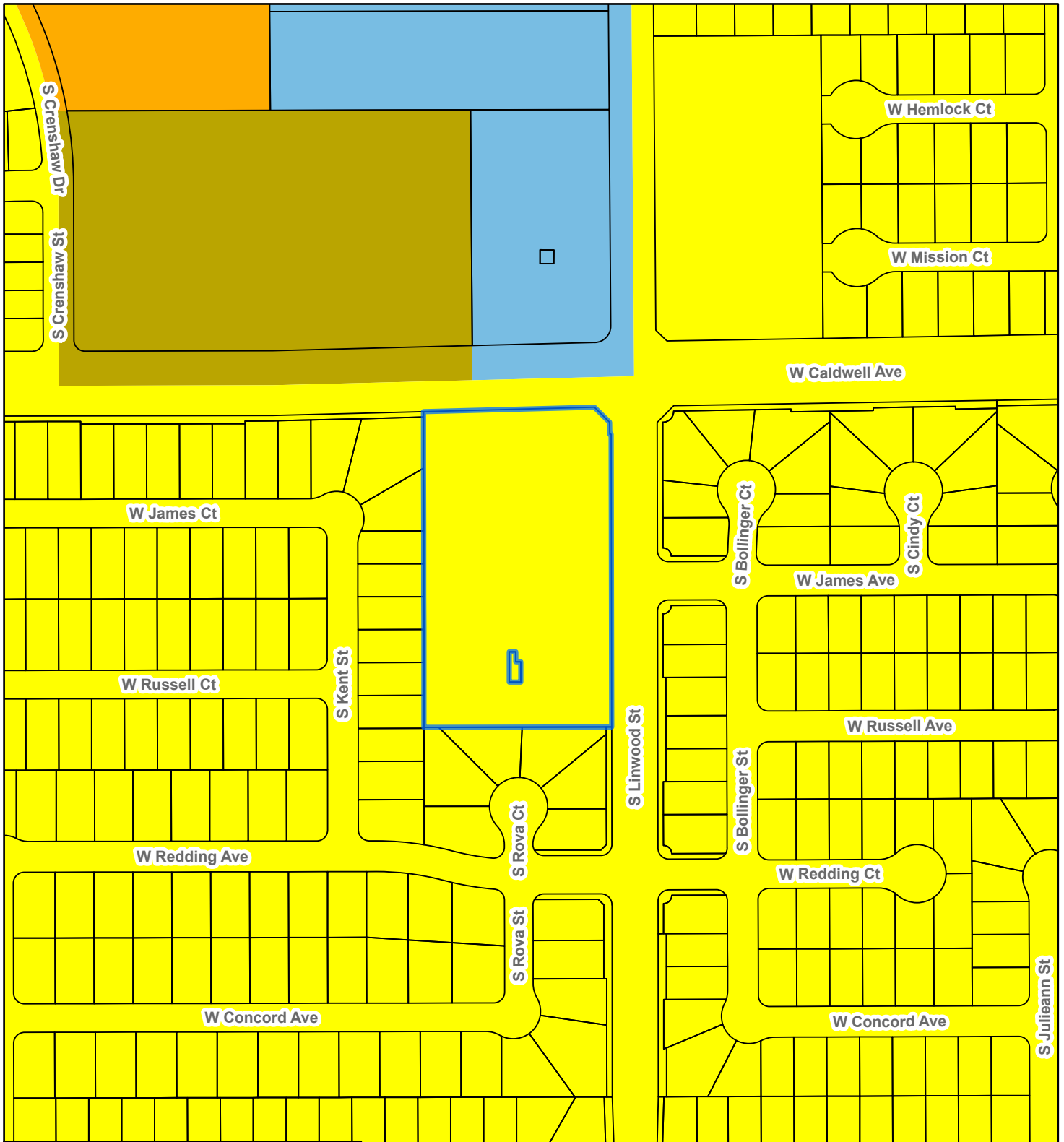
**David Deel**

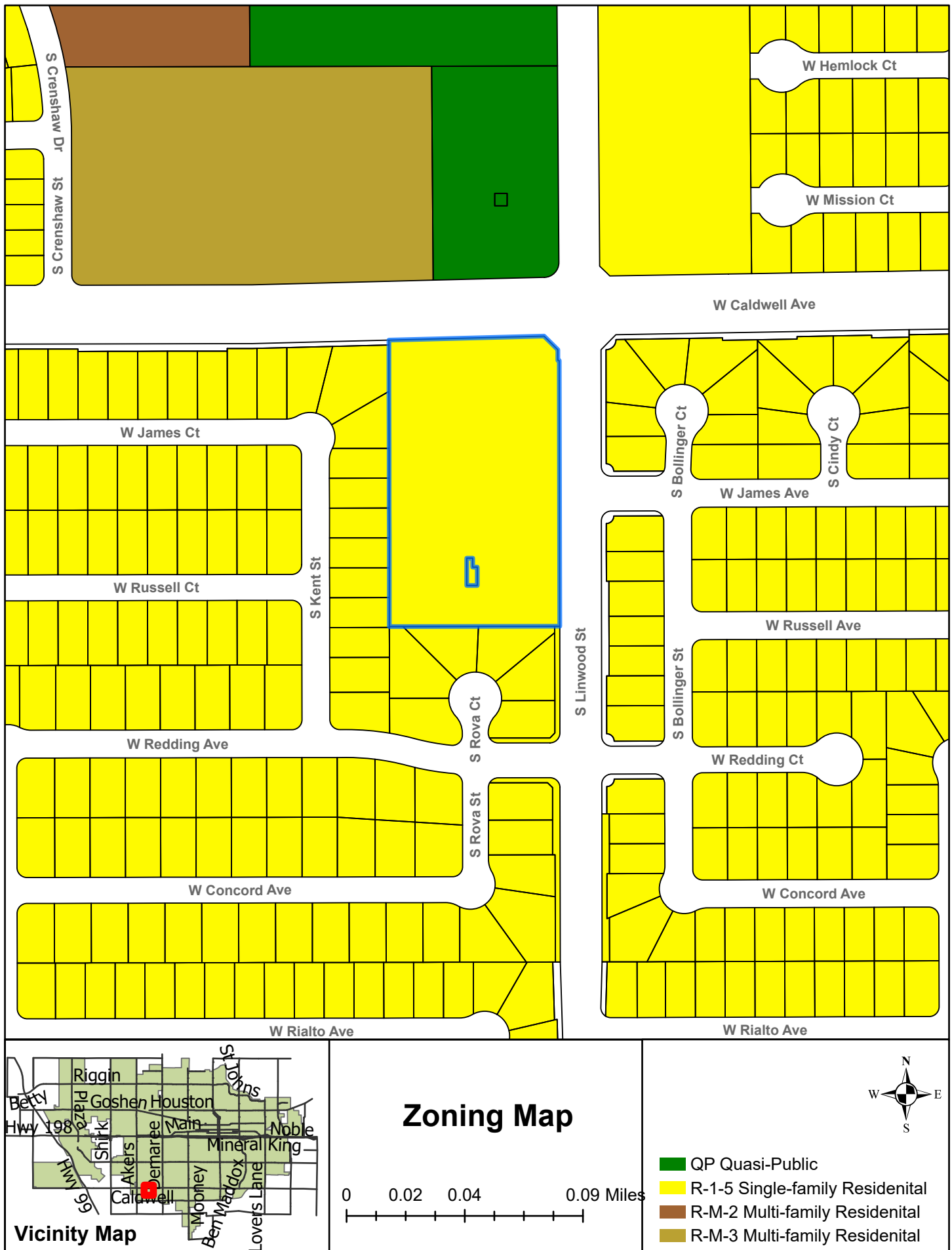
**Associate Transportation Planner**

**Desk & Mobile: 559.981.1041**

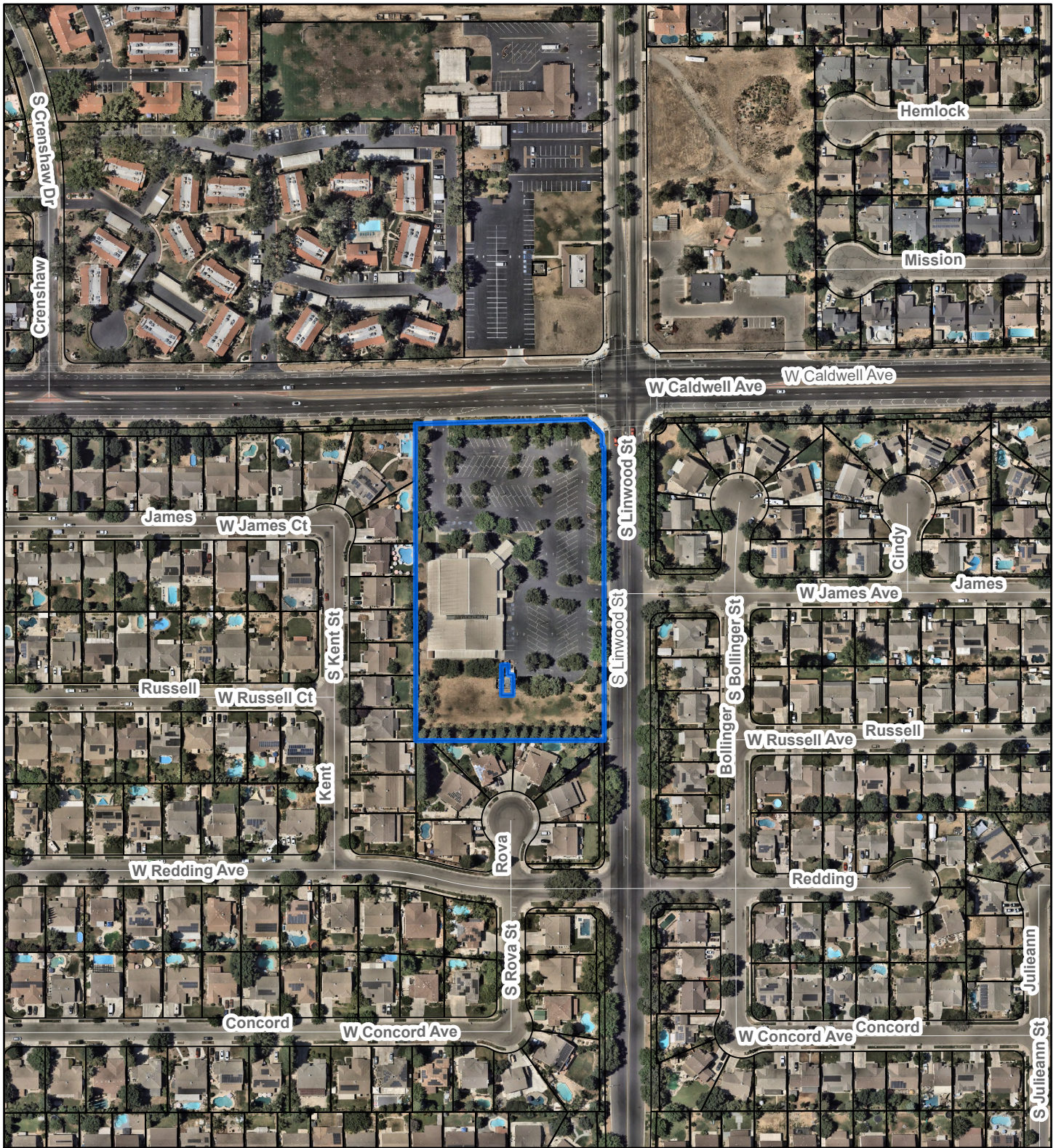
CALTRANS District 6  
Local Development Review Branch  
Office of Multimodal Transportation Planning  
Division of Transportation Planning & Local Programs  
1352 W. Olive Avenue (P.O. Box 12616)  
Fresno, CA 93778-2616











## Aerial Map

0 0.03 0.06 0.11 Miles









## REPORT TO CITY OF VISALIA PLANNING COMMISSION

**HEARING DATE:** February 24, 2025

**PROJECT PLANNER:** Cristobal Carrillo, Associate Planner  
Phone No.: (559) 713-4443  
Email: [cristobal.carrillo@visalia.city](mailto:cristobal.carrillo@visalia.city)

**SUBJECT: Tentative Parcel Map No. 2024-11:** A request by Allen Williams to subdivide a 4.89-acre parcel into three parcels, to separate existing development from a vacant parcel planned for a subdivision, in the R-1-5 (Single-Family Residential, 5,000 square foot minimum site area) Zone.

**Jennings Estates Tentative Subdivision Map No. 5603:** A request by Allen Williams to subdivide a 4.36-acre parcel into a 22-lot single-family residential subdivision with one outlot for landscaping purposes, in the R-1-5 (Single-Family Residential, 5,000 square foot minimum site area) Zone.

**Project Location:** The project site is located at 1716 North Cain Street, east of the intersection of North Cain Street and East Prospect Avenue (APN: 098-470-001).

### STAFF RECOMMENDATION

#### **Tentative Parcel Map No. 2024-11**

Staff recommends approval of Tentative Parcel Map No. 2024-11, as conditioned, based on the findings and conditions in Resolution No. 2024-86. Staff's recommendation is based on the conclusion that the request is consistent with the Visalia General Plan, Zoning and Subdivision Ordinances.

#### **Jennings Tentative Subdivision Map No. 5603**

Staff recommends approval of the Jennings Tentative Subdivision Map No. 5603, as conditioned, based on the findings and conditions in Resolution No. 2024-85. Staff's recommendation is based on the conclusion that the request is consistent with the Visalia General Plan, Zoning and Subdivision Ordinances, Housing Accountability Act (Government Code section 65589.5) and the Visalia Housing Element.

### RECOMMENDED MOTION

I move to approve Tentative Parcel Map No. 2024-11, based on the findings and conditions in Resolution No. 2024-86.

I move to approve Jennings Tentative Subdivision Map No. 5603, based on the findings and conditions in Resolution No. 2024-85.

### PROJECT DESCRIPTION

The applicant / property owner, Allen Williams, has filed entitlement applications to divide a 4.89-acre parcel into a total of 24 single-family residential lots, with City Limits. The project site contains an existing single-family residence, assorted accessory structures, and a dormant walnut and almond orchard. Entitlements for this project consist of a tentative subdivision map and tentative parcel map.

**Tentative Parcel Map No. 2024-11** proposes subdividing the project site into three parcels (see Exhibit "B"). Parcel 1 will be approximately 16,215 square feet in size and will contain the existing single-family residence. Parcel 2 will be 7,127 square feet in size. Both lots will be sold and used

for residential purposes. Street access for both Parcel 1 and 2 to North Cain Street will be provided via an existing driveway on Parcel 1, which will be shared through an access easement. Parcel 3 will be approximately 4.36 acres / 189,752 square feet in size and will be employed for the development of the 22-lot single family residential subdivision proposed via Jennings Estates Tentative Subdivision Map No. 5603.

**Jennings Estates Tentative Subdivision Map No. 5603** is a request to subdivide a 4.36-acre site (Parcel 3 of Tentative Subdivision Map No. 2024-11) into a 22-lot single-family residential subdivision (see Exhibit “A”). The density of the subdivision will be 5.05 dwelling units per acre, consistent with the density range (2 to 10 units per acre) of the Low Density Residential General Plan land use classification. Per the operational statement in Exhibit “D”, lot sizes will range from 5,000 to 12,035 square feet, with an average lot size of 6,358 square feet.

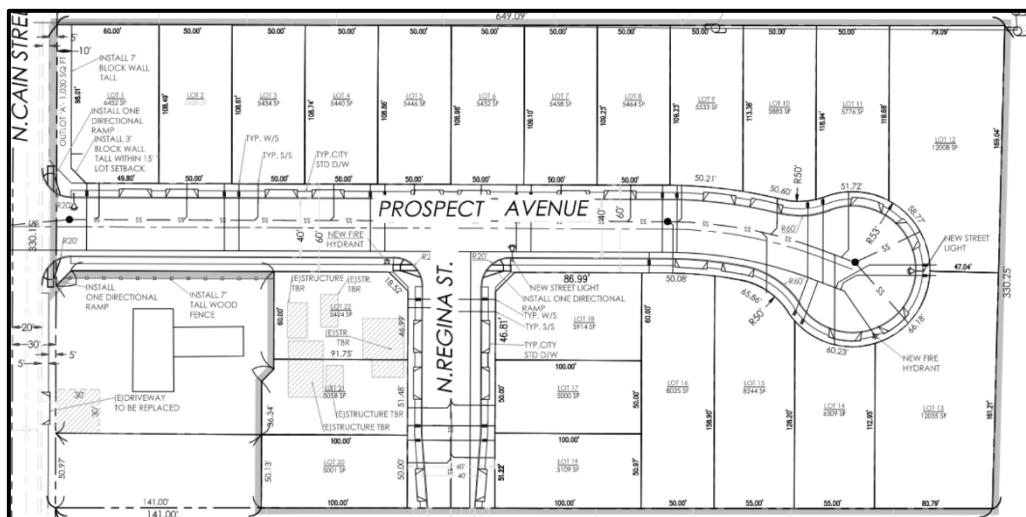
The development will be serviced by 60-foot-wide local public streets (East Prospect Avenue and North Regina Street) containing full improvements such as curb, gutter, parkway landscaping, sidewalks, and streetlights. Additional street infrastructure shall include public frontage improvements to North Cain Street, a 60-foot-wide Collector street which traverses the western boundary of the project site. Improvements to Cain Street will include construction/repair of curb, gutter, sidewalks, block walls (where lots do not front onto major roadways), installation of park strip landscaping, streetlights, sanitary sewer, and undergrounding of utility lines. The street improvements associated with this subdivision are discussed in greater detail in the Street Improvements section of the report. Lastly, sewer lines, storm drainage, and other public infrastructure/utilities/services (i.e., electricity and water) will be installed as part of the development. Existing distribution power lines located along the northern portion of the project site will also be undergrounded as part of the development.

Primary access to the subdivision will be from North Cain Street, with an additional connection provided via North Regina Street, which will connect to an existing portion of the street within the subdivision to the south. The existing portion of North Regina Street is 52 feet in width, so the new portion will taper from 60 feet to 52 feet to accommodate the local street connection.

The subdivision map will create one outlot to be dedicated to the City of Visalia, located at the northwest corner of the subdivision. The outlot will be 1,030 square feet in size and function as a landscaping lot with a block wall.

The applicant has provided floor plans and building elevations for four master plans to be associated with the development, each with two exterior treatment options. The plans contain three single-story unit plans and one two-story unit plan, ranging in size from 1,467 square feet to 2,196 square feet of livable space (see Exhibit “C”).

The parcel is surrounded by existing residential subdivisions (River Oak Park to the north, Cainwood Estates south, Riverwood Estates to the east, and East Glen to the west). The project site and surrounding areas are all currently within Visalia City Limits.





## BACKGROUND INFORMATION

General Plan Land Use Designation:	Residential Low Density
Zoning:	R-1-5 (Single-Family Residential, minimum 5,000 square foot lot size) zone
Surrounding Zoning and Land Use:	North: R-1-5 / River Oak Park residential subdivision South: R-1-5 / Cainwood Estates residential subdivision East: R-1-5 / Riverwood Estates residential subdivision West: R-1-5 / East Glen residential subdivision
Environmental Review:	Notice of Exemption No. 2024-76
Special Districts:	Northeast Area Specific Plan
Site Plan Review:	SPR No. 2024-210 (Tentative Subdivision Map), 2024-227 (Tentative Parcel Map)

### **RELATED PLANS & POLICIES**

Please see attached summary of related plans and policies.

### **SIMILAR PROJECTS**

On October 24, 2022, the Planning Commission approved **San Marino Tentative Subdivision Map No. 5594**, located on the northeast corner of North Shirk Street and the future West Delaware Avenue alignment (APN: 077-650-052). The project was a request to subdivide a 4.30-acre parcel into 22 lots for residential use, with one outlot for a future block wall and landscaping in the R-1-5 Zone.

On March 25, 2024, the Planning Commission approved **Harder Homes Tentative Subdivision Map No. 5596** and **Conditional Use Permit No. 2024-04**, located on the west side of North Encina Street, approximately 600 feet north of West Sweet Avenue (APN: 091-161-063). The project was a request to subdivide 1.56 acres into an eight-lot single-family residential subdivision, with lot size and setback deviations for four lots, in the R-1-5 Zone.

On June 24, 2024, the Planning Commission approved **Teakwood Estates Tentative Subdivision Map No. 5599**, located on the southeast corner of East Roosevelt Avenue and North Simon Street (APN: 103-280-032 & 103-280-081). The project was a request to subdivide a 7.26-acre parcel into 35 lots for residential use, in the R-1-5 Zone.

## PROJECT EVALUATION

Staff recommends approval of Jennings Estates Tentative Subdivision Map No. 5603 and Tentative Parcel Map No. 2024-11 based on the project's consistency with the Land Use Element of the General Plan, the Zoning and Subdivision Ordinances, Housing Accountability Act (Government Code section 65589.5), and the Visalia Housing Element.

## **General Plan Consistency**

### **Land Use Element Policies**

The project is consistent with Policy LU-P-55, which allows for residential development consistent with the Low-Density Residential designation at a density range between 2 to 10 dwelling units per gross acre. The proposed development will be developed at a residential density of 5.05 units per acre, consistent with the Low Density Residential General Plan land use designation and R-1-5 zoning district. The policy is intended to facilitate “...*single-family detached housing with densities typical of single-family subdivisions.*” The proposal meets the intent of the policy, providing a development with single-family residences, with lot sizes and densities compatible with residential areas surrounding the project site.

### **Housing Accountability Act (Government Code section 66589.5)**

The Housing Accountability Act (HAA) requires local agencies to approve housing developments that are consistent with applicable general plan, zoning, and subdivision standards, including design review, if they were in effect at the time that the housing development application was deemed complete. A local agency cannot disapprove a project or lower its density unless it finds by a preponderance of the evidence that the project would have a specific, adverse impact on public health or safety, and that there is no feasible way to mitigate or avoid the impact<sup>1</sup>.

The project is consistent, compliant, and in conformity with the General Plan, Zoning Ordinance, and single-family residential development standards. The lots proposed for the Jennings Estates subdivision meet density standards for the Low-Density Residential land use designation and will be compatible with surrounding developed residential areas. Furthermore, the subdivision will develop a network of local streets and improve adjacent Collector public roadways, thereby facilitating increased street connectivity to accommodate future growth areas.

### **Street Improvements**

**Major Streets:** The developer of the subdivision will be required to construct street improvements along North Cain Street, a designated 60-foot-wide collector roadway carrying two lanes of traffic. The project will require improvements along the right of way within the boundaries of the subdivision map, to include curb, gutter, sidewalks, streetlights, a block wall, and landscaping. All new utilities that will service the residential subdivision will be placed underground. Existing utility lines onsite will also be undergrounded as necessary. Improvements to North Cain Street shall take place upon development of the project site.

**Local Streets:** All local streets will be developed per the City’s 60-foot-wide local street standard, except for the portion of North Regina Street that will connect to the Cainwood Estates subdivision to the south. Within Cainwood Estates, Regina Street is 52 feet in width. The new portion of Regina Street will taper from 60 feet in width to 52 in width to accommodate the connection.

All the above right of way improvement requirements are derived from Traffic Engineering and Engineering Division comments listed in Site Plan Review Nos. 2024-210 and 2024-227. The requirements are incorporated into this project by reference through recommended Condition No. 1 of Jennings Estates Tentative Subdivision Map No. 5603 and Condition No. 1 of Tentative Parcel Map No. 2024-11. With the inclusion of the required right of way improvements, the subdivision shall provide adequate access to Cain Street, and will serve to improve circulation for the surrounding area.

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<sup>1</sup> Gov. Code Section 66589.5(j)(1).

## **Development Standards**

The Jennings Estates Tentative Subdivision Map No. 5603 will be developed with setbacks and lot sizes in accordance with the codified standards contained in the Zoning Ordinance for R-1-5 zoned properties. The subdivision does not propose the utilization of small lots or private streets with this single-family residential subdivision.

The setbacks within the R-1-5 zone for lots 5,000 square feet or greater are as follows:

<b>Minimum Lot Area</b>	<b>Front</b>	<b>Side</b>	<b>Street Side</b>	<b>Rear</b>
5,000 sq. ft.	15-ft. to a habitable space. 22-ft. to garage, except on curvilinear lots 20-ft. to garage.	5-ft.	10-ft.	25-ft. City standard rear yard setbacks are 25 feet with allowance for one-story structure to go to 20-feet subject to open space requirements.

The development standards are included as Condition No. 4 of Jennings Estates Tentative Subdivision Map No. 5603.

## **Landscape and Lighting Assessment Districts / Fencing**

A Landscaping and Lighting District (LLD) will be required for the long-term maintenance of the out lots, which include block walls, streetlights, and landscaping amenities. The block walls along the major street frontages will be typical City standard block walls. The block wall height shall be reduced to three feet where the block wall runs adjacent to the front yard setback along the front yard areas of the following residential lots. Staff has included Condition No. 7 to require the stepped down walls.

Staff notes that Parcel 1 of the Tentative Parcel Map No. 2024-11 also depicts fencing along its northern boundary that would be taller than permitted in the front yard setback. As such, Tentative Parcel Map No. 2024-11, Condition No. 3 is recommended requiring fencing on the northern boundary of Parcel 1 to also transition to three-foot height within the 15-foot front yard setback area of the lot.

## **Infrastructure**

The project will require improvements to the following infrastructure:

- **Water Service:** A Will Serve Letter was provided by the California Water Service Company for the subdivision and is attached with this report. Staff has included Condition No. 5 for Jennings Estates Tentative Subdivision Map No. 5603 which requires that a valid Will Serve Letter from the California Water Service Company be provided prior to development, to ensure water service in the event that the existing water availability letter lapses.
- **Sanitary Sewer:** The sewer system will have to be extended to the boundaries of the development where future connection and extension is anticipated. The developer will be required to coordinate with City staff on design and construction requirements for the sanitary sewer. A sewer analysis was prepared for the site and reviewed by the City of Visalia Public Works Department. Review of the analysis determined that the Wastewater Treatment Facility possesses the capacity to effectively accommodate this development.



## **Northeast Area Specific Plan**

Visalia's Northeast Area Specific Plan was originally established in the late-1970s to redirect growth into the northeast of the City. The plan intends to balance community growth patterns, take advantage of existing infrastructure, and better utilize Visalia's natural features. The Specific Plan was amended in the late 1980's to reflect changing market conditions and community values that included factors such as appropriate development densities, levels of public improvement, and development costs.

Staff finds that Jennings Estates Tentative Subdivision Map No. 5603 is consistent with the Northeast Area Specific Plan and recommends annexation into the Northeast Area Improvement District (Jennings Estates Tentative Subdivision Map No. 5603 Condition No. 9). Once annexed, the development must pay fees that go toward improvements for storm drainage, block walls, parkway landscaping, bike paths, medians, and parks within the Specific Plan area.

## **Subdivision Map Act**

California Government Code Section 66474 lists seven findings for which a legislative body of a city or county shall deny approval of a tentative map if it is able to make any of these findings. These seven "negative" findings have come to light through a recent California Court of Appeal decision (Spring Valley Association v. City of Victorville) that has clarified the scope of findings that a city or county must make when approving a tentative map under the California Subdivision Map Act.

Staff has reviewed the seven findings for a cause of denial and finds that none of the findings can be made for the proposed project. The seven findings and staff's analysis are below. Recommended findings in response to this Government Code section are included in the recommended findings for the approval of the tentative subdivision map.

<u>GC Section 66474 Finding</u>	<u>Analysis</u>
(a) That the proposed map is not consistent with applicable general and specific plans as specified in Section 65451.	The proposed map has been found to be consistent with the City's General Plan. This is included as recommended Finding No. 1 of the Tentative Subdivision Map. <i>There are no specific plans applicable to the proposed map.</i>
(b) That the design or improvement of the proposed subdivision is not consistent with applicable general and specific plans.	The proposed design and improvement of the map has been found to be consistent with the City's General Plan. This is included as recommended Finding No. 1 of the Tentative Subdivision Map. <i>There are no specific plans applicable to the proposed map.</i>
(c) That the site is not physically suitable for the type of development.	The site is physically suitable for the proposed map and its affiliated development plan, which is designated as Low Density Residential and developed at a density of 4.9 units per acre. This is included as recommended Finding No. 3 of the Tentative Subdivision Map.

(d) That the site is not physically suitable for the proposed density of development.	The site is physically suitable for the proposed map and its affiliated development plan, which is designated as Low Density Residential. This is included as recommended Finding No. 4 of the Tentative Subdivision Map.
(e) That the design of the subdivision or the proposed improvements are likely to cause substantial environmental damage or substantially and avoidably injure fish or wildlife or their habitat.	The proposed design and improvements of the map has not been found likely to cause environmental damage or substantially and avoidably injure fish or wildlife or their habitat. This finding is further supported by the project's determination of no new effects under the Guidelines for the Implementation of the California Environmental Quality Act (CEQA), included as recommended Finding No. 8 of the Tentative Subdivision Map.
(f) That the design of the subdivision or type of improvements is likely to cause serious public health problems.	The proposed design of the map has been found to not cause serious public health problems. This is included as recommended Finding No. 2 of the Tentative Subdivision Map.
(g) That the design of the subdivision or the type of improvements will conflict with easements, acquired by the public at large, for access through or use of property within the proposed subdivision.	The proposed design of the map does not conflict with any existing or proposed easements located on or adjacent to the subject property. This is included as recommended Finding No. 5 of the Tentative Subdivision Map.

### **Public Comment**

Public comment (one phone call and one letter) was received from two residents of properties located south of the project site. The public comment stated that the addition of the proposed subdivision would negatively impact the surrounding residential areas, increasing traffic, overburdening existing roadways, and creating unsafe conditions for students walking to the nearby La Sierra Military Academy. It was also requested that consideration be given to opening additional access points to East Houston Avenue as part of the project, to reduce traffic impacts on North Cain Street.

Staff notes that as part of the Site Plan Review process, the project was reviewed by Traffic Engineering staff. The review determined that the existing roadways would be sufficient to support traffic from the project. As such, no additional traffic analysis was required, nor additional right of way improvements mandated above the installation of curb, gutter, sidewalk, driveways, and streetlighting. Staff also notes that the installation of right of way improvements along the North Cain Street frontage, such as sidewalk, would serve to improve access for all pedestrians.

### **Environmental Review**

State CEQA Guidelines Section 15183 (Public Resources Code §21083.3), provides that projects which are consistent with the development density established by a Community Plan, General Plan, or Zoning for which an environmental impact report (EIR) has been certified "shall not require additional environmental review, except as might be necessary to examine whether there are

project-specific significant effects which are peculiar to the project or its site.” A Notice of Exemption was prepared for the Jennings Estates Tentative Subdivision Map No. 5603 and Tentative Parcel Map No. 2024-11. Notice of Exemption No. 2024-76 disclosed that no additional environmental review is required based upon the project being consistent with the development density established by the City’s General Plan and based upon no further project-specific effects that are peculiar to the project or the site. Staff therefore recommends that Notice of Exemption No. 2024-76 be adopted for this project.

## RECOMMENDED FINDINGS

### **Jennings Estates Tentative Subdivision Map No. 5603 & Tentative Parcel Map No. 2024-11**

1. That the proposed location and layout of the Jennings Estates Tentative Subdivision Map No. 5603 and Tentative Parcel Map No. 2024-11, its improvements and design, and the conditions under which it will be maintained are consistent with the policies and intent of the General Plan, Zoning Ordinance, and Subdivision Ordinance. The 4.89-acre project site, which is the site of the proposed 22-lot single-family residential subdivision, is consistent with Land Use Policy LU-P-19 of the General Plan. Policy LU-P-19 states *“ensure that growth occurs in a compact and concentric fashion by implementing the General Plan’s phased growth strategy.”*
2. That the proposed Jennings Estates Tentative Subdivision Map No. 5603 and Tentative Parcel Map No. 2024-11, its improvements and design, and the conditions under which it will be maintained will not be detrimental to the public health, safety, or welfare, nor materially injurious to properties or improvements in the vicinity, nor is it likely to cause serious public health problems. The proposed tentative subdivision map will be compatible with adjacent land uses. The project site is bordered by existing residential development and a collector street.
3. That the site is physically suitable for the proposed tentative subdivision map. The Jennings Estates Tentative Subdivision Map No. 5603 and Tentative Parcel Map No. 2024-11 is consistent with the intent of the General Plan, Zoning Ordinance, and Subdivision Ordinance, and is not detrimental to the public health, safety, or welfare or materially injurious to properties or improvements in the vicinity. The project site is adjacent to land zoned for residential development, and the subdivision establishes a collector and local street pattern that will serve the subject site and surrounding areas.
4. That the site is physically suitable for the proposed tentative subdivision map and the project’s density, which is consistent with the underlying Low Density Residential General Plan Land Use Designation. The proposed location and layout of the Jennings Estates Tentative Subdivision Map No. 5603 and Tentative Parcel Map No. 2024-11, its improvement and design, and the conditions under which it will be maintained is consistent with the policies and intent of the General Plan, Zoning Ordinance, and Subdivision Ordinance. The 4.89-acre project site, which is the site of the proposed 22-lot single-family residential subdivision, is consistent with Land Use Policy LU-P-19 of the General Plan. Policy LU-P-19 states *“ensure that growth occurs in a compact and concentric fashion by implementing the General Plan’s phased growth strategy.”*
5. That the proposed Jennings Estates Tentative Subdivision Map No. 5603 and Tentative Parcel Map No. 2024-11, the design of the subdivision or the type of improvements will not conflict with easements, acquired by the public at large, for access through or use of, property within the proposed subdivision. The 22-lot subdivision is designed to comply with the City’s Engineering Improvement Standards for major streets. The development of the site with a 22-lot single-family residential subdivision will improve collector streets (North Cain Street), and extend local streets, infrastructure improvements, utilities, right-of-way improvements and a residential lot pattern consistent with existing residential development found in the area.



6. The proposed location of the tentative subdivision map is in accordance with the Visalia General Plan and the objectives of the Zoning and Subdivision Ordinances. The proposed location of the subdivision is in accordance with the objectives of the Zoning Ordinance and the purposes of the zone in which the site is located. Multiple General Plan policies identify the implementation of development standards to ensure that new single-family residential development will contribute to positive land use compatibility. The size of the property combined with the number of residential lots proposed is consistent and compatible with existing surrounding residential development.

The proposed project will result in the creation of a new single-family residential development at a density of 5.05 units per acre, which is consistent with General Plan land use designation of Low Density Residential and the R-1-5 zoning designation that will be applied to the site when annexed into the city limits.

7. The Housing Accountability Act (GC section 66589.5) requires local agencies to approve housing developments that are consistent with applicable, objective general plan, zoning, and subdivision standards in effect at the time that the housing development project's application is determined to be complete. A local agency cannot disapprove a project or lower its density unless it finds by a preponderance of the evidence that the project would have a specific, adverse impact on public health or safety, and there is no feasible way to mitigate or avoid the impact. There is no evidence that the project would cause quantifiable significant unavoidable impacts on public health and safety. The project is consistent, compliant, and in conformity with the General Plan, Zoning Ordinance, and development standards.
8. State CEQA Guidelines Section 15183 (Public Resources Code §21083.3), provides that projects which are consistent with the development density established by a Community Plan, General Plan, or Zoning for which an environmental impact report (EIR) has been certified "shall not require additional environmental review, except as might be necessary to examine whether there are project-specific significant effects which are peculiar to the project or its site." A Notice of Exemption was prepared for the Jennings Estates Tentative Subdivision Map No. 5603 and Tentative Parcel Map No. 2024-11. Notice of Exemption No. 2024-76 disclosed that no additional environmental review is required based upon the project being consistent with the development density established by the City's General Plan and based upon no further project-specific effects that are peculiar to the project or the site.

## **RECOMMENDED CONDITIONS**

### **Tentative Parcel Map No. 2024-11**

1. That the tentative parcel map be developed in substantial compliance with the comments and conditions of the Site Plan Review Committee as set forth under Site Plan Review No. 2024-227 and Site Plan Review No. 2024-210 incorporated herein by reference.
2. That Tentative Parcel Map No. 2024-11 be prepared in substantial compliance with Exhibit "B".
3. The fencing on the northern boundary of Parcel 1 of Tentative Parcel Map No. 2024-11 shall transition to a three-foot height within the 15-foot front yard setback area of the lot.
4. That Tentative Parcel Map No. 2024-11 shall be recorded with the Tulare County Recorder prior to the recordation of Jennings Estates Tentative Subdivision Map No 5603.
5. That all other federal, state and city codes, ordinances and laws be met.

### Jennings Estates Tentative Subdivision Map No. 5603

1. That the subdivision map be developed in substantial compliance with the comments and conditions of the Site Plan Review Committee as set forth under Site Plan Review No. 2024-227 and Site Plan Review No. 2024-210 incorporated herein by reference.
2. That the Jennings Estates Tentative Subdivision Map No. 5603 be prepared in substantial compliance with the subdivision map in Exhibit "A".
3. That the Jennings Estates Tentative Subdivision Map No. 5603 shall contain lots averaging 6,358 square feet in size, ranging from 5,000 square feet to 12,035 square feet in size.
4. That setbacks for the Jennings Estates Tentative Subdivision Map No. 5603 shall be as follows:

Minimum Lot Area	Front	Side	Street Side	Rear
5,000 sq. ft.	15-ft. to a habitable space. 22-ft. to garage, except on curvilinear lots 20-ft. to garage.	5-ft.	10-ft.	25-ft. City standard rear yard setbacks are 25 feet with allowance for one-story structure to go to 20-feet subject to open space requirements.

5. That prior to the issuance of any residential building permit on the site, the applicant / developer shall obtain and provide the City with a valid Will Serve Letter from the California Water Service Company.
6. That a Landscape and Lighting District shall be established for the long-term maintenance of local roads, street lighting, sidewalks, outlots, and street trees.
7. That the block walls located within Outlot A of Jennings Estates Tentative Subdivision Map No. 5603 shall transition to three-foot height within the 15-foot front yard setback areas of the adjoining residential lot.
8. That the project be developed in substantial compliance with all improvements depicted and described in Exhibits "A" through "D".
9. That Jennings Estates Tentative Subdivision Map No. 5603 shall be annexed into the Northeast Area Improvement District.
10. That all applicable federal, state, regional, and city policies and ordinances be met.

## APPEAL INFORMATION

According to the City of Visalia Subdivision Ordinance Section 16.28.080, an appeal to the City Council may be submitted within ten days following the date of a decision by the Planning Commission. An appeal with applicable fees shall be in writing and shall be filed with the City Clerk at 220 North Santa Fe St., Visalia, CA. The appeal shall specify errors or abuses of discretion by the Planning Commission, or decisions not supported by the evidence in the record. The appeal form can be found on the City's website [www.visalia.city](http://www.visalia.city) or from the City Clerk.

### Attachments:

- Related Plans and Policies
- Resolution No. 2024-85 – Jennings Estates Tentative Subdivision Map No. 5603
- Resolution No. 2024-86 – Tentative Subdivision Map No. 2024-11
- Exhibit "A" – Jennings Estates Tentative Subdivision Map No. 5603
- Exhibit "B" – Tentative Parcel Map No. 2024-11
- Exhibit "C" – Building Elevations and Floor Plans
- Exhibit "D" – Operational Statement
- Public Comment
- California Water Service – Will Serve Letter
- Notice of Exemption No. 2024-76
- Site Plan Review Item No. 2024-210 and 2024-227
- General Plan Land Use Map
- Zoning Map
- Aerial Map
- Location Map



## RELATED PLANS AND POLICIES

**General Plan and Zoning:** The following General Plan and Zoning Ordinance policies apply to the proposed project:

### **General Plan Land Use Policies:**

- LU-P-19:** Ensure that growth occurs in a compact and concentric fashion by implementing the General Plan's phased growth strategy. The General Plan Land Use Diagram establishes three growth rings to accommodate estimated City population for the years 2020 and 2030. The Urban Development Boundary I (UDB I) shares its boundaries with the 2012 city limits. The Urban Development Boundary II (UDB II) defines the urbanizable area within which a full range of urban services will need to be extended in the first phase of anticipated growth with a target buildout population of 178,000. The Urban Growth Boundary (UGB) defines full buildout of the General Plan with a target buildout population of 210,000. Each growth ring enables the City to expand in all four quadrants, reinforcing a concentric growth pattern.
- LU-P-55:** Update the Zoning Ordinance to reflect the Low Density Residential designation on the Land Use Diagram for development at 2 to 10 dwelling units per gross acre, facilitating new planned neighborhoods and infill development in established areas. This designation is intended to provide for single-family detached housing with densities typical of single-family subdivisions. Duplex units, townhouses, and small-lot detached housing may be incorporated as part of Low Density Residential developments. Development standards will ensure that a desirable single-family neighborhood character is maintained.

### **Visalia Municipal Code**

#### **Chapter 17.12**

#### **R-1 SINGLE-FAMILY RESIDENTIAL ZONE**

##### **17.12.010 Purpose and intent.**

In the R-1 single-family residential zones (R-1-5, R-1-12.5, and R-1-20), the purpose and intent is to provide living area within the city where development is limited to low density concentrations of one-family dwellings where regulations are designed to accomplish the following: to promote and encourage a suitable environment for family life; to provide space for community facilities needed to compliment urban residential areas and for institutions that require a residential environment; to minimize traffic congestion and to avoid an overload of utilities designed to service only low density residential use.

##### **17.12.015 Applicability.**

The requirements in this chapter shall apply to all property within R-1 zone districts.

##### **17.12.020 Permitted uses.**

In the R-1 single-family residential zones, the following uses shall be permitted by right:

- A. One-family dwellings;
- B. Raising of fruit and nut trees, vegetables and horticultural specialties;
- C. Accessory structures located on the same site with a permitted use including private garages and carports, one guest house, storehouses, garden structures, green houses, recreation room and hobby shops;
- D. Swimming pools used solely by persons resident on the site and their guests; provided, that no swimming pool or accessory mechanical equipment shall be located in a required front yard or in a required side yard;
- E. Temporary subdivision sales offices;

- F. Licensed day care for a maximum of fourteen (14) children in addition to the residing family;
- G. Twenty-four (24) hour residential care facilities or foster homes, for a maximum of six individuals in addition to the residing family;
- H. Signs subject to the provisions of Chapter 17.48;
- I. The keeping of household pets, subject to the definition of household pets set forth in Section 17.04.030;
- J. Accessory dwelling units as specified in Sections 17.12.140 through 17.12.200;
- K. Adult day care up to twelve (12) persons in addition to the residing family;
- L. Other uses similar in nature and intensity as determined by the city planner;
- M. Legally existing multiple family units, and expansion or reconstruction as provided in Section 17.12.070.
- N. Transitional or supportive housing for six (6) or fewer resident/clients.
- O. In the R-1-20 zone only, the breeding, hatching, raising and fattening of birds, rabbits, chinchillas, hamsters, other small animals and fowl, on a domestic noncommercial scale, provided that there shall not be less than one thousand (1,000) square feet of site area for each fowl or animal and provided that no structure housing poultry or small animals shall be closer than fifty (50) feet to any property line, closer than twenty-five (25) feet to any dwelling on the site, or closer than fifty (50) feet to any other dwelling;
- P. In the R-1-20 zone only, the raising of livestock, except pigs of any kind, subject to the exception of not more than two cows, two horses, four sheep or four goats for each site, shall be permitted; provided, that there be no limitation on the number of livestock permitted on a site with an area of ten acres or more and provided that no stable be located closer than fifty (50) feet to any dwelling on the site or closer than one hundred (100) feet to any other dwelling;

#### **17.12.030 Accessory uses.**

In the R-1 single-family residential zone, the following accessory uses shall be permitted, subject to specified provisions:

- A. Home occupations subject to the provisions of Section 17.32.030;
- B. Accessory buildings subject to the provisions of Section 17.12.100(B).
- C. Cottage Food Operations subject to the provisions of Health and Safety Code 113758 and Section 17.32.035.

#### **17.12.040 Conditional uses.**

In the R-1 single-family residential zone, the following conditional uses may be permitted in accordance with the provisions of Chapter 17.38:

- A. Planned development subject to the provisions of Chapter 17.26;
- B. Public and quasi-public uses of an educational or religious type including public and parochial elementary schools, junior high schools, high schools and colleges; nursery schools, licensed day care facilities for more than fourteen (14) children; churches, parsonages and other religious institutions;
- C. Public and private charitable institutions, general hospitals, sanitariums, nursing and convalescent homes; not including specialized hospitals, sanitariums, or nursing, rest and convalescent homes including care for acute psychiatric, drug addiction or alcoholism cases;
- D. Public uses of an administrative, recreational, public service or cultural type including city, county, state or federal administrative centers and courts, libraries, museums, art galleries, police and fire stations, ambulance service and other public building, structures and facilities; public playgrounds, parks and community centers;
- E. Electric distribution substations;



- F. Gas regulator stations;
- G. Public service pumping stations, i.e., community water service wells;
- H. Communications equipment buildings;
- I. Planned neighborhood commercial center subject to the provisions of Chapter 17.26;
- J. Residential development specifically designed for senior housing;
- K. Mobile home parks in conformance with Section 17.32.040;
- L. [Reserved.] M. Residential developments utilizing private streets in which the net lot area (lot area not including street area) meets or exceeds the site area prescribed by this article and in which the private streets are designed and constructed to meet or exceed public street standards;
- N. Adult day care in excess of twelve (12) persons;
- O. Duplexes on corner lots;
- P. Twenty-four (24) hour residential care facilities or foster homes for more than six individuals in addition to the residing family;
- Q. Residential structures and accessory buildings totaling more than ten thousand (10,000) square feet;
- R. Other uses similar in nature and intensity as determined by the city planner.
- S. Transitional or supportive housing for seven (7) or more resident/clients.

**17.12.050 Site area.**

The minimum site area shall be as follows:

<b>Zone</b>	<b>Minimum Site Area</b>
R-1-5	5,000 square feet
R-1-12.5	12,500 square feet
R-1-20	20,000 square feet

A. Each site shall have not less than forty (40) feet of frontage on the public street. The minimum width shall be as follows:

<b>Zone</b>	<b>Interior Lot</b>	<b>Corner Lot</b>
R-1-5	50 feet	60 feet
R-1-12.5	90 feet	100 feet
R-1-20	100 feet	110 feet

B. Minimum width for corner lot on a side on cul-de-sac shall be eighty (80) feet, when there is no landscape lot between the corner lot and the right of way.

**17.12.060 One dwelling unit per site.**

In the R-1 single-family residential zone, not more than one dwelling unit shall be located on each site, with the exception to Section 17.12.020(J).

**17.12.070 Replacement and expansion of legally existing multiple family units.**

In accordance with Sections 17.12.020 legally existing multiple family units may be expanded or replaced if destroyed by fire or other disaster subject to the following criteria:

- A. A site plan review permit as provided in Chapter 17.28 is required for all expansions or replacements.
- B. Replacement/expansion of unit(s) shall be designed and constructed in an architectural style compatible with the existing single-family units in the neighborhood. Review of elevations for replacement/expansion shall occur through the site plan review process. Appeals to architectural

requirements of the site plan review committee shall be subject to the appeals process set forth in Chapter 17.28.050.

C. Setbacks and related development standards shall be consistent with existing single-family units in the neighborhood.

D. Parking requirements set forth in Section 17.34.020 and landscaping requirements shall meet current city standards and shall apply to the entire site(s), not just the replacement unit(s) or expanded area, which may result in the reduction of the number of units on the site.

E. The number of multiple family units on the site shall not be increased.

F. All rights established under Sections 17.12.020 and 17.12.070 shall be null and void one hundred eighty (180) days after the date that the unit(s) are destroyed (or rendered uninhabitable) unless a building permit has been obtained and diligent pursuit of construction has commenced. The approval of a site plan review permit does not constitute compliance with this requirement.

#### **17.12.080 Front yard.**

A. The minimum front yard shall be as follows:

<b>Zone</b>	<b>Minimum Front Yard</b>
-------------	---------------------------

R-1-5	Fifteen (15) feet for living space and side-loading garages and twenty-two (22) feet for front-loading garages or other parking facilities, such as, but not limited to, carports, shade canopies, or porte cochere. A Porte Cochere with less than twenty-two (22) feet of setback from property line shall not be counted as covered parking, and garages on such sites shall not be the subject of a garage conversion.
-------	--

R-1-12.5	Thirty (30) feet
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R-1-20	Thirty-five (35) feet
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B. On a site situated between sites improved with buildings, the minimum front yard may be the average depth of the front yards on the improved site adjoining the side lines of the site but need not exceed the minimum front yard specified above.

C. On cul-de-sac and knuckle lots with a front lot line of which all or a portion is curvilinear, the front yard setback shall be no less than fifteen (15) feet for living space and side-loading garages and twenty (20) feet for front-loading garages.

#### **17.12.090 Side yards.**

A. The minimum side yard shall be five feet in the R-1-5 and R-1-12.5 zone subject to the exception that on the street side of a corner lot the side yard shall be not less than ten feet and twenty-two (22) feet for front loading garages or other parking facilities, such as, but not limited to, carports, shade canopies, or porte cocheres.

B. The minimum side yard shall be ten feet in the R-1-20 zone subject to the exception that on the street side of a corner lot the side yard shall be not less than twenty (20) feet.

C. On a reversed corner lot the side yard adjoining the street shall be not less than ten feet.

D. On corner lots, all front-loading garage doors shall be a minimum of twenty-two (22) feet from the nearest public improvement or sidewalk.

E. Side yard requirements may be zero feet on one side of a lot if two or more consecutive lots are approved for a zero lot line development by the site plan review committee.

F. The placement of any mechanical equipment, including but not limited to, pool/spa equipment and evaporative coolers shall not be permitted in the five-foot side yard within the buildable area of the lot, or within five feet of rear/side property lines that are adjacent to the required side yard on adjoining lots. This provision shall not apply to street side yards on corner lots, nor shall it prohibit the surface mounting of utility meters and/or the placement of fixtures and utility lines as approved by the building and planning divisions.



#### **17.12.100 Rear yard.**

In the R-1 single-family residential zones, the minimum yard shall be twenty-five (25) feet, subject to the following exceptions:

A. On a corner or reverse corner lot the rear yard shall be twenty-five (25) feet on the narrow side or twenty (20) feet on the long side of the lot. The decision as to whether the short side or long side is used as the rear yard area shall be left to the applicant's discretion as long as a minimum area of one thousand five hundred (1,500) square feet of usable rear yard area is maintained. The remaining side yard to be a minimum of five feet.

B. Accessory structures not exceeding twelve (12) feet may be located in the required rear yard but not closer than three feet to any lot line provided that not more than twenty (20) percent of the area of the required rear yard shall be covered by structures enclosed on more than one side and not more than forty (40) percent may be covered by structures enclosed on only one side. On a reverse corner lot an accessory structure shall not be located closer to the rear property line than the required side yard on the adjoining key lot. An accessory structure shall not be closer to a side property line adjoining key lot and not closer to a side property line adjoining the street than the required front yard on the adjoining key lot.

C. Main structures may encroach up to five feet into a required rear yard area provided that such encroachment does not exceed one story and that a usable, open, rear yard area of at least one thousand five hundred (1,500) square feet shall be maintained. Such encroachment and rear yard area shall be approved by the city planner prior to issuing building permits.

#### **17.12.110 Height of structures.**

In the R-1 single-family residential zone, the maximum height of a permitted use shall be thirty-five (35) feet, with the exception of structures specified in Section 17.12.100(B).

#### **17.12.120 Off-street parking.**

In the R-1 single-family residential zone, subject to the provisions of Chapter 17.34.

#### **17.12.130 Fences, walls and hedges.**

In the R-1 single-family residential zone, fences, walls and hedges are subject to the provisions of Section 17.36.030.

#### **17.12.135 Lot area less than 5,000 square feet.**

A. Notwithstanding Section 17.12.050, lots in the R-1-5 zone may have a lot area of between 3,600 and 4,999 square feet if all of the following standards are met:

1. The Planning Commission finds that the development's overall density is consistent with the General Plan.
2. The maximum number of lots less than 5,000 square feet that may be approved by a tentative subdivision map shall be fifty (50) percent or less of the total lots.
3. Streets shall be constructed to public street standards.
4. Each subdivision with at least 15 lots that are less than 5,000 square feet in size shall make available to buyers at least three (3) different small lot floor plans with at least four (4) available elevation designs for each floor plan to construct on those lots.
5. The primary frontage of the dwelling unit shall face a public street, primary entryway, circulation walkway, or open space with sidewalks that provide delineated paths of travel.
6. The primary frontage of the dwelling unit shall include the primary entrance and at least one window.
7. Required covered parking spaces shall be in garages. Carports are prohibited.
8. The width of the garage shall not be greater than fifty (50) percent of the width of the dwelling unit.
9. The garage shall not extend beyond the front building facade (living area.)

10. All dwelling units shall include a covered front porch at least four (4) feet deep and six (6) feet wide or an uncovered front courtyard at least five (5) feet wide and five (5) feet deep that is surrounded on four sides by the dwelling unit or a wall or fence between three (3) and four (4) feet high with a pedestrian gate or entryway.

11. The building official shall not approve a building permit for a new dwelling unit on a lot with a lot area less than 5,000 square feet until the city planner, or designee, has determined that the standards identified in this section are met.

12. The subdivision shall provide a common, usable open space area of a minimum 3,000 square feet or two hundred fifty (250) square feet per lot under 5,000 square feet, whichever is greater. The area shall be landscaped and maintained with funding from either a homeowner's association or a landscape and lighting act district.

B. Notwithstanding this Chapter, lots with less than five thousand (5,000) square feet shall have the following minimum dimensions and building setback areas, unless they were approved with a planned development permit:

1. The minimum lot depth shall be seventy (70) feet.
2. The minimum lot width shall be forty-six (46) feet for interior lots and fifty-one (51) feet for corner lots.
3. The minimum front building setback area shall be twelve (12) feet for livable space and twenty (20) feet for garages.
4. The minimum rear yard building setback area shall be fifteen (15) feet.
5. The minimum interior side yard building setback area shall be five (5) feet.
6. The minimum corner side yard building setback area shall be ten (10) feet.
7. The maximum building height shall be thirty-five (35) feet.
8. Lots shall provide for a usable open space area of a minimum three hundred (300) square feet. The open space shall be a minimum fifteen (15) feet wide.

C. Lots less having a lot area of 3,600 square feet, or lots that do not meet the standards in this section may be approved through the planned development permit process per Chapter 17.26. (Ord. 2017-01 (part), 2017)



RESOLUTION NO 2024-85

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF VISALIA APPROVING JENNINGS ESTATES TENTATIVE SUBDIVISION MAP NO. 5603: A REQUEST BY ALLEN WILLIAMS TO SUBDIVIDE A 4.36-ACRE PARCEL INTO A 22-LOT SINGLE-FAMILY RESIDENTIAL SUBDIVISION WITH ONE OUTLOT FOR LANDSCAPING PURPOSES, IN THE R-1-5 (SINGLE-FAMILY RESIDENTIAL, 5,000 SQUARE FOOT MINIMUM SITE AREA) ZONE. THE PROJECT SITE IS LOCATED AT 1716 NORTH CAIN STREET, EAST OF THE INTERSECTION OF NORTH CAIN STREET AND EAST PROSPECT AVENUE (APN: 098-470-001)

**WHEREAS**, Jennings Estates Tentative Subdivision Map No. 5603 is a request by Allen Williams to subdivide a 4.36-acre parcel into a 22-lot single-family residential subdivision with one outlot for landscaping purposes, in the R-1-5 (Single-Family Residential, 5,000 square foot minimum site area) zone. The project site is located at 1716 North Cain Street, east of the intersection of North Cain Street and East Prospect Avenue (APN: 098-470-001); and

**WHEREAS**, the Planning Commission of the City of Visalia, after duly published notice held a public hearing before said Commission on February 24, 2025; and

**WHEREAS**, the Planning Commission of the City of Visalia finds the tentative subdivision map in accordance with Chapter 16.16 of the Subdivision Ordinance of the City of Visalia, based on the evidence contained in the staff report and testimony presented at the public hearing; and

**WHEREAS**, a Notice of Exemption was prepared for the tentative subdivision map. Notice of Exemption No. 2024-76 disclosed that no additional environmental review is required, and that the Environmental Impact Report prepared for the City of Visalia General Plan, certified by Resolution No. 2014-37, adopted on October 14, 2014, was used for the adoption of the General Plan Land Use Designation of the subject site; and

**NOW, THEREFORE, BE IT RESOLVED** that Notice of Exemption No. 2024-76 was prepared consistent with the California Environmental Quality Act and City of Visalia Environmental Guidelines.

**NOW, THEREFORE, BE IT FURTHER RESOLVED**, that the Planning Commission of the City of Visalia approves the proposed tentative subdivision map based on the following specific findings and based on the evidence presented:

1. That the proposed location and layout of the Jennings Estates Tentative Subdivision Map No. 5603 and Tentative Parcel Map No. 2024-11, its improvements and design, and the conditions under which it will be maintained are consistent with the policies

and intent of the General Plan, Zoning Ordinance, and Subdivision Ordinance. The 4.89-acre project site, which is the site of the proposed 22-lot single-family residential subdivision, is consistent with Land Use Policy LU-P-19 of the General Plan. Policy LU-P-19 states *“ensure that growth occurs in a compact and concentric fashion by implementing the General Plan’s phased growth strategy.”*

2. That the proposed Jennings Estates Tentative Subdivision Map No. 5603 and Tentative Parcel Map No. 2024-11, its improvements and design, and the conditions under which it will be maintained will not be detrimental to the public health, safety, or welfare, nor materially injurious to properties or improvements in the vicinity, nor is it likely to cause serious public health problems. The proposed tentative subdivision map will be compatible with adjacent land uses. The project site is bordered by existing residential development and a collector street.
3. That the site is physically suitable for the proposed tentative subdivision map. The Jennings Estates Tentative Subdivision Map No. 5603 and Tentative Parcel Map No. 2024-11 is consistent with the intent of the General Plan, Zoning Ordinance, and Subdivision Ordinance, and is not detrimental to the public health, safety, or welfare or materially injurious to properties or improvements in the vicinity. The project site is adjacent to land zoned for residential development, and the subdivision establishes a collector and local street pattern that will serve the subject site and surrounding areas.
4. That the site is physically suitable for the proposed tentative subdivision map and the project’s density, which is consistent with the underlying Low Density Residential General Plan Land Use Designation. The proposed location and layout of the Jennings Estates Tentative Subdivision Map No. 5603 and Tentative Parcel Map No. 2024-11, its improvement and design, and the conditions under which it will be maintained is consistent with the policies and intent of the General Plan, Zoning Ordinance, and Subdivision Ordinance. The 4.89-acre project site, which is the site of the proposed 22-lot single-family residential subdivision, is consistent with Land Use Policy LU-P-19 of the General Plan. Policy LU-P-19 states *“ensure that growth occurs in a compact and concentric fashion by implementing the General Plan’s phased growth strategy.”*
5. That the proposed Jennings Estates Tentative Subdivision Map No. 5603 and Tentative Parcel Map No. 2024-11, the design of the subdivision or the type of improvements will not conflict with easements, acquired by the public at large, for access through or use of, property within the proposed subdivision. The 22-lot subdivision is designed to comply with the City’s Engineering Improvement Standards for major streets. The development of the site with a 22-lot single-family residential subdivision will improve collector streets (North Cain Street), and extend local streets, infrastructure improvements, utilities, right-of-way improvements and a residential lot pattern consistent with existing residential development found in the area.



6. The proposed location of the tentative subdivision map is in accordance with the Visalia General Plan and the objectives of the Zoning and Subdivision Ordinances. The proposed location of the subdivision is in accordance with the objectives of the Zoning Ordinance and the purposes of the zone in which the site is located. Multiple General Plan policies identify the implementation of development standards to ensure that new single-family residential development will contribute to positive land use compatibility. The size of the property combined with the number of residential lots proposed is consistent and compatible with existing surrounding residential development.

The proposed project will result in the creation of a new single-family residential development at a density of 5.05 units per acre, which is consistent with General Plan land use designation of Low Density Residential and the R-1-5 zoning designation that will be applied to the site when annexed into the city limits.

7. The Housing Accountability Act (GC section 66589.5) requires local agencies to approve housing developments that are consistent with applicable, objective general plan, zoning, and subdivision standards in effect at the time that the housing development project's application is determined to be complete. A local agency cannot disapprove a project or lower its density unless it finds by a preponderance of the evidence that the project would have a specific, adverse impact on public health or safety, and there is no feasible way to mitigate or avoid the impact. There is no evidence that the project would cause quantifiable significant unavoidable impacts on public health and safety. The project is consistent, compliant, and in conformity with the General Plan, Zoning Ordinance, and development standards.
8. State CEQA Guidelines Section 15183 (Public Resources Code §21083.3), provides that projects which are consistent with the development density established by a Community Plan, General Plan, or Zoning for which an environmental impact report (EIR) has been certified "shall not require additional environmental review, except as might be necessary to examine whether there are project-specific significant effects which are peculiar to the project or its site." A Notice of Exemption was prepared for the Jennings Estates Tentative Subdivision Map No. 5603 and Tentative Parcel Map No. 2024-11. Notice of Exemption No. 2024-76 disclosed that no additional environmental review is required based upon the project being consistent with the development density established by the City's General Plan and based upon no further project-specific effects that are peculiar to the project or the site.

**BE IT FURTHER RESOLVED** that the Planning Commission hereby approves Jennings Estates Tentative Subdivision Map No. 5603 on the real property hereinabove described in accordance with the terms of this resolution under the provisions of Section 16.16.110 of the Ordinance Code of the City of Visalia, subject to the following conditions:

1. That the subdivision map be developed in substantial compliance with the comments and conditions of the Site Plan Review Committee as set forth under Site Plan

Review No. 2024-227 and Site Plan Review No. 2024-210 incorporated herein by reference.

2. That the Jennings Estates Tentative Subdivision Map No. 5603 be prepared in substantial compliance with the subdivision map in Exhibit "A".
3. That the Jennings Estates Tentative Subdivision Map No. 5603 shall contain lots averaging 6,358 square feet in size, ranging from 5,000 square feet to 12,035 square feet in size.
4. That setbacks for the Jennings Estates Tentative Subdivision Map No. 5603 shall be as follows:

Minimum Lot Area	Front	Side	Street Side	Rear
5,000 sq. ft.	15-ft. to a habitable space. 22-ft. to garage, except on curvilinear lots 20-ft. to garage.	5-ft.	10-ft.	25-ft. City standard rear yard setbacks are 25 feet with allowance for one-story structure to go to 20-feet subject to open space requirements.

5. That prior to the issuance of any residential building permit on the site, the applicant / developer shall obtain and provide the City with a valid Will Serve Letter from the California Water Service Company.
6. That a Landscape and Lighting District shall be established for the long-term maintenance of local roads, street lighting, sidewalks, outlots, and street trees.
7. That the block walls located within Outlot A of Jennings Estates Tentative Subdivision Map No. 5603 shall transition to three-foot height within the 15-foot front yard setback areas of the adjoining residential lot.
8. That the project be developed in substantial compliance with all improvements depicted and described in Exhibits "A" through "D".
9. That Jennings Estates Tentative Subdivision Map No. 5603 shall be annexed into the Northeast Area Improvement District.
10. That all applicable federal, state, regional, and city policies and ordinances be met.



## RESOLUTION NO 2024-86

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF VISALIA APPROVING TENTATIVE PARCEL MAP NO. 2024-11: A REQUEST BY ALLEN WILLIAMS TO SUBDIVIDE A 4.89-ACRE PARCEL INTO THREE PARCELS, TO SEPARATE EXISTING DEVELOPMENT FROM A VACANT PARCEL PLANNED FOR A SUBDIVISION, IN THE R-1-5 (SINGLE-FAMILY RESIDENTIAL, 5,000 SQUARE FOOT MINIMUM SITE AREA) ZONE. THE PROJECT SITE IS LOCATED AT 1716 NORTH CAIN STREET, EAST OF THE INTERSECTION OF NORTH CAIN STREET AND EAST PROSPECT AVENUE (APN: 098-470-001)

**WHEREAS**, Tentative Parcel Map No. 2024-11 is a request by Allen Williams to subdivide a 4.89-acre parcel into three parcels, to separate existing development from a vacant parcel planned for a subdivision, in the R-1-5 (Single-Family Residential, 5,000 square foot minimum site area) Zone. The project site is located at 1716 North Cain Street, east of the intersection of North Cain Street and East Prospect Avenue (APN: 098-470-001); and

**WHEREAS**, the Planning Commission of the City of Visalia, after duly published notice scheduled a public hearing before said commission on February 24, 2025; and

**WHEREAS**, the Planning Commission of the City of Visalia finds Tentative Parcel Map No. 2024-11, as conditioned, in accordance with Section 16.28.070 of the Ordinance Code of the City of Visalia based on the evidence contained in the staff report and testimony presented at the public hearing; and,

**WHEREAS**, a Notice of Exemption was prepared for the tentative subdivision map. Notice of Exemption No. 2024-76 disclosed that no additional environmental review is required, and that the Environmental Impact Report prepared for the City of Visalia General Plan, certified by Resolution No. 2014-37, adopted on October 14, 2014, was used for the adoption of the General Plan Land Use Designation of the subject site; and

**NOW, THEREFORE, BE IT RESOLVED** that Notice of Exemption No. 2024-76 was prepared consistent with the California Environmental Quality Act and City of Visalia Environmental Guidelines.

**NOW, THEREFORE, BE IT FURTHER RESOLVED** that the Planning Commission of the City of Visalia makes the following specific finding based on the evidence presented:

1. That the proposed location and layout of the Jennings Estates Tentative Subdivision Map No. 5603 and Tentative Parcel Map No. 2024-11, its improvements and design, and the conditions under which it will be maintained are consistent with the policies and intent of the General Plan, Zoning Ordinance, and Subdivision Ordinance. The 4.89-acre project site, which is the site of the proposed 22-lot single-family residential subdivision, is consistent with Land Use Policy LU-P-19 of the General Plan. Policy LU-P-19 states *“ensure that growth occurs in a compact and concentric fashion by implementing the General Plan’s phased growth strategy.”*

2. That the proposed Jennings Estates Tentative Subdivision Map No. 5603 and Tentative Parcel Map No. 2024-11, its improvements and design, and the conditions under which it will be maintained will not be detrimental to the public health, safety, or welfare, nor materially injurious to properties or improvements in the vicinity, nor is it likely to cause serious public health problems. The proposed tentative subdivision map will be compatible with adjacent land uses. The project site is bordered by existing residential development and a collector street.
3. That the site is physically suitable for the proposed tentative subdivision map. The Jennings Estates Tentative Subdivision Map No. 5603 and Tentative Parcel Map No. 2024-11 is consistent with the intent of the General Plan, Zoning Ordinance, and Subdivision Ordinance, and is not detrimental to the public health, safety, or welfare or materially injurious to properties or improvements in the vicinity. The project site is adjacent to land zoned for residential development, and the subdivision establishes a collector and local street pattern that will serve the subject site and surrounding areas.
4. That the site is physically suitable for the proposed tentative subdivision map and the project's density, which is consistent with the underlying Low Density Residential General Plan Land Use Designation. The proposed location and layout of the Jennings Estates Tentative Subdivision Map No. 5603 and Tentative Parcel Map No. 2024-11, its improvement and design, and the conditions under which it will be maintained is consistent with the policies and intent of the General Plan, Zoning Ordinance, and Subdivision Ordinance. The 4.89-acre project site, which is the site of the proposed 22-lot single-family residential subdivision, is consistent with Land Use Policy LU-P-19 of the General Plan. Policy LU-P-19 states *"ensure that growth occurs in a compact and concentric fashion by implementing the General Plan's phased growth strategy."*
5. That the proposed Jennings Estates Tentative Subdivision Map No. 5603 and Tentative Parcel Map No. 2024-11, the design of the subdivision or the type of improvements will not conflict with easements, acquired by the public at large, for access through or use of, property within the proposed subdivision. The 22-lot subdivision is designed to comply with the City's Engineering Improvement Standards for major streets. The development of the site with a 22-lot single-family residential subdivision will improve collector streets (North Cain Street), and extend local streets, infrastructure improvements, utilities, right-of-way improvements and a residential lot pattern consistent with existing residential development found in the area.
6. The proposed location of the tentative subdivision map is in accordance with the Visalia General Plan and the objectives of the Zoning and Subdivision Ordinances. The proposed location of the subdivision is in accordance with the objectives of the Zoning Ordinance and the purposes of the zone in which the site is located. Multiple General Plan policies identify the implementation of development standards to ensure that new single-family residential development will contribute to positive land use compatibility. The size of the property combined with the number of residential lots proposed is consistent and compatible with existing surrounding residential development.

The proposed project will result in the creation of a new single-family residential development at a density of 5.05 units per acre, which is consistent with General Plan land use designation of Low Density Residential and the R-1-5 zoning designation that will be applied to the site when annexed into the city limits.

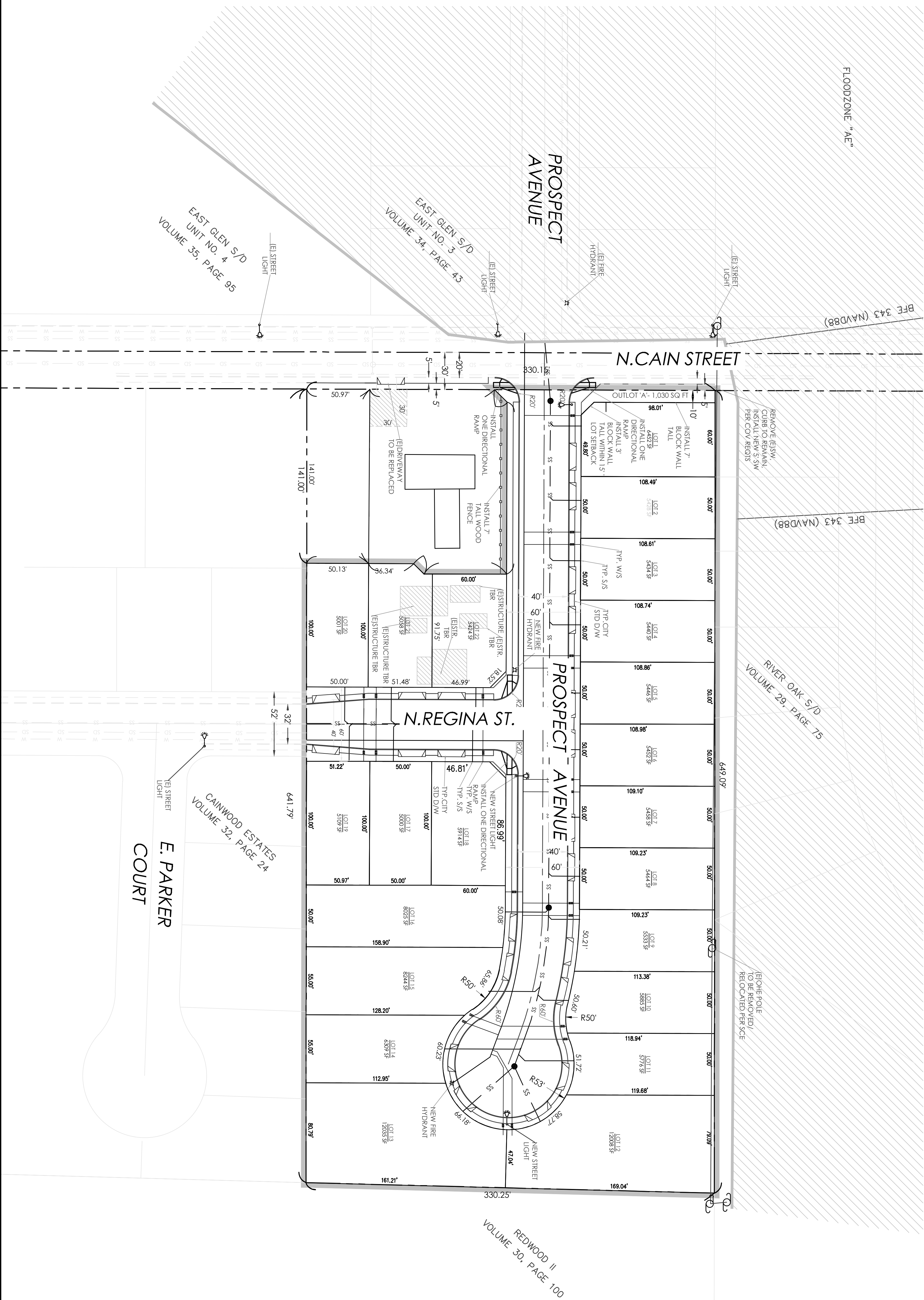
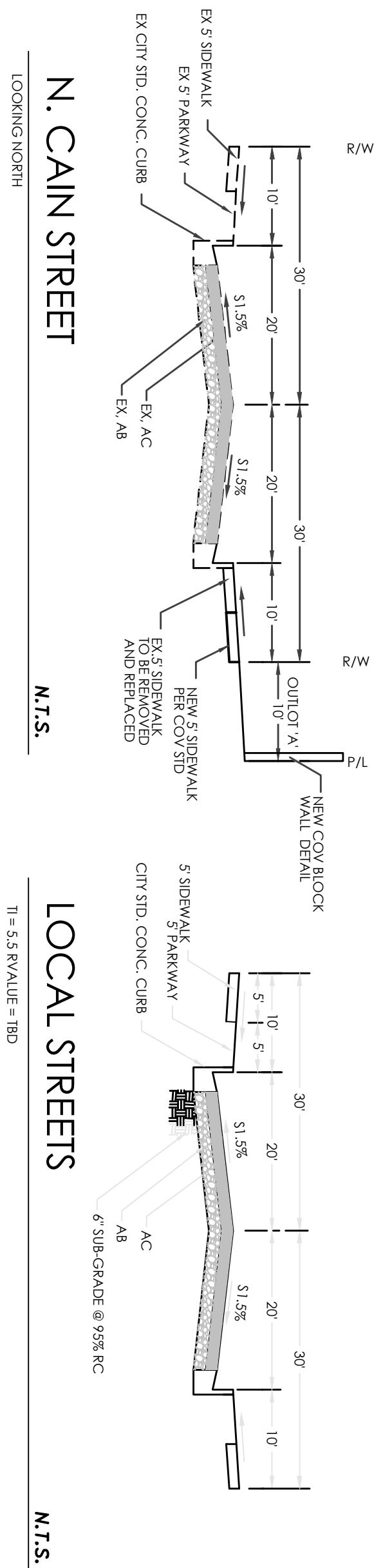
7. The Housing Accountability Act (GC section 66589.5) requires local agencies to approve housing developments that are consistent with applicable, objective general plan, zoning, and subdivision standards in effect at the time that the housing development project's application is determined to be complete. A local agency cannot disapprove a project or lower its density unless it finds by a preponderance of the evidence that the project would have a specific, adverse impact on public health or safety, and there is no feasible way to mitigate or avoid the impact. There is no evidence that the project would cause quantifiable significant unavoidable impacts on public health and safety. The project is consistent, compliant, and in conformity with the General Plan, Zoning Ordinance, and development standards.

State CEQA Guidelines Section 15183 (Public Resources Code §21083.3), provides that projects which are consistent with the development density established by a Community Plan, General Plan, or Zoning for which an environmental impact report (EIR) has been certified "shall not require additional environmental review, except as might be necessary to examine whether there are project-specific significant effects which are peculiar to the project or its site." A Notice of Exemption was prepared for the Jennings Estates Tentative Subdivision Map No. 5603 and Tentative Parcel Map No. 2024-11. Notice of Exemption No. 2024-76 disclosed that no additional environmental review is required based upon the project being consistent with the development density established by the City's General Plan and based upon no further project-specific effects that are peculiar to the project or the site.

**BE IT FURTHER RESOLVED** that the Planning Commission hereby approved the parcel map on the real property herein above described in accordance with the terms of this resolution under the provision of Section 17.12.010 of the Ordinance Code of the City of Visalia, subject to the following conditions:

1. That the tentative parcel map be developed in substantial compliance with the comments and conditions of the Site Plan Review Committee as set forth under Site Plan Review No. 2024-227 and Site Plan Review No. 2024-210 incorporated herein by reference.
2. That Tentative Parcel Map No. 2024-11 be prepared in substantial compliance with Exhibit "B".
3. The fencing on the northern boundary of Parcel 1 of Tentative Parcel Map No. 2024-11 shall transition to a three-foot height within the 15-foot front yard setback area of the lot.
4. That Tentative Parcel Map No. 2024-11 shall be recorded with the Tulare County Recorder prior to the recordation of Jennings Estates Tentative Subdivision Map No 5603.
5. That all other federal, state and city codes, ordinances and laws be met.

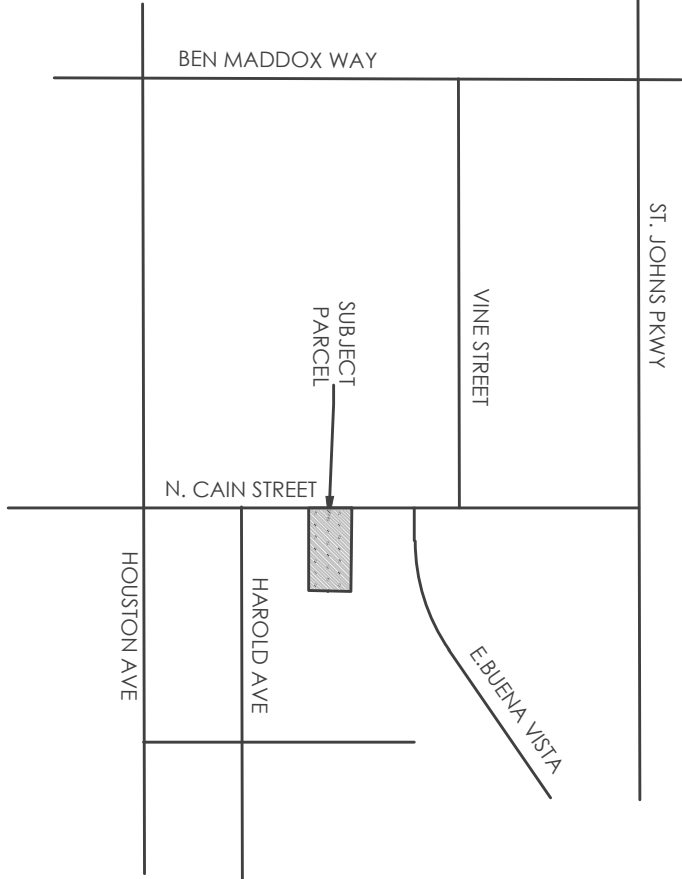




JENNINGS ESTATE  
TENTATIVE SUBDIVISION MAP  
NOVEMBER 2004

NOVEMBER, 2024

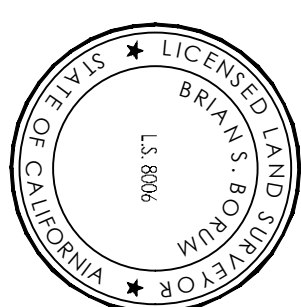
BEING A PORTION OF SECTION 14, TOWNSHIP 18 SOUTH, RANGE 24 EAST, MOUNT  
DIABLO MERIDIAN IN THE CITY OF VISALIA, COUNTY OF TULARE, STATE OF CALIFORNIA



AUTHORIZED AGENT LAND SURVEYOR

AW ENGINEERING  
810 W. ACEQUIA AVE  
VISALIA, CA 93291  
(559) 713-6139

BRIAN S. BORUM LS  
1445 W. GRAND AVE STE C  
GROVER BEACH, CA 9343  
(805) 270-4154



OWNER:

ALLEN WILLIAMS  
2042 NORTH QUINCY ST  
VISALIA, CA 93291

## BENCHMARK

PK NAIL IN TOP OF CURB EAST RADIUS POINT  
SOUTHEAST CORNER OF THE INTERSECTION  
ELEV=338.394'

## BASIS OF BEARINGS

THE SOUTH LINE OF THE SW 1/4 OF SECTION 21  
TOWNSHIP 18 SOUTH, RANGE 25 EAST WHICH BEARS N89°53'40"W  
PER PARCEL MAP 2380, REC. IN BK 24 OF PARCEL  
MAPS, PAGE 81, T.C.R.

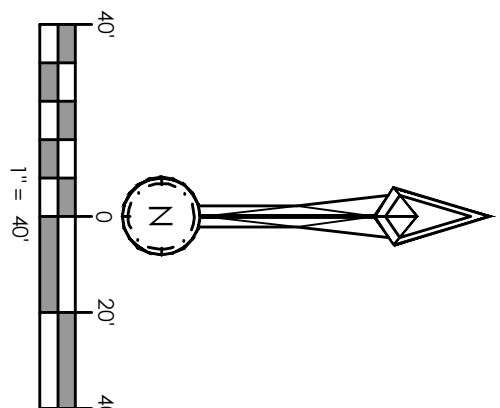
## FLOODNOTE

AS DELINEATED ON THE FEDERAL INSURANCE  
ADMINISTRATIONS FLOOD INSURANCE RATE MAPS,  
EFFECTIVE DATE JUNE 16, 2009 FOR TULARE COUNTY,  
CALIFORNIA (COMMUNITY NO. 065066), PANEL NO.  
06107C0933E. THE PROPERTY SHOWN ON THIS MAP  
LIES WITHIN FLOOD HAZARD AREAS DESIGNATED AS  
ZONE X.

## SITE INFO

EXISTING ZONE: 09-00-001  
 PLANNING DESIGNATION: SINGLE FAMILY RESIDENTIAL  
 EXISTING USE: SINGLE FAMILY RESIDENTIAL  
 PROPOSED USE: SINGLE FAMILY RESIDENTIAL  
 NEIGHBORHOOD: SOUTHERN CALIFORNIA  
 ELECTRICAL: 4.26 ACRES ±  
 WATER: 1.00 ACRES ±  
 SEWER: CITY OF VISALIA  
 RETIRE: CITY OF VISALIA  
 TELEPHONE: AIRTEL  
 GAS: 50 CAL GAS  
 CANTY: SPECTRUM  
 STORM WATER: CITY OF VISALIA  
 TOTAL LOTS: 22 LOTS  
 RESIDENTIAL DENSITY: 5.05 UNITS/ACRE  
 FLOOD ZONE: X

SETBACKS:  
 10' STREET SIDE YARD, OTHERWISE 5' SIDE YARD  
 25' REAR YARD  
 15' FRONT LIVING, 22' FRONT GARAGE

NEW TREE LOCATION,  
FINAL TREE TYPE TO BE  
DETERMINED







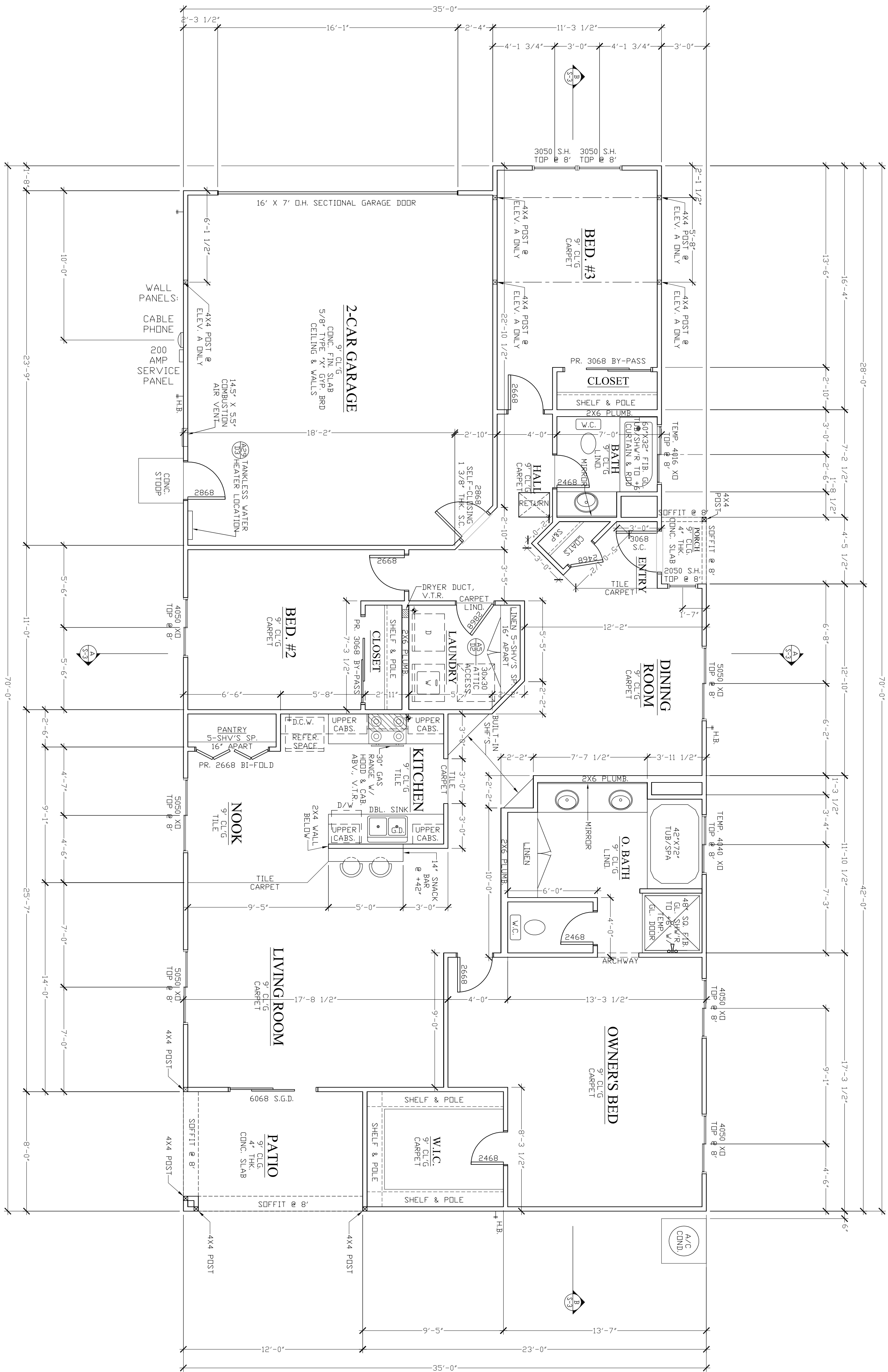
# RIDGEVIEW ESTATES PLAN-1747/RIGHT

## ABBREVIATIONS

AS	ANYHOW BOLT	FR.	FRENCH (DOORS)	REF.	REFERENCE
ADJ.	ADJUSTABLE	G.A.	GAUGE	REF.	REFERENCE
AGGR.	AGGREGATE	G.B.	GALVANIZED	REIN.	REINFORCED
AL.	ALUMINUM	G.B.	GALVANIZED	REIN.	REINFORCED
APPROX.	APPROXIMATE	G.B.	GALVANIZED	REIN.	REINFORCED
ARCH.	ARCHITECTURAL	G.B.	GALVANIZED	REIN.	REINFORCED
ASB.	ASBESTOS	G.B.	GALVANIZED	REIN.	REINFORCED
ASPH.	ASPHALT	G.B.	GALVANIZED	REIN.	REINFORCED
BD.	BOARD	G.B.	GALVANIZED	REIN.	REINFORCED
BLDG.	BUILDING	G.B.	GALVANIZED	REIN.	REINFORCED
BLK.	BLOCK	G.B.	GALVANIZED	REIN.	REINFORCED
BLKNG.	BLOCKING	G.B.	GALVANIZED	REIN.	REINFORCED
BM.	BEAM	G.B.	GALVANIZED	REIN.	REINFORCED
BTM.	BOTTOM	G.B.	GALVANIZED	REIN.	REINFORCED
CAB.	CABINET	G.B.	GALVANIZED	REIN.	REINFORCED
CEM.	CEMENT	G.B.	GALVANIZED	REIN.	REINFORCED
CEM.	CEMENT	G.B.	GALVANIZED	REIN.	REINFORCED
CEM.	CEMENT	G.B.	GALVANIZED	REIN.	REINFORCED
CEM.	CEMENT	G.B.	GALVANIZED	REIN.	REINFORCED
CEM.	CEMENT	G.B.	GALVANIZED	REIN.	REINFORCED
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CEM.	CEMENT	G.B.	GALVANIZED	REIN.	REINFORCED
CEM.	CEMENT	G.B.	GALVANIZED	REIN.	



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**FLOOR PLAN ~ ELEV. A**

SCALE: 1/8" = 1'-0" FOR 11x17 PLOTS

SCALE: 1/4" = 1'-0" FOR 24X36 PLOTS

## WOOD FRAMING NOTES:

1. FOUNDATION PLATES OR SILLS AND SLEEPERS PLACED AGAINST CONCRETE IE, WHICH IS IN DIRECT CONTACT WITH EARTH, SHALL BE PRESERVATIVE TREATED DF #2.
2. ALL EX FRAMING MEMBERS SHALL BE DF #1 OR BETTER, UNLESS NOTED OTHERWISE.
3. ALL 2X AND 4X FRAMING MEMBERS SHALL BE DF #2 OR BETTER, UNLESS NOTED OTHERWISE.
4. ALL 2X WALL STUDS SHALL BE DF #2 OR BETTER, UNLESS NOTED OTHERWISE.
5. ALL SHEATHING SHALL BE GRADE C-D, MINIMUM FABRICATED IN CONFORMANCE WITH CBOB REPORT NO. NER-108, AND IDENTIFIED WITH THE GRADE TAG/DEMARK EXPOSURE. MINIMUM FLOOR SHEATHING WHERE REQUIRED SHALL HAVE A MINIMUM PANEL INDEX OF 40/20. WALL SHEATHING (WHERE REQUIRED) SHALL HAVE A MINIMUM PANEL INDEX OF 24/0. SHEATHING EXPOSED AT OVERHANGS OR OTHERWISE PERMANENTLY EXPOSED TO WEATHER SHALL BE GRADE C-C EXTERIOR WITH A PANEL INDEX AS PREVIOUSLY NOTED.
6. ALL GLUE LAMINATED BEAMS SHALL BE COMBINATION 24F-14 OR 24F-15 PER NDS TABLE 5.5, UNLESS NOTED OTHERWISE. GLUE-LAM BEAMS SHALL BE FABRICATED IN CONFORMANCE WITH STANDARD SPECIFICATIONS FOR STRUCTURAL GLUE-LAM MEMBERS OF THE NITC WITH ALL LAMINATIONS 1-1/2" THICK. ALL GLUE LAM BEAMS SHALL BE NOTED OTHERWISE. SHIRT GLUE LAM CERTIFICATES TO BUILDING OFFICIALS PRIOR TO ERECTION AS REQUIRED.
7. ALL WALLS SHALL BE COMMON WIRE, FOR MINIMUM REQUIREMENTS REFER TO UBC TABLE 23-B1-1b.
8. ALL BOLTS AND NUTS SHALL CONFORM TO ASTM A-307, STANDARD CUT WASHERS SHALL BE FINISHED AT EACH BOLT HEAD AND NOT PLACED NEXT TO WOOD.
9. ALL METAL CONNECTIONS USED FOR CONNECTING STRUCTURAL WOOD MEMBERS SHALL HAVE US APPROVAL, AND BE SIMPSON STRONG-TIE CONNECTORS OR APPROVED EQUAL. ALL CONNECTORS SHALL BE GALVANIZED OR PROVIDED WITH APPROVED CORROSION PROTECTION PAINT.
10. ALL FRAMING DETAILS AND MINIMUM CONSTRUCTION REQUIREMENT SHALL CONFORM TO CONVENTIONAL CONSTRUCTION PROVISIONS OF THE UBC, UNLESS SPECIFICALLY DETAILED OR NOTED OTHERWISE IN THE CALCULATIONS OR DRAWINGS.
11. ALL WALLS SHALL BE FRAMED TO FULL HEIGHT OF THE PLATE HEIGHTS GIVEN.

## GENERAL STRUCTURAL NOTES:

1. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE SECTIONS (S) OF THE CURRENTLY ADOPTED EDITION OF THE UNIFORM BUILDING CODE (UBC), AND ALL OTHER PUBLICATIONS AND STANDARDS LISTED HEREIN.
2. THE CONTRACTOR/BUILDER SHALL VERIFY ALL DIMENSIONS PRIOR TO STARTING CONSTRUCTION. NOTIFY THE PROJECT COORDINATOR IMMEDIATELY OF ANY DISCREPANCIES OR INCONSISTENCIES. NO DEVIATION FROM THESE DRAWINGS SHALL BE MADE WITHOUT THE PRIOR CONSENT OF THE BUILDER. REPORT ANY AND ALL DISCREPANCIES TO THE BUILDER.
3. NOTES AND DETAILS ON DRAWINGS SHALL TAKE PRECEDENCE OVER GENERAL NOTES AND TYPICAL DETAILS OR SPECIFICATIONS.
4. WHERE DIFFERENCE IS MADE TO VARIOUS TEST STANDARDS FOR MATERIALS, SUCH STANDARDS SHALL BE THE LATEST EDITION AND/OR ADDENDUM.
5. THE CONTRACT STRUCTURAL DRAWINGS AND SPECIFICATIONS REPRESENT THE FINISHED STRUCTURE. THEY DO NOT INDICATE THE METHOD OF CONSTRUCTION. THE OWNER/BUILDER SHALL PROVIDE ALL MEASURES NECESSARY TO PROTECT THE STRUCTURE DURING CONSTRUCTION. SUCH MEASURES SHALL INCLUDE, BUT NOT BE LIMITED TO BRACING, SHORING OR LOADS DUE TO EXCAVATIONS, CONSTRUCTION MATERIALS, ETC. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONSTRUCTION OF ALL BRACING AND SHORING. THE CONTRACTOR SHALL OBTAIN THE DIVISION OF INDUSTRIAL SAFETY OF THE STATE OF CALIFORNIA AND OSHA REQUIREMENTS.
6. TEMPORARY BRACING OR SHORING SHALL NOT BE REMOVED UNTIL MATERIALS REACH THEIR ULTIMATE STRENGTH.
7. OPENINGS, POCKETS, ETC., SHALL NOT BE PLACED IN SLABS, DECKS, BEAMS, JOISTS, COLUMNS, WALLS, ETC., UNLESS SPECIFICALLY DETAILLED ON THE DRAWINGS. BRACING SHALL BE DETAILLED AND SHOWN ON THE DRAWINGS. SHOW OPENINGS, POCKETS, ETC., NOT SHOWN ON THE STRUCTURAL DRAWINGS, BUT WHICH ARE LOCATED IN STRUCTURAL MEMBERS.
8. CONSTRUCTION MATERIALS SHALL BE SPEED OUT OR PLACED ON FRAMED FLOOR OR ROOF. ALL WHEELS OR TIRE TRACKS OF LOADS BE SHOWN ON THE DRAWINGS. PROVIDE ADEQUATE SHORING AND/OR BRACING WHERE SUCH LOADS WOULD EXCEED DESIGN LIVE LOAD.
9. OWNER/BUILDER SHALL READ AND FOLLOW ALL REFERENCED RGO REPORTS FOR ALL INSTITUTION OF STEELS SHOWING ALTERNATE METHODS OF CONSTRUCTION MAY BE SUBMITTED FOR APPROVAL TO THE PROJECT COORDINATOR WITH APPLICABLE RGO REPORTS.
10. OWNER/BUILDER SHALL BE RESPONSIBLE FOR JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THE PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY.
11. NO WARRANTIES ARE EXPRESSED OR IMPLIED.
12. IT IS THE INTENT OF THESE PLANS TO PROVIDE DETAILS OF CONSTRUCTION NECESSARY TO GUIDE THE OWNER/BUILDER WITH STRUCTURAL ASPECTS OF THE PROJECT ONLY. NON-STRUCTURAL FEATURES SHALL BE COORDINATED WITH THE OWNER.
13. EAVE ENDS ARE NOT ALLOWED AT SHEAR WALLS WHERE THE FREEZE BLOCK IS REQUIRED FOR SHEAR TRANSFER.

REVISION #	DATE:
city backcheck	1/3/08
city backcheck	6/30/08

**SMEE BUILDERS, INC.**  
444 N. Prospect Ave.  
Porterville, Ca. 93275  
(559)785-0525

	DRAFTING BY:
	RUDY R. NAVA
<input type="checkbox"/>	1449 W. Sunnyview 559-741-6636

FLOOR PLAN ~ ELEV. A

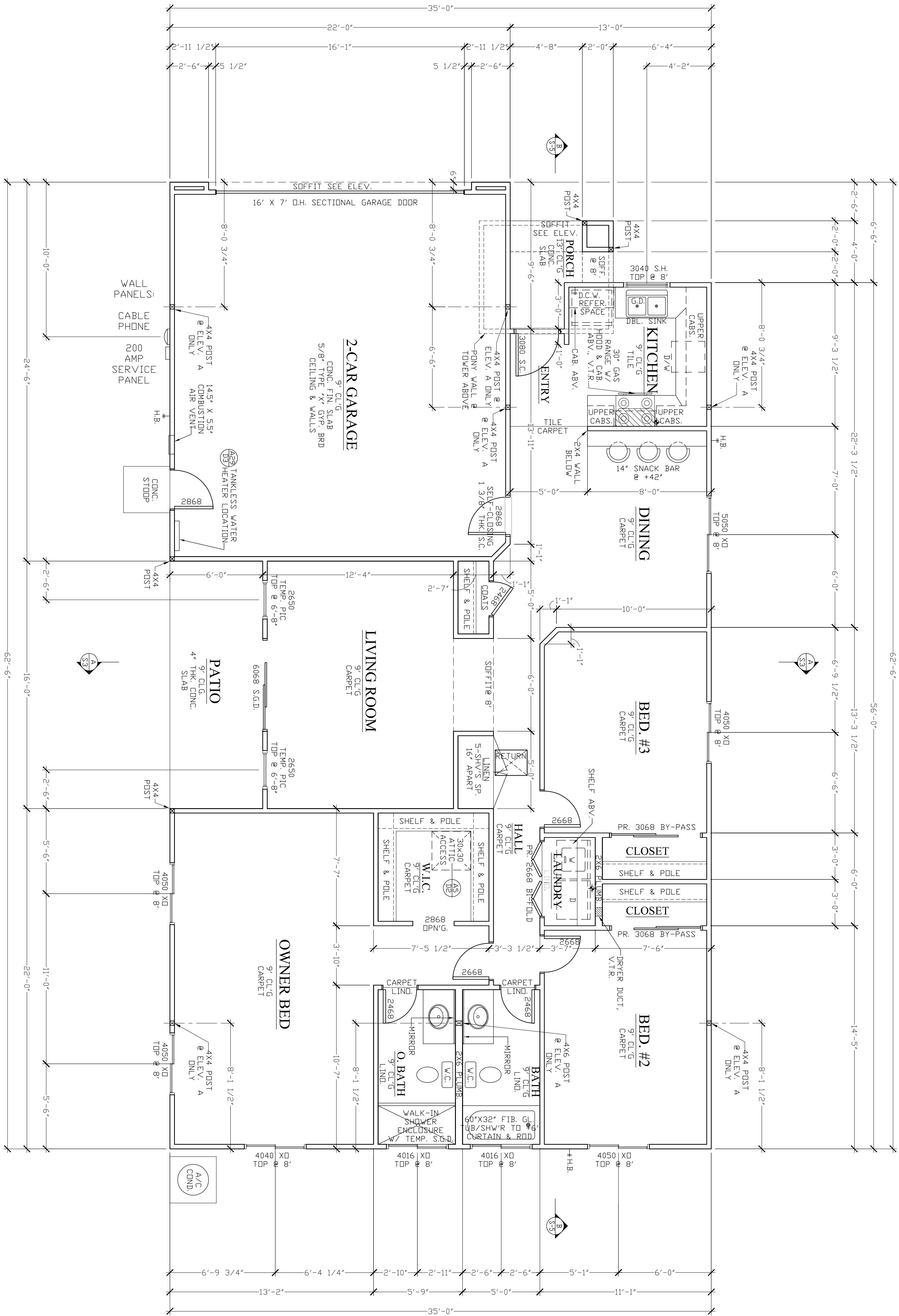
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RIDGEVIEW ESTATES/PLAN 1747/RIGHT

A-1a



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FLOOR PLAN

GENERAL STRUCTURAL NOTES:

1. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE SECTIONS OF THE CURRENTLY ADOPTED EDITION OF THE UNIFORM BUILDING CODE (UBC), AND ALL OTHER PUBLICATIONS AND STANDARDS LISTED HEREIN.
2. THE CONTRACTOR/BUILDER SHALL VERIFY ALL DIMENSIONS PRIOR TO STARTING CONSTRUCTION OR MODIFICATIONS. NO DEVIATION FROM THESE DRAWINGS SHALL BE MADE WITHOUT THE WRITTEN CONSENT OF THE BUILDER. REPORT ANY AND ALL DISCREPANCIES TO THE BUILDER.
3. NOTES AND DETAILS ON DRAWINGS SHALL TAKE PRECEDENCE OVER GENERAL NOTES AND TYPICAL DETAILS OR SPECIFICATIONS.
4. WHERE REFERENCE IS MADE TO VARIOUS TEST STANDARDS FOR MATERIALS, SUCH STANDARDS SHALL BE THE LATEST EDITION AND/OR ADDENDUM.
5. THE CONTRACT STRUCTURAL DRAWINGS AND SPECIFICATIONS REPRESENT THE FINISHED STRUCTURE. THEY DO NOT INDICATE THE METHOD OF CONSTRUCTION. THE OWNER/BUILDER SHALL PROVIDE ALL MEASURES NECESSARY TO PROTECT THE STRUCTURE DURING CONSTRUCTION. SUCH MEASURES SHALL INCLUDE, BUT NOT BE LIMITED TO, PROTECTING EXISTING UTILITIES, PROVIDING PROPER BRACING, AND PROVIDING PROPER SHORING AND/OR BRACING WHERE SUCH LOADS WOULD EXCEED DESIGN LIVE LOAD.
6. OWNER/BUILDER SHALL READ AND FOLLOW ALL REFERENCED IBCO REPORTS FOR INSTALLATION OF ITEMS SHOWN. ALTERNATE METHODS OF CONSTRUCTION MAY BE SUBMITTED FOR APPROVAL TO THE PROJECT COORDINATOR WITH APPLICABLE IBCO REPORTS.
7. OWNER/BUILDER SHALL BE RESPONSIBLE FOR JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THE PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY.
8. NO WARRANTIES ARE EXPRESSED OR IMPLIED.
9. IT IS THE INTENT OF THESE PLANS TO PROVIDE DETAILS OF CONSTRUCTION NECESSARY TO GUIDE THE OWNER/BUILDER WITH STRUCTURAL ASPECTS OF THE PROJECT ONLY. NON-STRUCTURAL FEATURES SHALL BE COORDINATED WITH THE OWNER.
10. EAVE VENTS ARE NOT ALLOWED AT SHEAR WALLS WHERE THE FREEZE BLOCK IS REQUIRED FOR SHEAR TRANSFER.

WOOD FRAMING NOTES:

1. FOUNDATION PLATES OR SILLS AND SLEEPERS PLACED AGAINST CONCRETE, WHICH IS IN DIRECT CONTACT WITH EARTH, SHALL BE PRESERVATIVE TREATED DF #2.
2. ALL EX FRAMING MEMBERS SHALL BE DF #1 OR BETTER, UNLESS NOTED OTHERWISE.
3. ALL 2X AND 4X FRAMING MEMBERS SHALL BE DF #2 OR BETTER, UNLESS NOTED OTHERWISE.
4. ALL 2X WALL STUDS SHALL BE DF #2 OR BETTER, UNLESS NOTED OTHERWISE.
5. ALL SHEATHING SHALL BE GRADE C-D, MINIMUM, FABRICATED IN CONFORMANCE WITH IBCO REPORT NO. NER-108 AND IDENTIFIED WITH THE GRADE TRADEMARK OF THE APA. ROOF SHEATHING SHALL HAVE PANEL INDEX OF 3210 AND BE A MINIMUM PANEL INDEX OF 4020. WALL SHEATHING, WHERE REQUIRED, SHALL HAVE A MINIMUM PANEL INDEX OF 240. SHEATHING EXPOSED AT OVERHANGS OR OTHERWISE PERMANENTLY EXPOSED TO WEATHER SHALL BE GRADE C-C EXTERIOR WITH A PANEL INDEX AS PREVIOUSLY NOTED.
6. ALL GLUE LAMINATED BEAMS SHALL BE COMBINATION 24F-V4 OR 24F-V5 PER NOS TABLE 5A, UNLESS NOTED OTHERWISE. GLUE-LAM BEAMS SHALL BE FABRICATED IN CONFORMANCE WITH STANDARD SPECIFICATIONS FOR STRUCTURAL GLUE-LAM MEMBERS OF THE AITC WITH ALL LAMINATIONS 1-1/2" MINIMUM. ALL GLUE LAM MEMBERS SHALL BE IDENTIFIED TO THE BUILDER BY A NOTED OTHERWISE. SUBMIT QUALITY ASSURANCE CERTIFICATES TO BUILDING OFFICIALS PRIOR TO ERECTION AS REQUIRED.
7. ALL NAILS SHALL BE COMMON WIRE, FOR MINIMUM REQUIREMENTS REFER TO UBC TABLE 23A-B-1.
8. ALL BOLTS AND NUTS SHALL CONFORM TO ASTM A-307. STANDARD OUT WASHERS SHALL BE FURNISHED AT EACH BOLT HEAD AND NOT PLACED NEXT TO WOOD.
9. ALL METAL CONNECTORS USED FOR CONNECTING STRUCTURAL WOOD MEMBERS SHALL HAVE UBC APPROVAL AND BE SIMPSON STRONG-TIE CONNECTORS OR APPROVED CORROSION PROTECTION PAINT.
10. ALL FRAMING DETAILS AND MINIMUM CONSTRUCTION REQUIREMENT SHALL CONFORM TO CONVENTIONAL CONSTRUCTION PROVISIONS OF THE UBC, UNLESS SPECIFICALLY DETAILLED OR NOTED OTHERWISE IN THE CALCULATIONS OR DRAWINGS.
11. ALL WALLS SHALL BE FRAMED TO FULL HEIGHT OF THE PLATE HEIGHTS GIVEN.

DRAFTING BY:
<div><div></div><div>RUDY R. NAVA</div></div>
1449 W. Sunnyview 559-741-6636

SMEE BUILDERS, INC.  
444 N. Prospect Ave.  
Porterville, Ca. 93275  
(559)785-0525

REVISION #	DATE:
city backcheck	1/3/08
city backcheck	6/23/08
backcheck	

FLOOR PLAN

RIDGEVIEW ESTATES/PLAN 1467/RIGHT

A-1

SCALE: 1/8" = 1'-0" FOR 11x17 PLOTS SCALE: 1/4" = 1'-0" FOR 24X36 PLOTS



DRAFTING BY:  

RUDY R. NAVA

1449 W. Sunnyview  
559-741-6636

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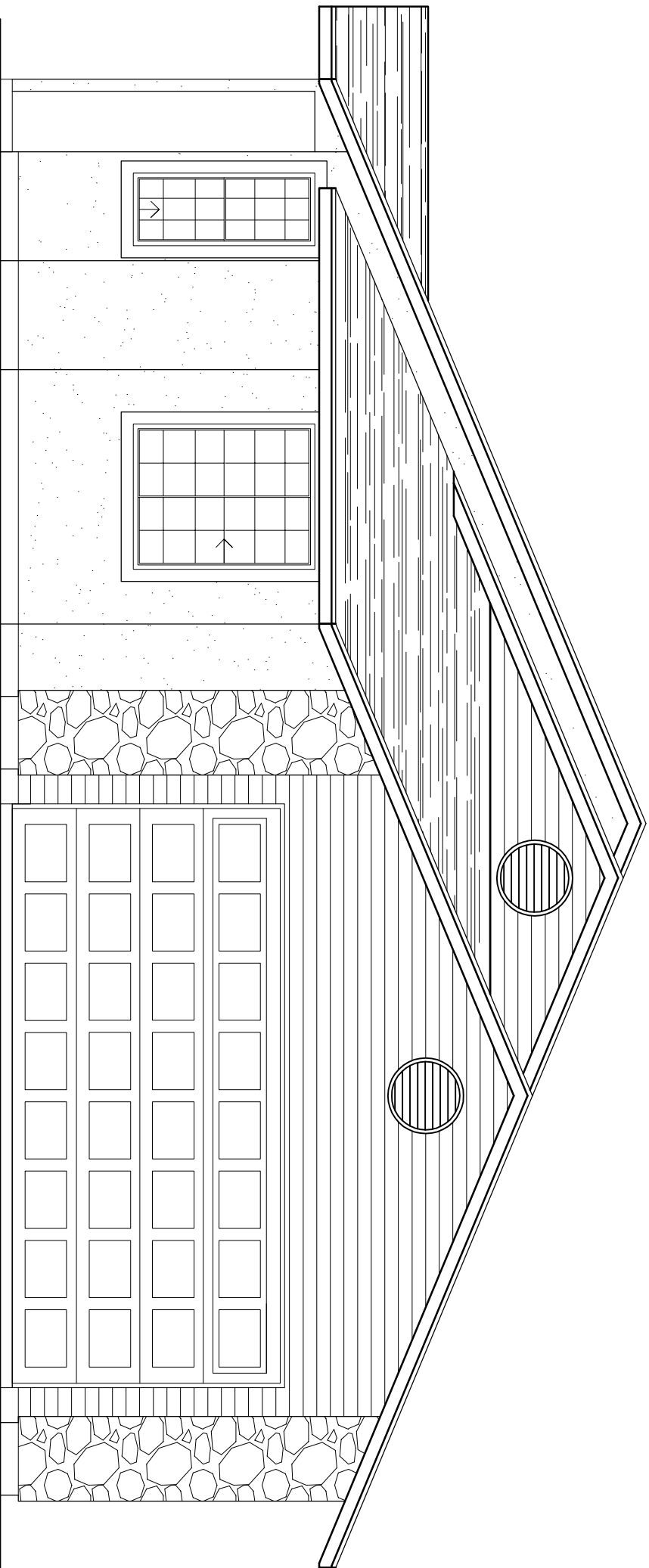
REVISION #	DATE:
city backcheck	1/3/08
city backcheck	6/30/08

COVER SHEET

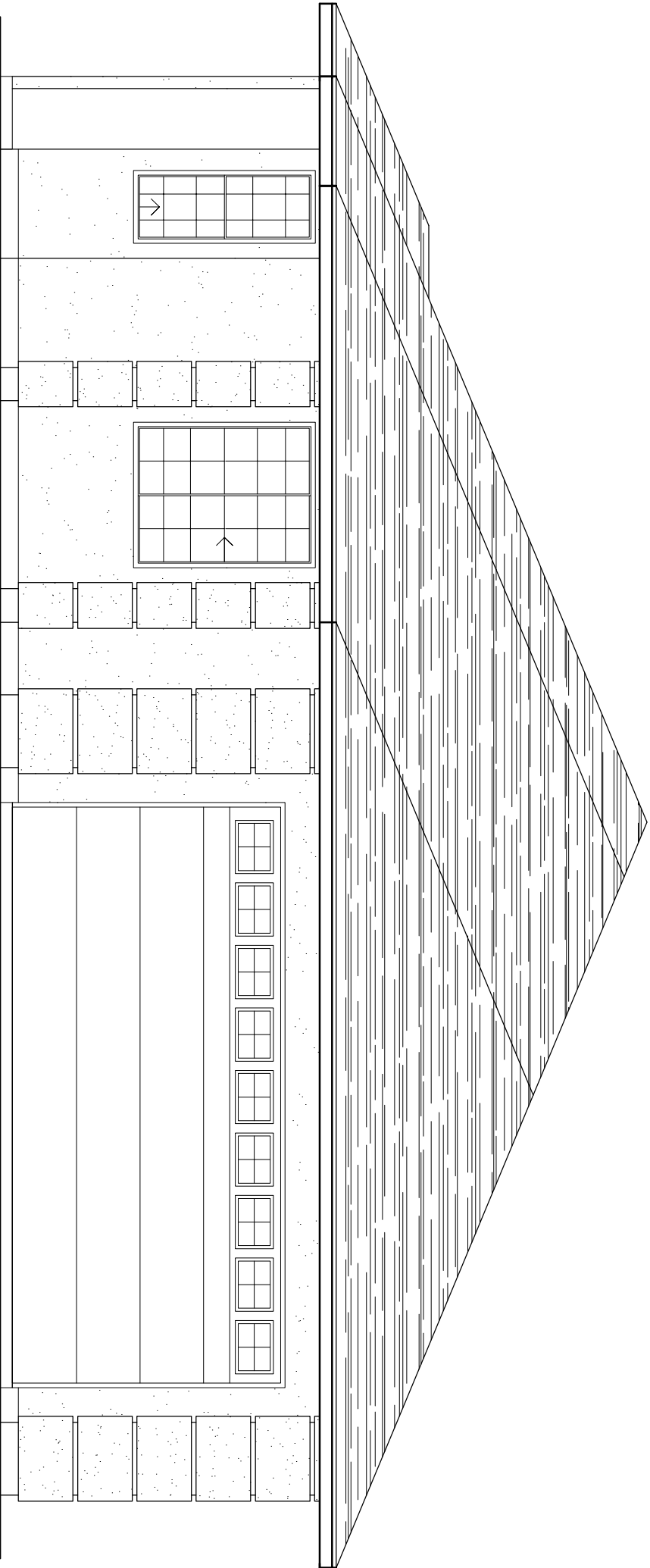
RIDGEVIEW ESTATES/PLAN 2114  
RIGHT

SHEET NO.

C-1



ELEVATION "A"



ELEVATION "B"

N.T.S.

N.T.S.

RIDGEVIEW ESTATES PLAN-2114/RIGHT

ABBREVIATIONS

2114 FLOOR PLAN

SHEET INDEX

PAGE # INDEX OF DRAWINGS

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A-3	ELECTRICAL DIAGRAM
S-1	FOUNDATION PLAN
S-2a	ROOF FRAMING PLAN ~ ELEV. A
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PROPOSED PROJECT:

RESIDENTIAL PROJECT FOR: SMEE BUILDERS, INC.  
NEW SINGLE FAMILY RESIDENCE (SFR)  
2114 ATTACHED GARAGE  
3 BEDROOM/2 BATH  
MAJIMUM HEIGHT = 17'-10"

PROJECT LOCATION:

BAKERSFIELD, CA

FLOOR AREA	2114 SQUARE FEET
CEILING INSULATION	R-30 BATT
EXTERIOR WALL INSULATION	R-13 BATT
FLOOR INSULATION (GRADED FLOOR ONLY)	---
GLAZING % OF FLOOR AREA	16.5 %
GLAZING TYPE (SINGLE/DUAL)	LOW E DUAL
GLAZING U-VALUE & SOLAR HEAT GAIN COEF.	U-VALUE=0.35, SHGC=0.35

LIVING SPACE	2114 SQ. FT.
2-CAR GARAGE	521 SQ. FT.
PAVING	180 SQ. FT.
COURT	100 SQ. FT.
TOTAL UNDER ROOF =	2,952 SQ. FT.

DRAWING INFORMATION

DRAWN BY:	DATE:	REVISION	REVISION DATE:	REVISION MARK:	NOTES

ADDITIONAL NOTES

1. ADDRESS SHALL BE PLAINLY VISIBLE AND LEGIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY. ADDRESS NUMBERS SHALL BE A MIN. OF 4 INCHES IN HEIGHT AND OF CONTRASTING COLOR TO THEIR BACKGROUND. CALIFORNIA CODES BASED ON THE 2007 UBC, 2007 UMC, 2007 UFC, THE 2007 CALIFORNIA ELECTRICAL CODE BASED UPON THE 2002 NEC, AND THE 2007 RESIDENTIAL ENERGY STANDARDS.
3. THESE PLANS AND RELATED DOCUMENTS MUST BE AVAILABLE AT THE JOB SITE DURING ELEVATION OF NOT LESS THAN 1" ABOVE THE 100 YEAR FLOOD LEVEL.
4. PROJECTS LOCATED IN THE FLOOD HAZARD AREA SHALL HAVE A FINISHED FLOOR

ABBREVIATIONS, WHEN USED IN THESE STRUCTURAL DOCUMENTS SHALL CONFORM TO THE FOLLOWING LIST, UNLESS OTHERWISE NOTED. REFERENCES AND LEGENDS WITH INTERPRETATION INTENDED ONLY FOR THOSE SECTIONS.

&	AND	FND.	FOUNDATION	PLY.	PLYWOOD
@	AT	F.O.F.	FACE OF FINISH	PR.	PAIR
∅	AT RADIUS	F.F.S.	FACE OF STUD	PRCST.	PRE-CAST
⊥	PERPENDICULAR	F.P.R.	FACE OF STUD	P.T.	PREPRESSURE
#	FOUND OR NUMBER	F.S.	FULL SIZE	PTN.	PARTITION
( )	EXISING	FT.	FOOT/FEET		
( )	EXISTING	FT.	FOOTING		
%	PERCENT	FUR.	FURNISH		
		FUT.	FUTURE		
A.B.	ANCHOR BOLT	FR.	FRENCH (DOORS)		
A.D.	ADJUSTABLE	FX	FIXED		
A.G.R.	AGGREGATE	GA.	GAUGE		
A.M.	APPROXIMATE	G.B.	GRAB BAR		
APP.	APPLICABLE	G.D.	GARBAGE DISPOSAL		
ARCH.	ARCHITECTURAL	G.O.	GRADE		
ASPH.	ASPHALT	GR.	GRADE		
		GYP.	GYPSUM		
B.D.	BOARD	H.B.	HOSE BIB		
B.K.	BLOCK	H.C.	HOLLOW CORE		
B.K.G.	BLOCKING	HDWD.	HARDWOOD		
B.M.	BEAM	HDWR.	HARDWARE		
BOT.	BOTTOM	H.M.	HOLLOW METAL		
CAB.	CABINET	HORIZ.	HORIZONTAL		
CER.	CERAMIC	HT.	HEIGHT		
C.I.	CAST IRON	I.C.F.	INSULATED CONCRETE FORM		
CLG.	CALLING	INSUL.	INSULATION		
C.L.G.	CLOSING	INT.	INTERIOR		
CLEAR.	CLEAR	JAN.	JANITOR		
C.N.C.	CONCRETE	J.T.	JUNCTION		
CONN.	CONNECTION	KIT.	KITCHEN		
CONSTR.	CONSTRUCTION				
CORR.	CORRIDOR	LAB.	LABORATORY		
COUNTR.	COUNTER	LAV.	LAVATORY		
CTR.	CENTER	UNCL.	UNCLEM		
		LKR.	LOOKER		
D.B.I.	DOUBLE	LOW.	LOWER		
D.W.	DIRECT COLD WATER	MAX.	MAXIMUM		
DEPT.	DEPARTMENT	M.B.	MACHINE BOLT		
DET.	DETAIL	M.D.	MACHINE DRILL		
DIA.	DIAMETER	M.ECH.	MECHANICAL		
DOWN.	DOWN	MECH.	MECHANICAL		
DR.	DOOR	MEMB.	MEMBRANE		
DWR.	DRAWER	MET.	METAL		
DWG.	DRAWING	MFR.	MANUFACTURER		
		M.L.	MILLITR		
E.	EACH	MIR.	MIRROR		
E.A.	EXHAUST FAN	MISC.	MISCELLANEOUS		
E.E.	ELECTRICAL	M.L.	MILLION		
ELEV.	ELEVATION	N.	NORTH		
EMER.	EMERGENCY	N.O.	NOMINAL		
E.P.	ELECTRICAL PANEL	NOM.	NOMINAL		
EQ.	EQUAL	N.T.S.	NOT TO SCALE		
EQUIP.	EQUIPMENT				
ELEC.	ELECTRIC	O.A.	OVERALL		
EXP.	EXPANDED	O.C.	ON CENTER		
EXT.	EXTENSION	O.D.	OUTSIDE DIMENSION (DIM.)		
		O.F.D.	OUTSIDE DIMENSION (DIM.)		
F.A.	FIRE ALARM	OFF.	OFFICE		
F.D.	FIRE FIGHTER	OP.	OPERATION		
F.E.	FIRE EXTINGUISHER	OPP.	OPPOSITE		
F.F.	FIRE FIGHTER	O/S.	OVERSIGHT		
F.G.	FINISHED FLOOR	P.D.	POCKET DOOR		
F.N.	FINISH	PIC.	PICTURE		
FLASH.	FLASHING	PL.	PLATE		
FLOOR.	FLOOR	PLAM.	PLASTIC LAMINATE		
FLOOR.	FLOOR	PLAS.	PLASTIC		

ADDITIONAL JOB INFO.

VICINITY MAP

models will be built in various locations

PROJECT INFORMATION

OWNER: SMEE BUILDERS, INC.  
444 N. PROSPECT AVE.  
PORTERVILLE, CA. 93275  
(559) 785-0525

OCCUPANCY:	GROUP R-3
NUMBER OF STORES:	TYPE 5-N
SNOW:	NONE
WIND:	80 MPH
SEISMIC:	1500 D
SOL BEARING CAPACITY	17'-10"

APPLICABLE CODES

B.O.C.A. Building Officials & Code Administrators International Conference of Building Officials  
I.B.C. International Conference of Building Officials  
O.S.A. Office of the State Architect  
C.B.C. California Building Code  
C.F.C. California Fire Code  
C.P.C. California Planning Code  
U.M.C. Uniform Mechanical Code  
U.E.C. Uniform Electrical Code  
N.E.C. National Electrical Code  
U.F.C. Uniform Fire Code  
U.P.C. Uniform Plumbing Code  
Accessibility (Title 24, California Building Code  
Energy (Title 24, California Energy Code

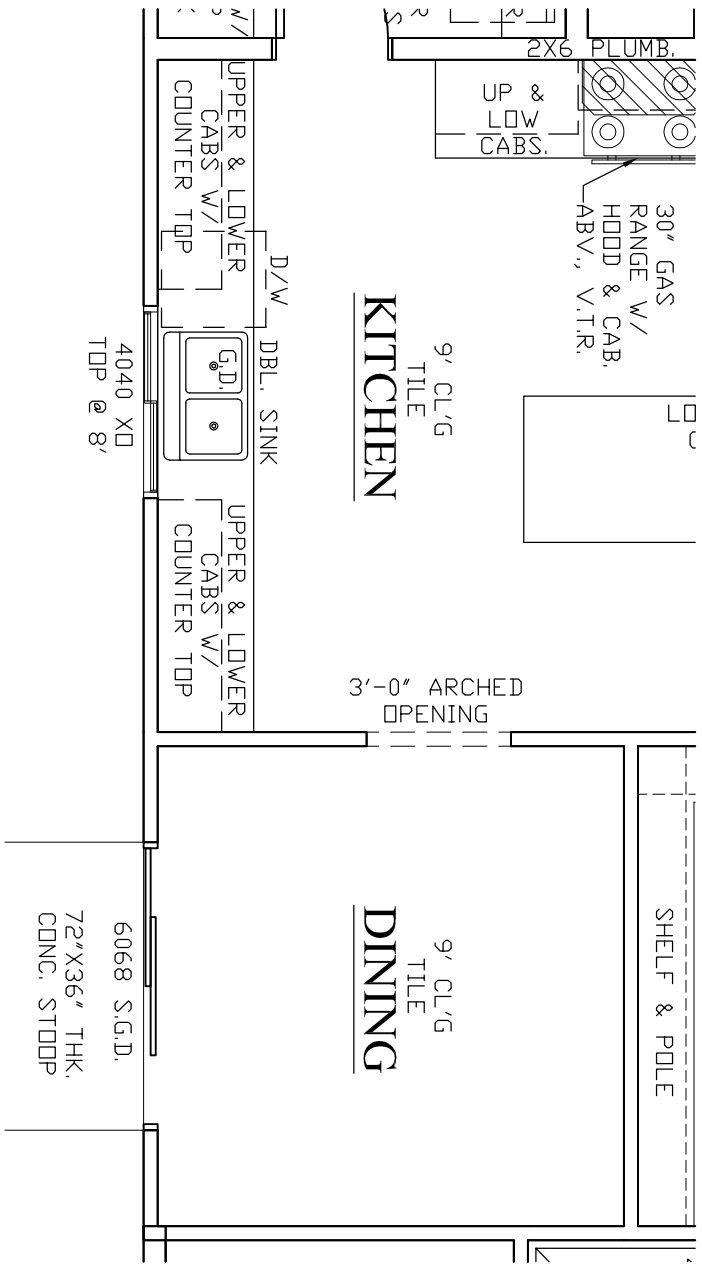
CONSULTANTS

DESIGNER/DRAFTER:  
RUDY R. NAVA &  
ROBIN L. PLE  
2114 ATTACHED GARAGE  
PORTERVILLE, CA. 93274  
(559) 685-7981

BUILDING CONTRACTOR:  
SMEE BUILDERS, INC.  
2220 N. LEILA STREET  
VISALIA, CA. 93291  
(559) 627-4767

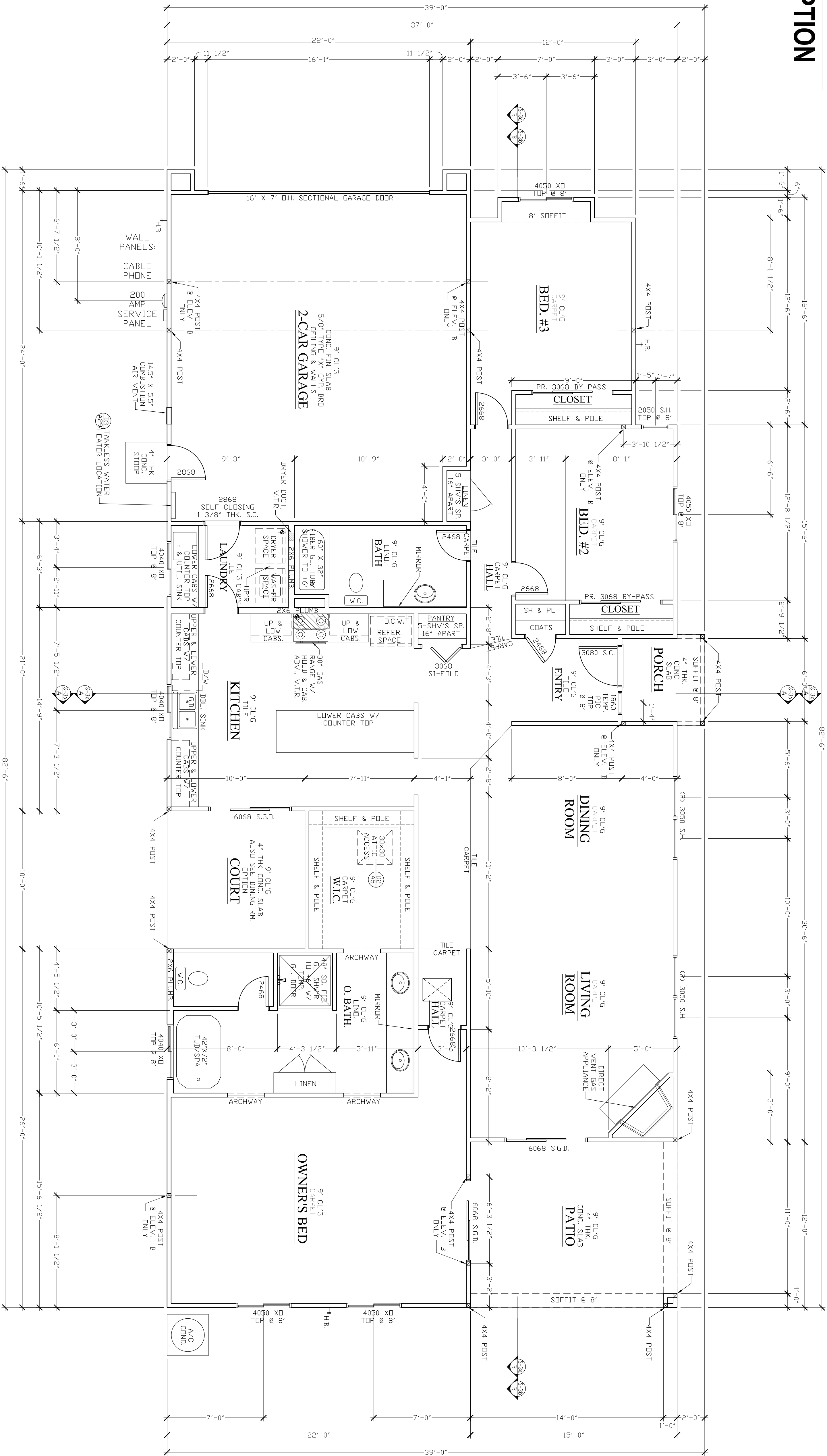
TITLE 24 DOC.:  
HOFFMAN ENGINEERING  
RON HOFFMAN  
2114 ATTACHED GARAGE  
PORTERVILLE, CA. 93277  
(559) 625-3334

TRUSS ENGINEER:  
TRUSS COMPANY  
461 S. MAIN ST.  
PORTERVILLE, CA. 93257  
(559) 784-8311



DINING RM.

OPTION



FLOOR PLAN

SEE SHEET N-1 FOR NOTES

SCALE: 1/8" = 1'-0" FOR 11X17 PLOTS    SCALE: 1/4" = 1'-0" FOR 24X36 PLOTS

DRAFTING BY:	
RUDY R. NAVA	
1449 W. Sunnyview 559-741-6636	

SMEE BUILDERS, INC.  
444 N. Prospect Ave.  
Porterville, Ca. 93275  
(559)785-0525

REVISION #	DATE:
city backcheck	1/3/08
city backcheck	6/30/08

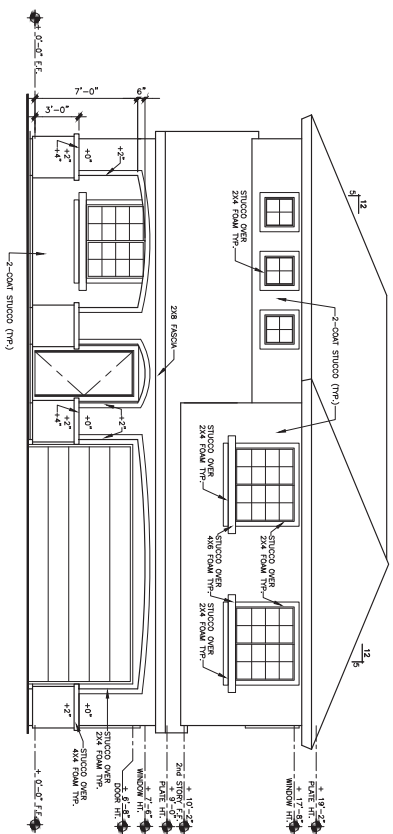
FLOOR PLAN  
RIDGEVIEW ESTATES/PLAN 2114  
RIGHT

A-1a

SHEET NO.

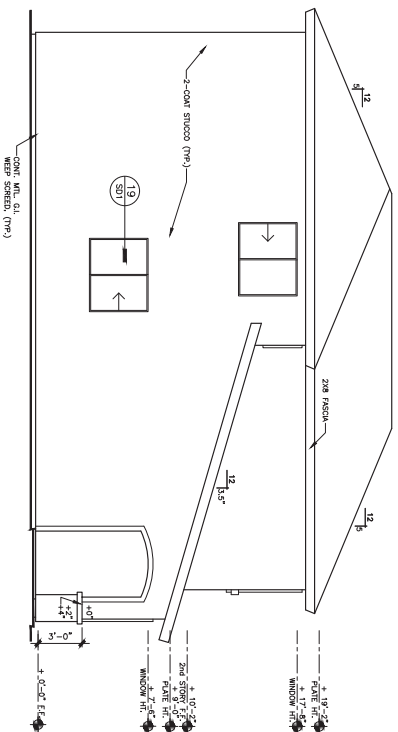
2013 C.B.C.

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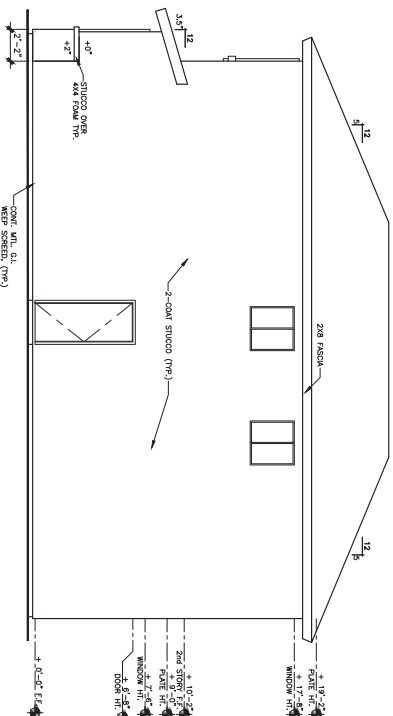
**FRONT ELEVATION - PLAN "A"**

SCALE: 1/4" = 1'-0"



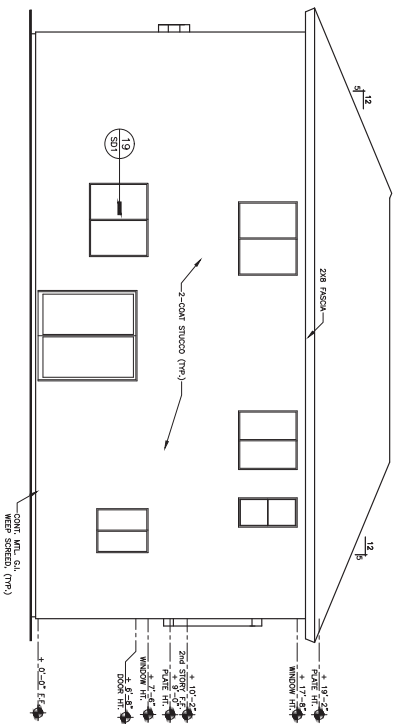
**LEFT ELEVATION - PLAN "A"**

SCALE: 1/4" = 1'-0"



**RIGHT ELEVATION - PLAN "A"**

SCALE: 1/4" = 1'-0"



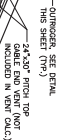
### REAR ELEVATION - PLAN "A"

SCALE: 1/4" = 1'-0"

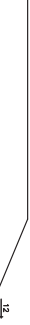
<div style="border: 1px solid black; padding: 5px; display: inline-block;">                 2117 R                  ELEVATIONS                  PLAN 'A'             </div>	<div style="border: 1px solid black; padding: 5px; display: inline-block;">                 14TT                  SHEET                  A-5             </div>
---	---



SCALE: 1/4" = 1'-0"



SCALE: 1/4" = 1'-0"



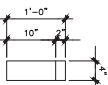
## SCALE: 1/4" = 1'-0"



SCALE: 1/4" = 1'-0"



## SC 1' = 1:0



- [illegible]

STUCCO NOTES  
2013 C.B.C.

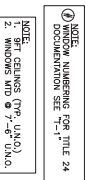
REVISION	DESCRIPTION
----------	-------------

86

[illegible]


NUMBER	1471
'B'	
IONS	
R	

A-6



SCALE: 1/4" = 1'-0"

## SHEAR PANEL SCHEDULE

GENERAL FLOOR NOTES:

14. V.O.C. LIMITS FOR ALL MATERIALS SHALL COMPLY WITH SECTION 4.50.4.2 OF THE 201 CALIFORNIA GREEN BUILDING STANDARDS CODE

MASONRY AND FACTORY-BUILT FIREPLACES SHALL COMPLY WITH THE CONSTRUCTION STANDARDS SPECIFIED IN THE C.R.C. CHAPTER 10

1. TIGHT FITTING, CLOSEABLE METAL OR GLASS DOOR

- LIMITS WHERE APPLICABLE: 11000 SLOVES, TELLER 30000 AND MIXTURES SHALL ALSO COMPLY W/ APPLICABLE LOCAL ORDINANCES PER C.G.C., SEC. 4.503.1

PROVIDED IN THE FOLLOWING LOCATIONS PER C.

1. IN CONCEALED SPACES OF STUD WALLS AND PARTITIONS, INCLUDING FUR

8. SEE C.R.C. R002.12.1 FOR ACCEPTABLE DRAFTSTOCK MATERIALS.

[illegible]





# EXHIBIT D

## PROJECT NARATIVE FOR JENNINGS ESTATES SUBDIVISION AND PARCEL MAP

THE PROJECT SITE IS LOCATED AT 1716 NORTH CAIN STREET. THE DEVELOPER PROPOSES TO PREPARE A SUBDIVISION MAP ALONG WITH A PARCEL MAP.

THE PARCEL MAP IS NEEDED FOR FINANCE PURPOSES, TO RETAIN THE EXISTING HOME (PARCEL 1) ALONG CAIN STREET AND TO CREATE ONE ADDITIONAL LOT (PARCEL 2) ALONG CAIN STREET. THE EXISTING HOME WILL BE REMODELED AND SOLD TO ASSIST WITH FINANCING THE SUBDIVISION MAP. PARCELS 1 AND 2 WILL BE PART OF THE PARCEL MAP, SOLD AND A NEW HOME WILL BE CONSTRUCTED ON PARCEL 2.

PARCEL 1 IS 16,215 SQ FT, EXISTING HOME

PARCEL 2 IS 7,127 SQ FT, NEWLY CREATED LOT

PARCEL 3 IS 189,752 (THIS LOT IS REPRESENTED ON THE TENTATIVE SUBDIVISION MAP)

AS PART OF THE PARCEL MAP, DEVELOPER WOULD LIKE TO CONNECT THE SEWER TO THE EXISTING CITY SEWER LINE LOCATED IN CAIN STREET TO PARCELS 1 AND 2. WATER IS ALREADY CONNECTED TO PARCEL 1 AND PROVIDED BY CALWATER. HOWEVER, PARCEL 2 WILL NEED TO INSTALL A NEW WATER SERVICE TO SERVICE THE NEW HOME. THE CURB ALONG CAIN STREET AND ALONG THE FRONTAGE OF PARCELS 1 AND 2 IS PLANNED TO REMAIN BUT THE EXISTING SIDEWALK WILL BE REMOVED AND PLACED IN CONFORMANCE WITH THE CITY OF VISALIA STREET SECTION LOCATION.

A NEW 7' TALL WOOD FENCE IS SUGGESTED TO BE PLACED ALONG THE NORTH SIDE OF PARCEL 1.

THE EXISTING STRUCTURES THAT ARE SHOWN ON PARCEL 3 HAVE ALREADY BEEN REMOVED FROM THE PROPERTY.

THE SUBDIVISION MAP WILL CREATE 22 ADDITIONAL LOTS FOR THE CONSTRUCTION OF 22 SINGLE FAMILY DWELLING UNITS. NEW PUBLIC ROADS WILL CONNECT TO CAIN STREET AND PROVIDE A SECONDARY STREET CONNECTION TO THE SOUTH AT N. REGINA STREET. ALL IMPROVEMENTS WITHIN THE PUBLIC RIGHT OF WAY WILL BE CONSTRUCTED TO THE CITY OF VISALIA STANDARDS FOR SINGLE FAMILY RESIDENTIAL DEVELOPMENT.

LOTS SIZES RANGE FROM 5,000 SQ FT TO 12,035 SQ FT WITH A DENSITY 5.05 UNITS PER ACRE. THE AVERAGE LOT SIZE IS 6, 358 SQ FT.

AN EXISTING OVERHEAD ELECTRICAL LINE IS LOCATED ALONG THE NORTH SIDE OF THE DEVELOPMENT. THIS OVERHEAD ELECTRICAL LINE WILL BE REMOVED AND RELOCATED PER SCE REQUIREMENTS. WITH NEW ELECTRICAL SERVICE ALONG THE NEW PUBLIC ROADS, WE BELIEVE THAT THE EXISTING OVERHEAD LINES WILL BE RELOCATED TO BE WITHIN AND ALONG THE NEW PUBLIC ROADS. ADDITIONAL COORDINATION WITH SCE IS REQUIRED BEFORE FINAL DECISION OF OHE POLES AND THE RELCATION OR REMOVAL OF THEM.

**Project Site: located at 1716 North Cain ST, east of the intersection of  
North Cain and Prospect Ave (APN: 098-070-001)**

I would like to point out a few considerations regarding the proposed project.

- 1) *The traffic on Cain St is currently substantial – Has there been a traffic study recently?***
- 2) *What will the impact of an additional 22 vehicles regularly on Cain St. to access Houston Ave. (Red Zone)***
- 3) *Three dead-end traffic flows need to be opened. (see Blue Arrows)***

The attached map shows at the Blue Arrows the current dead-end traffic barriers that if opened would make a significant impact on the one and only access point going south on Cain St. to Houston.

The Cul-de-sac/dead-end barrier at N. Kennedy (1) was imposed when Ben Maddox/Houston was still CA 216 before the swap to Lovers Ln and going east on Houston.

The dead-end at Harold St. (2) going east into the San Joaquin Valley Homes Development was freshly paved and barrier re-installed

The proposed project comes up to the dead-end barrier at N. Regina (3)

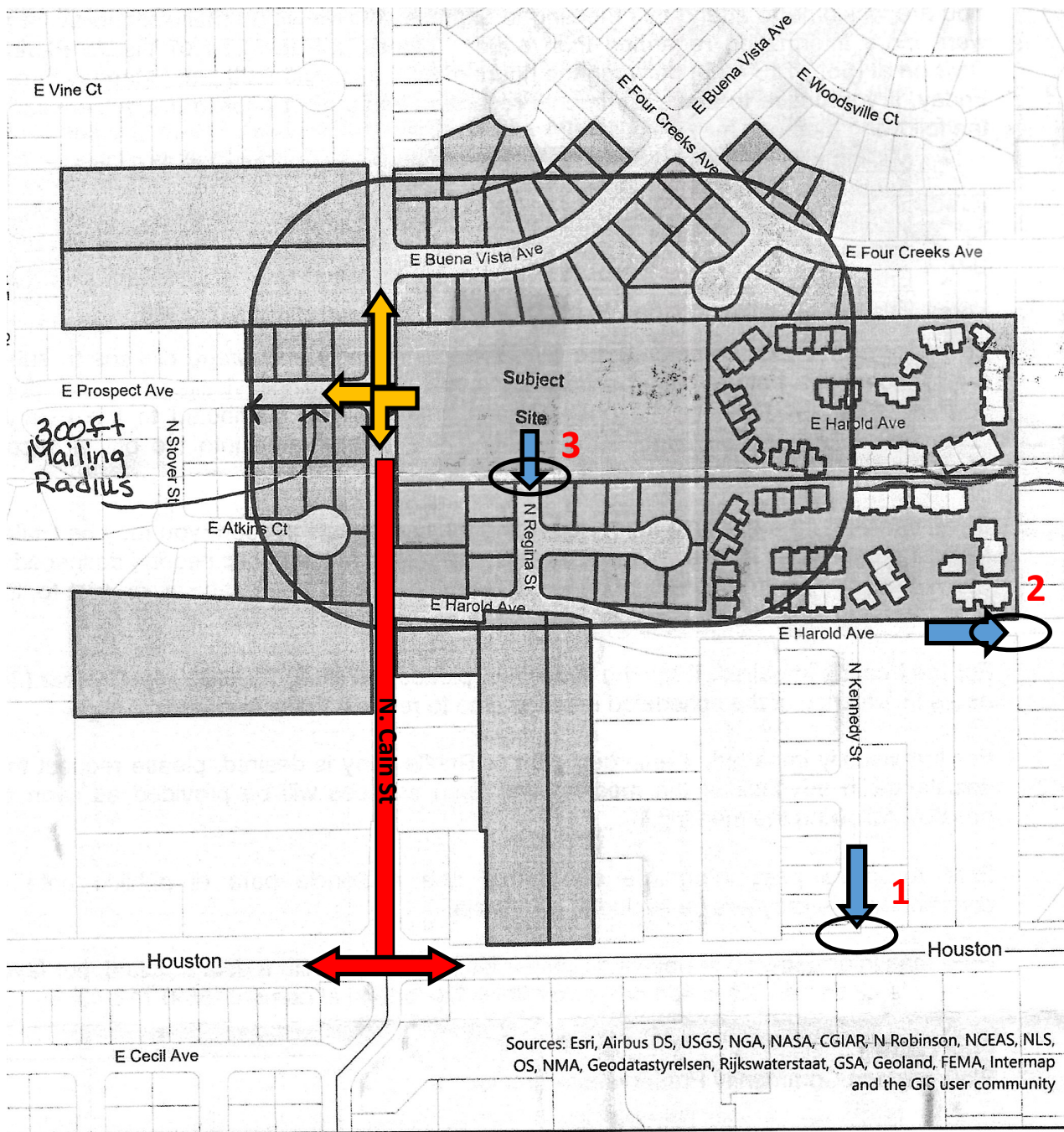
For your consideration, Thank You

Paul Belt

1530 N Cain ST

Visalia, CA 93292

559-936-7809



1 inch equals 376 feet



Map By:  
City of Visalia Planning D

Date: 2/10/2025





## CALIFORNIA WATER SERVICE

**Visalia District** 216 North Valley Oaks Drive  
Visalia, CA 93292 Tel: (559) 624-1600

February 6, 2025

Cristobal Carrillo  
City of Visalia  
315 E Acequia Ave  
Visalia, CA 93291

**Will Serve Letter**  
**APN No. 098-470-001**  
**Tentative Subdivision Map. No. 5603**  
**Allen Williams – Jennings Estates**

Dear Mr. Carrillo:

California Water Service Company Visalia District (“Cal Water”) has determined that water is available to serve the above-referenced project based on the information provided. Cal Water agrees to operate the water system and provide service in accordance with the rules and regulations of the California Public Utilities Commission (CPUC) and the company’s approved tariffs on file with the CPUC. This determination of water availability shall remain valid for **two years** from the date of this letter. If construction of the project has not commenced within this **two-year** time frame, Cal Water will be under no further obligation to serve the project unless the developer receives an updated letter from Cal Water reconfirming water availability. Additionally, Cal Water reserves the right to rescind this letter at any time in the event its water supply is severely reduced by legislative, regulatory or environmental actions.

Cal Water will provide such potable water at such pressure as it may be available from time to time because of its normal operations with the company’s tariffs on file with CPUC. Installation of facilities through developer funding shall be made in accordance with the current rules and regulations of the CPUC including, among others, Tariff Rules 15 and 16 and General Order 103-A. For us to provide adequate water for domestic use as well as fire service protection, it may be necessary for the developer to fund the cost of special facilities, such as, but not limited to, booster pumps, storage tanks and/or in addition to the cost of mains and services. Developers will also be required to contribute towards Cal Water’s water supply by paying facilities fees on a per lot basis as described in Rule 15. Cal Water will provide more specific information regarding special facilities and fees after you provide us with your improvement plans, fire department requirements, and engineering fees for this project.

This letter shall always be subject to such changes or modifications by the CPUC as said by the Commission may, from time to time, be required in the practice of its jurisdiction.



## CALIFORNIA WATER SERVICE

If you have any questions regarding the above, please call me at (559)624-1621.

Sincerely,

*Stephen Johnson*

Stephen Johnson  
District Manager

cc: Devi Prasanna – Cal Water Engineering Dept  
File

**The California Environmental Quality Act  
(CEQA) Section 15183 Findings:**

**Application:** Jennings Estates Tentative Subdivision Map No. 5603 and Tentative Parcel Map No. 2024-11

---

**Environmental Review:** 2024-76

**Location:** 1716 North Cain Street, east of the intersection of North Cain Street and East Prospect Avenue

---

**Assessor's Parcel Number:** 098-470-001

---

**General Plan Designation:** Residential Low Density **Zoning:** R-1-5 (Single-Family Residential)

State CEQA Guidelines Section 15183 (Public Resources Code §21083.3), provides that projects which are consistent with the development density established by a Community Plan, General Plan, or Zoning for which an environmental impact report (EIR) has been certified "shall not require additional environmental review, except as might be necessary to examine whether there are project-specific significant effects which are peculiar to the project or its site."

The City of Visalia finds that as a result of the proposed project no new effects could occur, or new mitigation measures would be required that have not been addressed within the scope of the Program Environmental Impact Report (SCH No. 2010041078). The Environmental Impact Report prepared for the City of Visalia General Plan was certified by Resolution No. 2014-37 adopted on October 14, 2014. **THE PROGRAM ENVIRONMENTAL IMPACT REPORT WILL BE UTILIZED.**

**The following findings are made in compliance with CEQA Section 15183 – Project consistent with a Community Plan or Zoning.**

In approving a project meeting the requirements of CEQA Section 15183, a public agency shall limit its examination of environmental effects to those which the agency determines, in an initial study or other analysis:

1. Is the project consistent with the General Plan and Zoning designations for the site (including density for residential developments)? Yes X No

If yes, please explain below. If no, the project does not qualify for this exemption.

***Comment/Finding:***

As indicated above, the General Plan designation for this site is Residential Low Density (RLD) which allows 2 to 10 dwelling units per acre. The proposed project would provide 5.05 units per acre, which is consistent with the Low Density Residential General Plan land use designation.

The site is zoned R-1-5 and has a land use designation which allows for residential land uses, and requires 5,000 square feet of land area per unit proposed. The proposed project is consistent with the zoning designation and its standards.

2. Are there any impacts that weren't evaluated in the General Plan EIR that are peculiar to the project or the parcel on which the project would be located? Yes        No X

If yes, an initial study or detailed analysis is necessary to determine if specific impacts will need to be mitigated.

If no, continue with CEQA Section 15183 Exemption.



***Comment/Finding:***

All potential impacts from this development were evaluated with the General Plan EIR. The site is consistent with the General Plan and zoning and has no unique features that were not evaluated with the General Plan EIR.

3. Are there project specific impacts which the General Plan EIR failed to analyze as significant effects.

Yes \_\_\_\_\_ No X

If yes, an initial study or other detailed analysis is necessary to determine if the impacts are considered to be significant and if mitigation is required.

If no, continue with CEQA Section 15183 Exemption.

***Comment/Finding:***

The proposed project would not result in any additional impacts that were not evaluated with the General Plan EIR.

4. Is there substantial new information which would result in more severe impacts than anticipated by the General Plan EIR?

Yes \_\_\_\_\_ No X

If yes, an initial study or other detailed analysis is necessary to determine if the impacts are considered to be significant and if mitigation is required.

If no, continue with CEQA Section 15183 Exemption.

***Comment/Finding:***

There is no new information as a result of the proposed project that would result in more severe impacts. This project is consistent with the General Plan density and circulation element and the land use designation for Residential Low Density (RLD). All potential impacts were evaluated with the General Plan EIR.

**On the basis of this evaluation, in accordance with the requirements of Section 15183 of the CEQA Guidelines:**

- |                                     |  |
|-------------------------------------|--|
| <input type="checkbox"/>            | 1. It is found that subsequent negative declaration will need to be prepared.  |
| <input type="checkbox"/>            | 2. It is found that an addendum Negative Declaration will need to be prepared. |
| <input type="checkbox"/>            | 3. That a subsequent EIR will need to be prepared.                             |
| <input checked="" type="checkbox"/> | 4. No further documentation is required.                                       |

Date: February 24, 2024

Prepared By:

---

Brandon Smith  
Principal Planner

*Prepare a notice of exemption using CEQA section 15183 based on this analysis.*

**NOTICE OF EXEMPTION**

City of Visalia  
315 E. Acequia Ave.  
Visalia, CA 93291  
(559) 713-4359

To: County Clerk  
County of Tulare  
County Civic Center  
Visalia, CA 93291-4593

Jennings Estates Tentative Subdivision Map No. 5603 and Tentative Parcel Map No. 2024-11

---

**PROJECT TITLE**

The project site is located at 1716 North Cain Street, east of the intersection of North Cain Street and East Prospect Avenue (APN: 098-470-001).

---

**PROJECT LOCATION**

Visalia

---

**PROJECT LOCATION - CITY**

Tulare

---

**COUNTY**

Jennings Estates Tentative Subdivision Map No. 5603: A request by Allen Williams to subdivide a 4.36-acre parcel into a 22-lot single-family residential subdivision with one out lot for landscaping purposes, in the R-1-5 (Single-Family Residential, 5,000 square foot minimum site area) Zone.

Tentative Parcel Map No. 2024-11: A request by Allen Williams to subdivide a 4.89-acre parcel into three parcels, to separate existing development from a vacant parcel planned for a subdivision, in the R-1-5 (Single-Family Residential, 5,000 square foot minimum site area) Zone.

---

**DESCRIPTION - Nature, Purpose, & Beneficiaries of Project**

City of Visalia, Attn: Cristobal Carrillo, 315 E. Acequia Avenue, Visalia CA 93291, (559) 713-4443, [cristobal.carrillo@visalia.city](mailto:cristobal.carrillo@visalia.city)

---

**NAME OF LEAD AGENCY APPROVING PROJECT**

Allen Williams, 2042 North Quincy Street, Visalia CA 93291, (559) 967-8089, [awilliams@awe-inc.com](mailto:awilliams@awe-inc.com)

---

**NAME AND ADDRESS OF APPLICANT CARRYING OUT PROJECT**

Allen Williams, AW Engineering, 810 West Acequia Avenue, Visalia CA 93291, (559) 713-6139, [awilliams@awe-inc.com](mailto:awilliams@awe-inc.com)

---

**NAME AND ADDRESS OF AGENT CARRYING OUT PROJECT**

**EXEMPT STATUS:** (Check one)

- ☒ Ministerial - Section 15183  
☐ Emergency Project - Section 15071  
☐ Categorical Exemption - State type and Section number:  
☐ Statutory Exemptions- State code number:

The project is consistent with a Community Plan, General Plan, or Zoning and its related development density, for which an environmental impact report (EIR) has been certified (i.e., City of Visalia General Plan General Plan Program EIR certified by Resolution No. 2014-37, adopted on October 14, 2014); therefore, the project is ministerially exempt under the findings of State CEQA Guidelines Section 15183.

---

**REASON FOR PROJECT EXEMPTION**

Brandon Smith, Principal Planner

**CONTACT PERSON**

(559) 713-4636

**AREA CODE/PHONE**

January 18, 2023

**DATE**

**Brandon Smith, AICP  
ENVIRONMENTAL  
COORDINATOR**





November 12, 2024

**Site Plan Review No. 2024-210:**

Pursuant to Zoning Ordinance Chapter 17.28 the Site Plan Review process has found that your application complies with the general plan, municipal code, policies, and improvement standards of the city. A copy of each Departments/Divisions comments that were discussed with you at the Site Plan Review meeting are attached to this document.

Based upon Zoning Ordinance Section 17.28.070, this is your Site Plan Review determination. However, your project requires discretionary action as stated on the attached Site Plan Review comments. You may now proceed with filing discretionary applications to the Planning Division.

This is your Site Plan Review Permit; your Site Plan Review became effective **September 18, 2024**. A site plan review permit shall lapse and become null and void one year following the date of approval unless, prior to the expiration of one year, a building permit is issued by the building official, and construction is commenced and diligently pursued toward completion.

If you have any questions regarding this action, please call the Community Development Department at (559) 713-4359.

Respectfully,

A blue ink signature of Paul Bernal, written in a cursive style.

Paul Bernal  
Community Development Director  
315 E. Acequia Ave.  
Visalia, CA 93291

**Attachment(s):**

- Site Plan Review Comments



MEETING DATE

September 18, 2024

SITE PLAN NO.

2024-210

PARCEL MAP NO.

SUBDIVISION

LOT LINE ADJUSTMENT NO.

Enclosed for your review are the comments and decisions of the Site Plan Review committee. Please review all comments since they may impact your project.

☐ **RESUBMIT** Major changes to your plans are required. Prior to accepting construction drawings for building permit, your project must return to the Site Plan Review Committee for review of the revised plans.

☐ During site plan design/policy concerns were identified, schedule a meeting with

☐ Planning

☐ Engineering prior to resubmittal plans for Site Plan Review.

☐ Solid Waste

☐ Parks and Recreation

☐ Fire Dept.

☒ **REVISE AND PROCEED** (see below)

☐ A revised plan addressing the Committee comments and revisions must be submitted for Off-Agenda Review and approval prior to submitting for building permits or discretionary actions.

☐ Submit plans for a building permit between the hours of 9:00 a.m. and 4:00 p.m., Monday through Friday.

☒ Your plans must be reviewed by:

☐ CITY COUNCIL

☐ REDEVELOPMENT

☒ PLANNING COMMISSION

☐ PARK/RECREATION

☒ TSM

☐ HISTORIC PRESERVATION

☐ OTHER – Lot Line Adjustment

☒ **ADDITIONAL COMMENTS:**

If you have any questions or comments, please call the Site Plan Review Hotline at (559) 713-4440  
Site Plan Review Committee

# SITE PLAN REVIEW COMMENTS

**Cristobal Carrillo, Planning Division (559) 713-4443**

Date: September 18, 2024

SITE PLAN NO: 2024-210  
PROJECT: Allen Williams  
DESCRIPTION: 24 LOT SINGLE FAMILY DEVELOPMENT. REF. 2024-172  
APPLICANT: JESSE WILLIAMS  
LOCATION TITLE: EAST OF THE E. PROSPECT AVE AND N. CAIN ST INTERSECTION  
APN TITLE: 098-470-001  
GENERAL PLAN: Residential Low Density  
ZONING: R-1-5 (Single Family Residential, 5,000 square foot minimum site area)

## **Planning Division Recommendation:**

- ☒ Revise and Proceed  
☐ Resubmit

## **Project Requirements**

- Tentative Subdivision Map

## **PROJECT SPECIFIC INFORMATION:** September 18, 2024

1. The proposal meets density requirements for the Residential Low Density land use designation (2-10 units per acre).
2. The following shall be required at project submittal:
  - a. Tentative Subdivision Map, including the following:
    - i. Site Plan;
    - ii. Phasing Plan;
    - iii. Landscape Plan;
    - iv. Operational Statement/Project Narrative;
    - v. Street Cross Sections
    - vi. Building Elevations, if possible.  
sides of the second story.
3. Fencing/block wall details shall be provided on the site plan, including material, height, and location.
4. A sewer analysis shall be provided for the project.
5. A seven foot tall block wall shall be required along the western property boundary of Lot 1. The block wall shall be reduced to a height of 3 feet within the 15 foot front yard setback area.
6. The applicant shall verify that Lot 23 has a minimum 1,250 square feet of open space within the 25 ft. rear yard setback, in order to permit five-foot encroachment of the main residence into the rear yard.
7. Provide street side lot widths for Lots 11 through 16.
8. The applicant shall depict the proposed height, material, and location of the fencing for Lot 23.
9. Comply with requirements of the Traffic Engineering and Engineering Divisions.

## **Notes:**

1. The applicant shall contact the San Joaquin Valley Air Pollution Control District to verify whether additional permits are required through the District.
2. Prior to a final for the project, a signed Certificate of Compliance for the MWELo standards is required indicating that the landscaping has been installed to MWELo standards.



Sections of the Municipal Code to review:

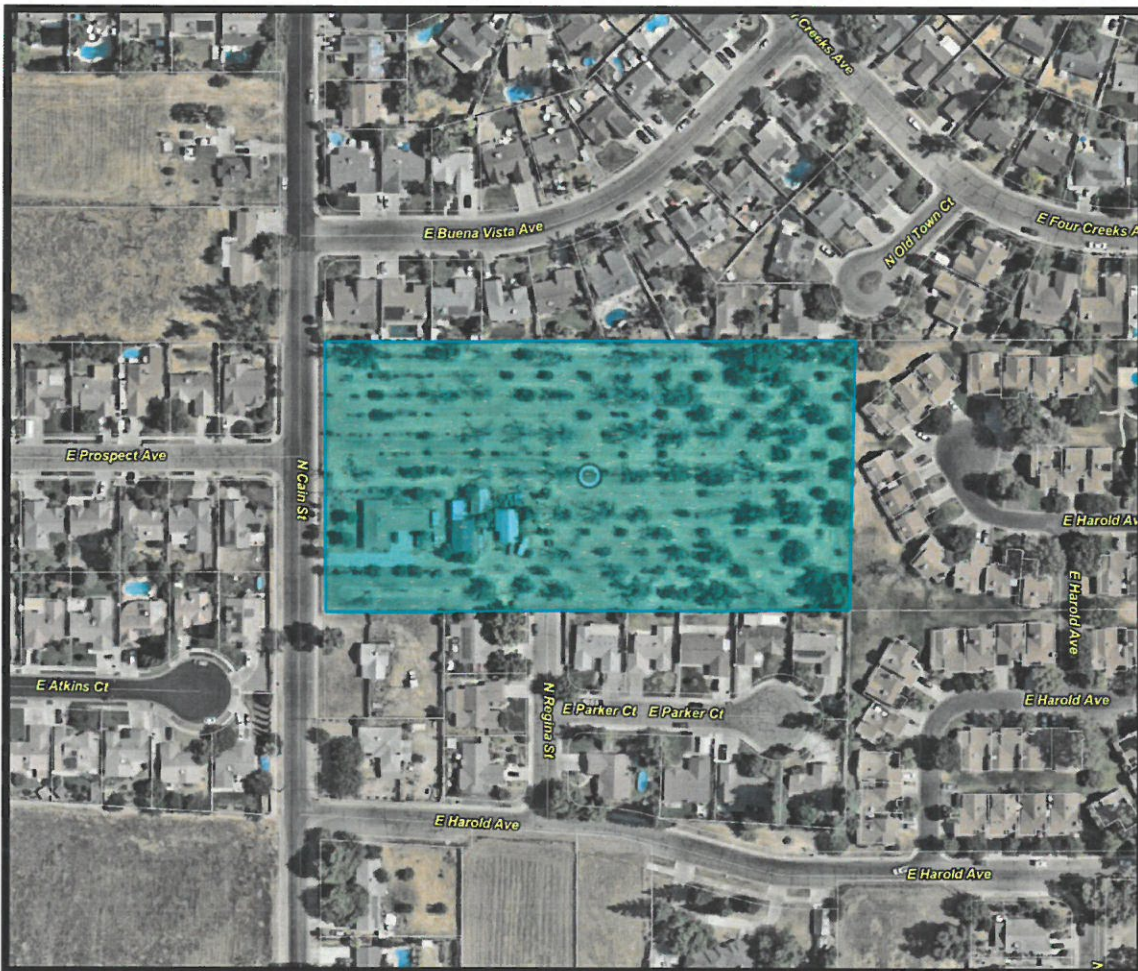
- Title 16 Subdivisions
- 17.12 Single-Family Residential Zone
- 17.32.080 Maintenance of landscaped areas
- 17.34 Off-street parking and loading facilities
  - 17.34.020(A)(1) Single-family dwelling
- 17.36 Fences Walls and Hedges
  - 17.36.030 Single-family residential zones

Accessible at <https://codelibrary.amlegal.com/codes/visalia/latest/overview>

**NOTE: Staff recommendations contained in this document are not to be considered support for a particular action or project unless otherwise stated in the comments. The comments found on this document pertain to the site plan submitted for review on the above referenced date. Any changes made to the plan submitted must be submitted for additional review.**



Signature: \_\_\_\_\_



**SUBDIVISION & PARCEL MAP  
REQUIREMENTS  
ENGINEERING DIVISION**

☐ Edelma Gonzalez 713-4364  
☐ Sarah MacLennan 713-4271  
☒ Luqman Ragabi 713-4362

ITEM NO: 2 DATE: SEPTEMBER 18, 2024

SITE PLAN NO.: 24-210  
PROJECT TITLE: TSM, 24 SFD ON 5 ACRES.  
DESCRIPTION: 24 SINGLE FAMILY LOTS ON 5 ACRES WITH  
NEW HOME SIZED VARYING FROM 1-1.8 KSF  
APPLICANT: JESSE ALLEN WILLIAMS  
PROP. OWNER: EDMONDS BERT D & MARY J  
LOCATION: NEC OF HAROLD AVE AND CAIN ST.  
APPROXIMATELY 250' NORTH OF HAROLD AVE.  
APN: 098-470-001

**SITE PLAN REVIEW COMMENTS**

- ☒ REQUIREMENTS (Indicated by checked boxes)
- ☒ Submit improvements plans detailing all proposed work; ☒ Subdivision Agreement will detail fees & bonding requirements
- ☒ Bonds, certificate of insurance, cash payment of fees/inspection, and approved map & plan required prior to approval of Final Map.
- ☒ The Final Map & Improvements shall conform to the Subdivision Map Act, the City's Subdivision Ordinance and Standard Improvements.
- ☒ A preconstruction conference is required prior to the start of any construction.
- ☒ Right-of-way dedication required. A title report is required for verification of ownership. ☒ by map ☐ by deed  
**LOCAL STREETS AND CAIN ST.**
- ☒ City Encroachment Permit Required which shall include an approved traffic control plan.
- ☐ CalTrans Encroachment Permit Required. ☒ CalTrans comments required prior to tentative parcel map approval. CalTrans contacts: David Deel (Planning) 488-4088
- ☒ Landscape & Lighting District/Home Owners Association required prior to approval of Final Map. Landscape & Lighting District will maintain common area landscaping, street lights, street trees and local streets as applicable. Submit completed Landscape and Lighting District application and filing fee a min. of 75 days before approval of Final Map. **FORMATION OF LLD REQUIRED**
- ☒ Landscape & irrigation improvement plans to be submitted for each phase. Landscape plans will need to comply with the City's street tree ordinance. The locations of street trees near intersections will need to comply with Plate SD-1 of the City improvement standards. A street tree and landscape master plan for all phases of the subdivision will need to be submitted with the initial phase to assist City staff in the formation of the landscape and lighting assessment district.
- ☒ Dedicate landscape lots to the City that are to be maintained by the Landscape & Lighting District.
- ☒ Northeast Specific Plan Area: Application for annexation into Northeast District required 75 days prior to Final Map approval.
- ☐ Written comments required from ditch company. Contacts: James Silva 747-1177 for Modoc, Persian, Watson, Oakes, Flemming, Evans Ditch and Peoples Ditches; Paul Hendrix 686-3425 for Tulare Irrigation Canal, Packwood and Cameron Creeks; Bruce George 747-5601 for Mill Creek and St. John's River.
- ☐ Final Map & Improvements shall conform to the City's Waterways Policy. ☐ Access required on ditch bank, 12' minimum. ☐ Provide wide riparian dedication from top of bank.
- ☒ Sanitary Sewer master plan for the entire development shall be submitted for approval prior to approval of any portion of the system. The sewer system will need to be extended to the boundaries of the development where future connection and extension is anticipated. The sewer system will need to be sized to serve any future developments that are anticipated to connect to the system. **INSTALL NEW SS LATERAL TO SERVICE EACH PARCEL**
- ☒ Grading & Drainage plan required. If the project is phased, then a master plan is required for the entire project area that shall include pipe network sizing and grades and street grades. ☒ Prepared by registered civil engineer or project architect. ☒ All elevations shall be based on the City's benchmark network. Storm run-off from the project shall be handled as follows: a) ☒ directed to the City's existing storm drainage system; b) ☐ directed to a permanent on-site basin; or c) ☐ directed to a temporary on-site basin is required until a connection with adequate capacity is available to the City's storm drainage system. On-site basin:



- : maximum side slopes, perimeter fencing required, provide access ramp to bottom for maintenance. **CONNECT & EXTEND SD MAIN ON CAIN AND REGINA ST TO SERVICE DEVELOPMENT.**
- ☒ Show Valley Oak trees with drip lines and adjacent grade elevations. ☒ Protect Valley Oak trees during construction in accordance with City requirements. ☒ A permit is required to remove Valley Oak trees. Contact Public Works Admin at (559)713-4428 for a Valley Oak tree evaluation or permit to remove. ☒ Valley Oak tree evaluations by a certified arborist are required to be submitted to the City in conjunction with the tentative map application. ☒ A pre-construction conference is required.
  - ☒ Show adjacent property grade elevations on improvement plans. A retaining wall will be required for grade differences greater than 0.5 feet at the property line.
  - ☐ Relocate existing utility poles and/or facilities.
  - ☒ Underground all existing overhead utilities within the project limits. Existing overhead electrical lines over 50kV shall be exempt from undergrounding. **REQUIRED WITH FRONTAGE IMPROVEMENTS**
  - ☒ Provide "R" value tests: **AT INTERSECTIONS AND 1 each at 300' INTERVALS**
  - ☒ Traffic indexes per city standards: **REFER TO CITY LOCAL & COLLECTOR PAVEMENT STDS**
  - ☒ All public streets within the project limits and across the project frontage shall be improved to their full width, subject to available right of way, in accordance with City policies, standards and specifications. **CAIN STREET**
  - ☒ All lots shall have separate drive approaches constructed to City Standards. **REFER TO CITY STDS**
  - ☒ Install street striping as required by the City Engineer. **TO BE DETERMINED AT TIME OF CIVIL REVIEW**
  - ☒ Install sidewalk: **5' ft. wide, with 5' ft. wide parkway on CAIN & INTERNAL STREETS**
  - ☒ Cluster mailbox supports required at 1 per 2 lots, or use postal unit (contact the Postmaster at 732-8073).
  - ☐ Subject to existing Reimbursement Agreement to reimburse prior developer:
  - ☒ Abandon existing wells per City of Visalia Code. A building permit is required.
  - ☒ Remove existing irrigation lines & dispose off-site. ☒ Remove existing leach fields and septic tanks.
  - ☒ Fugitive dust will be controlled in accordance with the applicable rules of San Joaquin Valley Air District's Regulation VIII. Copies of any required permits will be provided to the City.
  - ☒ If the project requires discretionary approval from the City, it may be subject to the San Joaquin Valley Air District's Rule 9510 Indirect Source Review per the rule's applicability criteria. A copy of the approved AIA application will be provided to the City.
  - ☒ If the project meets the one acre of disturbance criteria of the State's Storm Water Program, then coverage under General Permit Order 2009-0009-DWQ is required and a Storm Water Pollution Prevention Plan (SWPPP) is needed. A copy of the approved permit and the SWPPP will be provided to the City.
- ☒ Comply with prior comments   ☐ Resubmit with additional information   ☒ Redesign required

**Additional Comments:**

1. ***Proposed TSM will incur development impact fees for acreage and residential use. Refer to page 4 for fee estimates due at time of final map recording. Infill credit only apply to commercial or office projects that meet criteria outlined in the City's Development Fee Schedule.***
2. ***Frontage improvements are required along Cain St. Cain St is considered a collector status roadway with a local street cross section. Frontage improvements along Cain St. to comply with collector standards. update map to show existing sidewalk adjacent to curb and gutter.***
3. ***Frontage Improvement shall include, but may not be limited to, pavement, curb, gutter, 5' sidewalk, 5' parkway with street tree, blockwall, sewer laterals, street lights, and utility relocation/undergrounding.***
4. ***Regina St. local cross section is per old local standard of 52' ROW. A transition from old to current 60' ROW is required and will need to be shown with the site plan. >> Transition is shown on site plan.***
5. ***Update Local St. cross section. Sidewalk to be located behind parkway area and not back of curb. >> site plan updated.***
6. ***Coordinate with city staff for City subdivision map requirements and processing fees.***



- 7. City record shows the existing residence is not connected to City sewer system. Project is required to install SS lateral to service existing residence with subdivision improvements. >> still applies.**
- 8. When the septic system fails for existing SF residence, Lot 24 will be required to connect to City sanitary sewer system.>> Still applies.**
- 9. Subdivision is subject to the NE District Specific Plan. See NE district fees.**
- 10. Street lighting shall be installed per current City standards for local and collector streets. City owns and maintains all new street lighting. Electrical plans shall be submitted with civil plans. Provide voltage drop calcs.**
- 11. Strategically place mailbox clusters within 10' of a street as required by City standards.**
- 12. A Landscape and Lighting District will need to be formed for subdivision.**
- 13. Provide diagonal pedestrian ramp at curb returns.**
- 14. Site plan to revise cul-de-sac design to show compliance with City Std. P-16. >> Site plan updated.**
- 15. Provide 10' wide lettered outlot, and block wall along parce 1. A 2' blockwall footing easement will be required along lot adjacent to the block wall.>> shown on site plan**
- 16. The existing drive approach on Cain will need to be upgraded to current City Standards & widened to accommodate ingress and egress for both lots 23 & 24. Refer to city standard C-22 & C-25.**

## SUMMARY OF APPLICABLE DEVELOPMENT IMPACT FEES

Site Plan No: **24-210**

Date: **09/18/2024**

**Summary of applicable Development Impact Fees to be collected at the time of final/parcel map recordation:**

**(Preliminary estimate only! Final fees will be based on approved subdivision map & improvements plans and the fee schedule in effect at the time of recordation.)**

(Fee Schedule Date: **08/17/2024**)

(Project type for fee rates: **(TENTATIVE SUBDIVISION MAP)**)

☒ Existing uses may qualify for credits on Development Impact Fees. **EXISTING SFD**

<u>FEE ITEM</u>	<u>FEE RATE</u>
<input checked="" type="checkbox"/> Trunk Line Capacity Fee	<b>\$1,018/UNIT</b>
<input checked="" type="checkbox"/> Sewer Front Foot Fee	<b>\$55/LF X 330 (CAIN ST.)</b>
<input type="checkbox"/> Storm Drainage Acquisition Fee	
<input type="checkbox"/> Park Acquisition Fee	
<input checked="" type="checkbox"/> Northeast Acquisition Fee Total	<b>\$1,037/UNIT</b>
Storm Drainage	<b>\$228/UNIT</b>
Block Walls	<b>\$447/UNIT</b>
Parkway Landscaping	<b>\$82/UNIT</b>
Bike Paths	
<input checked="" type="checkbox"/> Waterways Acquisition Fee	<b>\$3,300/AC</b>

**Additional Development Impact Fees will be collected at the time of issuance of building permits.**

### City Reimbursement:

- 1.) No reimbursement shall be made except as provided in a written reimbursement agreement between the City and the developer entered into prior to commencement of construction of the subject planned facilities.
- 2.) Reimbursement is available for the development of arterial/collector streets as shown in the City's Circulation Element and funded in the City's transportation impact fee program. The developer will be reimbursed for construction costs and right of way dedications as outlined in Municipal Code Section 16.44. Reimbursement unit costs will be subject to those unit costs utilized as the basis for the transportation impact fee.
- 3.) Reimbursement is available for the construction of storm drain trunk lines and sanitary sewer trunk lines shown in the City's Storm Water Master Plan and Sanitary Sewer System Master Plan. The developer will be reimbursed for construction costs associated with the installation of these trunk lines.

  
\_\_\_\_\_  
**Luqman Ragabi**

**City of Visalia**  
**Building: Site Plan**  
**Review Comments**

SPR 24210  
ALLEN WILLIAMS  
1716 N CAIN STREET

NOTE: These are general comments and DO NOT constitute a complete plan check for your specific project  
Please refer to the applicable California Code & local ordinance for additional requirements.

- ☐ A building permit will be required. *For information call (559) 713-4444*
- ☐ Submit 1 digital set of professionally prepared plans and 1 set of calculations. *(Small Tenant Improvements)*
- ☐ Submit 1 digital set of plans prepared by an architect or engineer. Must comply with 2016 California Building Cod Sec. 2308 for conventional light-frame construction or submit 1 digital set of engineered calculations.
- ☐ Indicate abandoned wells, septic systems and excavations on construction plans.
- You are responsible to ensure compliance with the following checked items:
- ☐ Meet State and Federal requirements for accessibility for persons with disabilities.
- ☐ A path of travel, parking and common area must comply with requirements for access for persons with disabilities.
- ☐ All accessible units required to be adaptable for persons with disabilities.
- ☐ Maintain sound transmission control between units minimum of 50 STC.
- ☐ Maintain fire-resistive requirements at property lines.
- ☐ A demolition permit & deposit is required. *For information call (559) 713-4444*
- ☐ Obtain required permits from San Joaquin Valley Air Pollution Board. *For information call (661) 392-5500*
- ☐ Plans must be approved by the Tulare County Health Department. *For information call (559) 624-8011*
- ☐ Project is located in flood zone \_\_\_\_\_ \* ☐ Hazardous materials report.
- ☐ Arrange for an on-site inspection. (Fee for inspection \$157.00) *For information call (559) 713-4444*
- ☐ School Development fees.
- ☐ Park Development fee \$ \_\_\_\_\_, per unit collected with building permits.
- ☐ Additional address may be required for each structure located on the site. *For information call (559) 713-4320*
- ☐ Acceptable as submitted
- ☒ No comments at this time

Additional comments: \_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

VAL GARCIA 9/18/24  
Signature





City of Visalia  
Police Department  
303 S. Johnson St.  
Visalia, CA 93292  
(559) 713-4370

Date: 09/18/24  
Item: 2  
Site Plan: SPR24210  
Name: Robert Avalos

**Site Plan Review Comments**

- ☒ No Comment at this time.
- ☐ Request opportunity to comment or make recommendations as to safety issues as plans are developed.
- ☐ Public Safety Impact Fee:  
Ordinance No. 2001-11 Chapter 16.48 of Title 16 of the Visalia Municipal Code  
Effective date - August 17, 2001.
- ☐ Impact fees shall be imposed by the City pursuant to this Ordinance as a condition of or in conjunction with the approval of a development project. "New Development or Development Project" means any new building, structure or improvement of any parcels of land, upon which no like building, structure of improvement previously existed. \*Refer to Engineering Site Plan comments for fee estimation.
- ☐ Not enough information provided. Please provide additional information pertaining to:
  - ☐ Territorial Reinforcement: Define property lines (private/public space).
  - ☐ Access Controlled/ Restricted etc.
  - ☐ Lighting Concerns:
  - ☐ Traffic Concerns:
  - ☐ Surveillance Issues:
  - ☐ Line of Sight Issues:
  - ☐ Other Concerns:

# SITE PLAN REVIEW COMMENTS

## CITY OF VISALIA TRAFFIC SAFETY DIVISION

September 18, 2024

ITEM NO: 2      Added to Agenda      MEETING TIME: 09:15  
SITE PLAN NO: [SPR24210](#)      ASSIGNED TO: Cristobal Carrillo [Cristobal.Carrillo@visalia.city](mailto:Cristobal.Carrillo@visalia.city)  
PROJECT TITLE: Allen Williams  
DESCRIPTION: 24 lot single family development. Ref. SPR 2024-172.  
APPLICANT: Jesse Williams - Applicant  
Jesse Williams - Applicant  
OWNER: EDMONDS BERT D & MARY J  
APN: 098470001  
ADDRESS: 1716 N CAIN ST  
LOCATION: East of the E. Prospect Ave. and N. Cain St. intersection.

THE TRAFFIC DIVISION WILL PROHIBIT ON-STREET PARKING AS DEEMED NECESSARY

- ☐ No Comments
- ☐ See Previous Site Plan Comments
- ☒ Install Street Light(s) per City Standards at time of development.
- ☒ Install Street Name Blades at Locations at time of development.
- ☒ Install Stop Signs at **local road intersection with collector/arterial** Locations.
- ☐ Construct parking per City Standards PK-1 through PK-4 at time of development.
- ☒ Construct drive approach per City Standards at time of development.
- ☐ Traffic Impact Analysis required (CUP)
  - ☐ Provide more traffic information such as . Depending on development size, characteristics, etc., a TIA may be required.

- ☐ Additional traffic information required (Non Discretionary)
  - ☐ Trip Generation - Provide documentation as to concurrence with General Plan.
  - ☐ Site Specific - Evaluate access points and provide documentation of conformance with COV standards. If noncomplying, provide explanation.
  - ☐ Traffic Impact Fee (TIF) Program - Identify improvements needed in concurrence with TIF.

**Additional Comments:**

- Cain is a collector status roadway. Driveway on Cain needs to be reconstructed to comply with City standards.

*Leslie Blair*

---

**Leslie Blair**



CITY OF VISALIA  
**SOLID WASTE DIVISION**  
**336 N. BEN MADDUX**  
**VISALIA CA. 93291**  
**713 - 4532**  
**COMMERCIAL BIN SERVICE**

24210

September 18, 2024

<input type="checkbox"/>	No comments.
<input checked="" type="checkbox"/>	See comments below
<input type="checkbox"/>	Revisions required prior to submitting final plans. See comments below.
<input type="checkbox"/>	Resubmittal required. See comments below.
<input checked="" type="checkbox"/>	Customer responsible for all cardboard and other bulky recyclables to be broken down before disposing of in recycle containers
<input type="checkbox"/>	ALL refuse enclosures must be city standard R-1 OR R-2 & R-3 OR R-4
<input type="checkbox"/>	Customer must provide combination or keys for access to locked gates/bins
<input type="checkbox"/>	Type of refuse service not indicated.
<input type="checkbox"/>	Location of bin enclosure not acceptable. See comments below.
<input type="checkbox"/>	Bin enclosure insufficient to comply with state recycling mandates. See comments for suggestions.
<input type="checkbox"/>	Inadequate number of bins to provide sufficient service. See comments below.
<input type="checkbox"/>	Drive approach too narrow for refuse trucks access. See comments below.
<input type="checkbox"/>	Area not adequate for allowing refuse truck turning radius of : Commercial 50 ft. outside 36 ft. inside; Residential 35 ft. outside, 20 ft. inside.
<input checked="" type="checkbox"/>	Paved areas should be engineered to withstand a 55,000 lb. refuse truck.
<input type="checkbox"/>	Bin enclosure gates are required
<input type="checkbox"/>	Hammerhead turnaround must be built per city standards.
<input checked="" type="checkbox"/>	Cul - de - sac must be built per city standards.
<input type="checkbox"/>	Bin enclosures are for city refuse containers only. Grease drums or any other items are not allowed to be stored inside bin enclosures.
<input type="checkbox"/>	Area in front of refuse enclosure must be marked off indicating no parking
<input type="checkbox"/>	Enclosure will have to be designed and located for a STAB service (DIRECT ACCESS) with no less than 38' clear space in front of the bin, included the front concrete pad.
<input type="checkbox"/>	Customer will be required to roll container out to curb for service.
<input type="checkbox"/>	Must be a concrete slab in front of enclosure as per city standards, the width of the enclosure by ten(10) feet, minimum of six(6) inches in depth.
<input type="checkbox"/>	Roll off compactor's must have a clearance of 3 feet from any wall on both sides and there must be a minimum of 53 feet clearance in front of the compactor to allow the truck enough room to provide service.
<input type="checkbox"/>	City ordinance 8.28.120-130 (effective 07/19/18) requires contractor to contract with City for removal of construction debris unless transported in equipment owned by contractor or unless contracting with a franchise permittee for removal of debris utilizing roll-off boxes.
<input type="checkbox"/>	City standard (3-can) residential services to be assigned per address.
<input type="checkbox"/>	Jason Serpa, Solid Waste Manager, 559-713-4533 Edward Zuniga, Solid Waste Supervisor, 559-703-4338
<input type="checkbox"/>	Nathan Garza, Solid Waste, 559-713-4532



## CALIFORNIA WATER SERVICE

**Visalia District** 216 North Valley Oaks Drive  
Visalia, CA 93292 Tel: (559) 624-1600

### Site Plan Review Comments From:

California Water Service  
Scott McNamara, Superintendent  
216 N Valley Oaks Dr.  
Visalia, CA 93292  
559-624-1622  
[smcnamara@calwater.com](mailto:smcnamara@calwater.com)

Date: 09/18/2024

Item #: 2

Site Plan #: 24-210

Project:

Description: 24 single family lots

Applicant: Jesse Williams

APN: 098-470-001

Address: 1716 N Cain

### The following comments are applicable when checked:

- ☐ No New Comments
- ☐ Pulled from agenda

#### ☒ Water Mains

##### *Comments:*

- ☒ - Water main fronting your project on North Cain Street. Your project will need to install a water main on the interior of your project, and it will need to be tied into the water main on Cain Street and Regina Street.
- ☐ - No existing water main fronting this project

#### ☒ Water Services

##### *Comments:*

- ☐ - Existing service(s) at this location.
  - ☐ - Domestic/Commercial
  - ☐ - Irrigation
  - ☐ - Fire Protection

The following will be paid for by the property owner/developer:

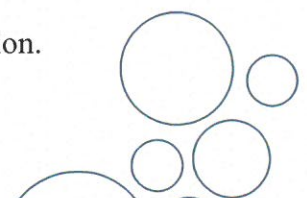
- Any additional services for the project.
- Relocation of any existing service that is to land within a new drive approach.
- Abandonment of any existing service that is not utilized.
- If the existing service(s) is not sufficient in size to meet the customer's demand:
  - Installation of the correct size service.
  - Abandonment of the insufficient size service.

- ☒ - Service(s) will need to be installed for this project.

#### ☒ Fire Hydrants

##### *Comments:*

- Fire hydrants will be installed per the Visalia Fire Departments requirements.
- If new fire hydrants are required for your project off an existing water main:
  - Cal Water will utilize our own contractor (West Valley) for the installation.







-This work is to be paid for by the property owner/developer.

## CALIFORNIA WATER SERVICE

### ☒ **Backflow Requirements**

#### ***Comments:***

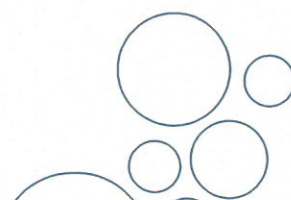
A backflow is required if any parcel meets any of the following parameters:

- Designated as multi-family
- Commercial building
- Has multiple dwellings (residential or commercial)
- Has multiple services
  - Any combination of the following:
    - Domestic/Commercial
    - Irrigation
    - Fire Protection

Please contact Cross Connection Control Specialist Juan Cisneros at 559-624-1670 or [visaliabackflow@calwater.com](mailto:visaliabackflow@calwater.com) for a backflow install packet.

### **Additional Comments:**

- ☒ If your project requires the installation of Cal Water facilities, please contact New Business Superintendent Mike Andrada at 559-624-1689 or [mandrada@calwater.com](mailto:mandrada@calwater.com) to receive your new business packet to start your project with Cal Water.
- ☒ Cal Water may work with the developer to purchase a piece of property for a future tank site and/or a new source of water.
- ☒ If Cal Water infrastructure is to be installed on private property, a dedicated easement will be required for our infrastructure.
- ☒ If you need to request existing utility information, please contact Construction Superintendent Scott McNamara at [smcnamara@calwater.com](mailto:smcnamara@calwater.com) for the information and requirements needed to obtain this information.
- ☒ If a fire flow is needed for your project, please contact Distribution Superintendent Alex Cardoso at 559-624-1661 or [lcardoso@calwater.com](mailto:lcardoso@calwater.com) for information and requirements.
- ☒ If you need a construction meter for your project, please call our Operations Center at 559-624-1650.
- ☐ If you need to sign up for an existing service, please call 559-624-1600.







November 5, 2024

**Site Plan Review No. 2024-227:**

Pursuant to Zoning Ordinance Chapter 17.28 the Site Plan Review process has found that your application complies with the general plan, municipal code, policies, and improvement standards of the city. A copy of each Departments/Divisions comments that were discussed with you at the Site Plan Review meeting are attached to this document.

Based upon Zoning Ordinance Section 17.28.070, this is your Site Plan Review determination. However, your project requires discretionary action as stated on the attached Site Plan Review comments. You may now proceed with filing discretionary applications to the Planning Division.

This is your Site Plan Review Permit; your Site Plan Review became effective **October 9, 2024**. A site plan review permit shall lapse and become null and void one year following the date of approval unless, prior to the expiration of one year, a building permit is issued by the building official, and construction is commenced and diligently pursued toward completion.

If you have any questions regarding this action, please call the Community Development Department at (559) 713-4359.

Respectfully,

A handwritten signature in blue ink, appearing to read "Paul Bernal".

Paul Bernal  
Community Development Director  
315 E. Acequia Ave.  
Visalia, CA 93291

**Attachment(s):**

- Site Plan Review Comments



MEETING DATE October 9, 2024  
SITE PLAN NO. 2024-227  
PARCEL MAP NO.  
SUBDIVISION  
LOT LINE ADJUSTMENT NO.

Enclosed for your review are the comments and decisions of the Site Plan Review committee. Please review all comments since they may impact your project.

☐ **RESUBMIT** Major changes to your plans are required. Prior to accepting construction drawings for building permit, your project must return to the Site Plan Review Committee for review of the revised plans.

☐ During site plan design/policy concerns were identified, schedule a meeting with

☐ Planning

☐ Engineering prior to resubmittal plans for Site Plan Review.

☐ Solid Waste

☐ Parks and Recreation

☐ Fire Dept.

☒ **REVISE AND PROCEED** (see below)

☐ A revised plan addressing the Committee comments and revisions must be submitted for Off-Agenda Review and approval prior to submitting for building permits or discretionary actions.

☐ Submit plans for a building permit between the hours of 7:30 a.m. and 5:00 p.m., Monday through Thursday, offices closed on Fridays.

☒ Your plans must be reviewed by:

☐ CITY COUNCIL

☐ REDEVELOPMENT

☒ PLANNING COMMISSION

☐ PARK/RECREATION

☒ Tentative Parcel Map (TPM)

☐ HISTORIC PRESERVATION

☒ OTHER:

☐ ADDITIONAL COMMENTS:

Recommend concurrent file with  
Tentative Subdivision Map (TSM)

If you have any questions or comments, please call the Site Plan Review Hotline at (559) 713-4440  
Site Plan Review Committee



# SITE PLAN REVIEW COMMENTS

Colleen A. Moreno, Planning Division, (559) 713-4031

Date: October 9, 2024

SITE PLAN NO: 2024-227  
PROJECT: Ken Turner  
DESCRIPTION: TENTATIVE PARCEL MAP – 3 LOTS  
APPLICANT: JESSE WILLIAMS  
LOCATION: 1716 N CAIN ST  
APN TITLE: 098-470-001  
ZONING: R-1-5 (Single-Family Residential, 5,000 square foot minimum site area)

## Planning Division Recommendation:

- ☒ Revise and Proceed  
☐ Resubmit

## Project Requirements

- Tentative Parcel Map (TPM)

## **PROJECT SPECIFIC INFORMATION:** October 9, 2024

1. A Tentative Parcel Map (TPM) shall be required.
2. It is recommended that the applicant file the TPM concurrently with the Tentative Subdivision Map (TSM) for the future subdivision.
3. With TPM submittal, an Operational Statement shall be provided describing the project.
4. An access easement for Lot 2 shall be recorded with development.
5. A site plan shall be provided with the TPM proposal identifying all existing and proposed structures and fencing on the project site, and their setbacks.

## **NOTES:**

1. The applicant shall contact the San Joaquin Valley Air Pollution Control District to verify whether additional permits are required through the District.
2. Prior to a final for the project, a signed Certificate of Compliance for the MWEL0 standards is required indicating that the landscaping has been installed to MWEL0 standards.

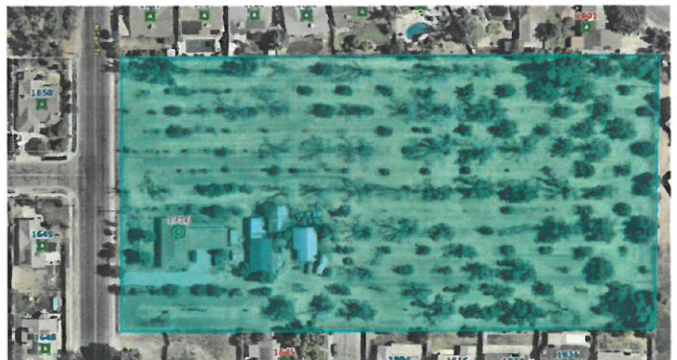
## Applicable sections of the Visalia Municipal Code:

- 17.12 Single-Family Residential Zone
- 17.36 Fences, Walls and Hedges

Accessible at <https://codelibrary.amlegal.com/codes/visalia/latest/overview>

NOTE: Staff recommendations contained in this document are not to be considered support for a particular action or project unless otherwise stated in the comments. The comments found on this document pertain to the site plan submitted for review on the above referenced date. Any changes made to the plan submitted must be submitted for additional review.

Signature: \_\_\_\_\_





**SUBDIVISION & PARCEL MAP  
REQUIREMENTS  
ENGINEERING DIVISION**

☒ Edelma Gonzalez 713-4364  
☐ Sarah MacLennan 713-4271  
☐ Luqman Ragabi 713-4362

ITEM NO: 4 DATE: OCTOBER 9<sup>TH</sup>, 2024

SITE PLAN NO.: 24-227  
PROJECT TITLE: KEN TURNER  
DESCRIPTION: TENTATIVE PARCEL MAP - 3 LOTS  
APPLICANT: JESSE ALLEN WILLIAMS  
PROP. OWNER: WILLIAMS JESSE ALLEN  
LOCATION: 1716 N CAIN ST. EAST OF CAIN STREET, NORTH  
OF HOUSTON AVENUE  
APN: 098-470-001

**SITE PLAN REVIEW COMMENTS**

- ☒ REQUIREMENTS (Indicated by checked boxes)
- ☐ Submit improvements plans detailing all proposed work; ☐ Subdivision Agreement will detail fees & bonding requirements
- ☐ Bonds, certificate of insurance, cash payment of fees/inspection, and approved map & plan required prior to approval of Final Map.
- ☐ The Final Map & Improvements shall conform to the Subdivision Map Act, the City's Subdivision Ordinance and Standard Improvements.
- ☐ A preconstruction conference is required prior to the start of any construction.
- ☒ Right-of-way dedication required. A title report is required for verification of ownership. ☒ by map ☐ by deed  
**CAIN ST.**
- ☐ City Encroachment Permit Required which shall include an approved traffic control plan.
- ☐ CalTrans Encroachment Permit Required. ☐ CalTrans comments required prior to tentative parcel map approval. CalTrans contacts: David Deel (Planning) 488-4088
- ☒ Landscape & Lighting District/Home Owners Association required prior to approval of Final Map. Landscape & Lighting District will maintain common area landscaping, street lights, street trees and local streets as applicable. Submit completed Landscape and Lighting District application and filing fee a min. of 75 days before approval of Final Map.
- ☒ Landscape & irrigation improvement plans to be submitted for each phase. Landscape plans will need to comply with the City's street tree ordinance. The locations of street trees near intersections will need to comply with Plate SD-1 of the City improvement standards. A street tree and landscape master plan for all phases of the subdivision will need to be submitted with the initial phase to assist City staff in the formation of the landscape and lighting assessment district.
- ☒ Dedicate landscape lots to the City that are to be maintained by the Landscape & Lighting District.
- ☒ Northeast Specific Plan Area: Application for annexation into Northeast District required 75 days prior to Final Map approval.
- ☐ Written comments required from ditch company. Contacts: James Silva 747-1177 for Modoc, Persian, Watson, Oakes, Flemming, Evans Ditch and Peoples Ditches; Paul Hendrix 686-3425 for Tulare Irrigation Canal, Packwood and Cameron Creeks; Bruce George 747-5601 for Mill Creek and St. John's River.
- ☐ Final Map & Improvements shall conform to the City's Waterways Policy. ☐ Access required on ditch bank, 12' minimum. ☐ Provide wide riparian dedication from top of bank.
- ☒ Sanitary Sewer master plan for the entire development shall be submitted for approval prior to approval of any portion of the system. The sewer system will need to be extended to the boundaries of the development where future connection and extension is anticipated. The sewer system will need to be sized to serve any future developments that are anticipated to connect to the system. **INSTALL NEW SS LATERAL TO SERVICE EACH PARCEL AT TIME OF DEVELOPMENT OF NEW PARCELS**
- ☒ Grading & Drainage plan required. If the project is phased, then a master plan is required for the entire project area that shall include pipe network sizing and grades and street grades. ☐ Prepared by registered civil engineer or project architect. ☒ All elevations shall be based on the City's benchmark network. Storm run-off from the project shall be handled as follows: a) ☒ directed to the City's existing storm drainage system; b) ☐ directed to a permanent on-site basin; or c) ☐ directed to a temporary on-site basin is required until a connection with adequate capacity is available to the City's storm drainage system. On-site basin:

: maximum side slopes, perimeter fencing required, provide access ramp to bottom for maintenance.

- ☒ Show Valley Oak trees with drip lines and adjacent grade elevations. ☒ Protect Valley Oak trees during construction in accordance with City requirements. ☒ A permit is required to remove Valley Oak trees. Contact Public Works Admin at (559)713-4428 for a Valley Oak tree evaluation or permit to remove. ☒ Valley Oak tree evaluations by a certified arborist are required to be submitted to the City in conjunction with the tentative map application. ☒ A pre-construction conference is required.
- ☐ Show adjacent property grade elevations on improvement plans. A retaining wall will be required for grade differences greater than 0.5 feet at the property line.
- ☐ Relocate existing utility poles and/or facilities.
- ☒ Underground all existing overhead utilities within the project limits. Existing overhead electrical lines over 50kV shall be exempt from undergrounding. **REQUIRED WITH FRONTAGE IMPROVEMENTS AT TIME OF DEVELOPMENT OF NEW PARCELS.**
- ☐ Provide "R" value tests: each at
- ☐ Traffic indexes per city standards:
- ☒ All public streets within the project limits and across the project frontage shall be improved to their full width, subject to available right of way, in accordance with City policies, standards and specifications. **CAIN STREET AT TIME OF DEVELOPMENT OF NEW PARCELS.**
- ☒ All lots shall have separate drive approaches constructed to City Standards. **REFER TO CITY STDS. PARCEL 1 AND 2 SHALL SHARE DRIVE APPROACH.**
- ☐ Install street striping as required by the City Engineer.
- ☒ Install sidewalk: 5' ft. wide, with 5' ft. wide parkway on **CAIN ST.**
- ☐ Cluster mailbox supports required at 1 per 2 lots, or use postal unit (contact the Postmaster at 732-8073).
- ☐ Subject to existing Reimbursement Agreement to reimburse prior developer:
- ☒ Abandon existing wells per City of Visalia Code. A building permit is required.
- ☒ Remove existing irrigation lines & dispose off-site. ☒ Remove existing leach fields and septic tanks.
- ☒ Fugitive dust will be controlled in accordance with the applicable rules of San Joaquin Valley Air District's Regulation VIII. Copies of any required permits will be provided to the City.
- ☒ If the project requires discretionary approval from the City, it may be subject to the San Joaquin Valley Air District's Rule 9510 Indirect Source Review per the rule's applicability criteria. A copy of the approved AIA application will be provided to the City.
- ☒ If the project meets the one acre of disturbance criteria of the State's Storm Water Program, then coverage under General Permit Order 2009-0009-DWQ is required and a Storm Water Pollution Prevention Plan (SWPPP) is needed. A copy of the approved permit and the SWPPP will be provided to the City.

☐ Comply with prior comments ☐ Resubmit with additional information ☐ Redesign required

**Additional Comments:**

1. ***Proposed TPM will incur development impact fees for acreage and residential use. Refer to page 4 for fee estimates due at time of development of new parcel.***
2. ***At time of development on new parcels, frontage improvements are required along Cain St. Cain St which is considered a collector status roadway with a local street cross section. Frontage improvements along Cain St. to comply with collector standards.***
3. ***At time of development on new parcels, frontage Improvement shall include, but may not be limited to, pavement, curb, gutter, 5' sidewalk, 5' parkway with street tree, sewer laterals, street lights, and utility relocation/undergrounding.***
4. ***Coordinate with city staff for City parcel map requirements and processing fees.***
5. ***City record shows the existing residence is not connected to City sewer system. Project is required to install SS lateral to service existing residence with development of new parcel.***
6. ***Parcel Map is subject to the NE District Specific Plan and will need to be annexed. See NE district fees.***

7. *At time of development on new parcels, the existing drive approach on Cain will need to be upgraded to current City Standards & widened to accommodate ingress and egress for both parcels 1 & 2. Refer to city standard C-22 & C-25.*



## SUMMARY OF APPLICABLE DEVELOPMENT IMPACT FEES

Site Plan No: **24-227**

Date: **10/09/2024**

**Summary of applicable Development Impact Fees to be collected at the time of final/parcel map recordation:**

**(Preliminary estimate only! Final fees will be based on approved subdivision map & improvements plans and the fee schedule in effect at the time of recordation.)**

(Fee Schedule Date: **08/17/2024**)

(Project type for fee rates: **(TENTATIVE PARCEL MAP)**)

☒ Existing uses may qualify for credits on Development Impact Fees. **EXISTING SFD**

<u>FEE ITEM</u>	<u>FEE RATE</u>
<input checked="" type="checkbox"/> Trunk Line Capacity Fee	<b>\$1,018/UNIT AT TIME OF DEVELOPMENT OF PARCEL</b>
<input checked="" type="checkbox"/> Sewer Front Foot Fee	<b>\$55/LF (CAIN ST.) AT TIME OF DEVELOPMENT OF PARCEL</b>
<input type="checkbox"/> Storm Drainage Acquisition Fee	
<input type="checkbox"/> Park Acquisition Fee	
<input checked="" type="checkbox"/> Northeast Acquisition Fee Total	<b>\$1,037/UNIT</b>
Storm Drainage	<b>\$228/UNIT</b>
Block Walls	<b>\$447/UNIT</b>
Parkway Landscaping	<b>\$82/UNIT</b>
Bike Paths	<b>AT TIME OF DEVELOPMENT OF PARCEL</b>
<input type="checkbox"/> Waterways Acquisition Fee	<b>\$3,300/AC AT TIME OF DEVELOPMENT OF PARCEL</b>

**Additional Development Impact Fees will be collected at the time of issuance of building permits.**

### City Reimbursement:

- 1.) No reimbursement shall be made except as provided in a written reimbursement agreement between the City and the developer entered into prior to commencement of construction of the subject planned facilities.
- 2.) Reimbursement is available for the development of arterial/collector streets as shown in the City's Circulation Element and funded in the City's transportation impact fee program. The developer will be reimbursed for construction costs and right of way dedications as outlined in Municipal Code Section 16.44. Reimbursement unit costs will be subject to those unit costs utilized as the basis for the transportation impact fee.
- 3.) Reimbursement is available for the construction of storm drain trunk lines and sanitary sewer trunk lines shown in the City's Storm Water Master Plan and Sanitary Sewer System Master Plan. The developer will be reimbursed for construction costs associated with the installation of these trunk lines.



**Edelma Gonzalez**

City of Visalia  
Building: Site Plan  
Review Comments

SPR 24227  
KEN TURNER  
1716 N CAN ST.

NOTE: These are general comments and DO NOT constitute a complete plan check for your specific project  
Please refer to the applicable California Code & local ordinance for additional requirements.

- ☐ A building permit will be required. *For information call (559) 713-4444*
- ☐ Submit 1 digital set of professionally prepared plans and 1 set of calculations. *(Small Tenant Improvements)*
- ☐ Submit 1 digital set of plans prepared by an architect or engineer. Must comply with 2016 California Building Cod Sec. 2308 for conventional light-frame construction or submit 1 digital set of engineered calculations.
- ☐ Indicate abandoned wells, septic systems and excavations on construction plans.
- You are responsible to ensure compliance with the following checked items:
- ☐ Meet State and Federal requirements for accessibility for persons with disabilities.
- ☐ A path of travel, parking and common area must comply with requirements for access for persons with disabilities.
- ☐ All accessible units required to be adaptable for persons with disabilities.
- ☐ Maintain sound transmission control between units minimum of 50 STC.
- ☐ Maintain fire-resistive requirements at property lines.
- ☐ A demolition permit & deposit is required. *For information call (559) 713-4444*
- ☐ Obtain required permits from San Joaquin Valley Air Pollution Board. *For information call (661) 392-5500*
- ☐ Plans must be approved by the Tulare County Health Department. *For information call (559) 624-8011*
- ☐ Project is located in flood zone \_\_\_\_\_ \* ☐ Hazardous materials report.
- ☐ Arrange for an on-site inspection. (Fee for inspection \$157.00) *For information call (559) 713-4444*
- ☐ School Development fees.
- ☐ Park Development fee \$ \_\_\_\_\_, per unit collected with building permits.
- ☐ Additional address may be required for each structure located on the site. *For information call (559) 713-4320*
- ☐ Acceptable as submitted
- ☒ No comments at this time

Additional comments: \_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

VAL GARCIA 10/9/24  
Signature

**Site Plan Comments**

Visalia Fire Department  
Corbin Reed, Fire Marshal  
420 N. Burke  
Visalia CA 93292  
559-713-4272 office  
prevention.division@visalia.city

Date	October 9, 2024
Item #	4
Site Plan #	24227
APN:	09870001

- The Site Plan Review comments are issued as **general overview** of your project. With further details, additional requirements will be enforced at the Plan Review stage. Please refer to the 2022 California Fire Code (CFC), 2022 California Building Codes (CBC) and City of Visalia Municipal Codes.
- Fire protection items are not required to be installed for **parcel map or lot line adjustment** at this time; however, any developments taking place on these parcels will be subject to fire & life safety requirements including fire protection systems and fire hydrants in accordance with all applicable sections of the California Fire Code.

Corbin Reed  
Fire Marshal





City of Visalia  
Police Department  
303 S. Johnson St.  
Visalia, CA 93292  
(559) 713-4370

Date: 10/09/24  
Item: 4  
Site Plan: SPR24227  
Name: Austin Huerta

### Site Plan Review Comments

- ☒ No Comment at this time.
- ☐ Request opportunity to comment or make recommendations as to safety issues as plans are developed.
- ☐ Public Safety Impact Fee:  
Ordinance No. 2001-11 Chapter 16.48 of Title 16 of the Visalia Municipal Code  
Effective date - August 17, 2001.
- ☐ Impact fees shall be imposed by the City pursuant to this Ordinance as a condition of or in conjunction with the approval of a development project. "New Development or Development Project" means any new building, structure or improvement of any parcels of land, upon which no like building, structure of improvement previously existed. \*Refer to Engineering Site Plan comments for fee estimation.
- ☐ Not enough information provided. Please provide additional information pertaining to:
  - ☐ Territorial Reinforcement: Define property lines (private/public space).
  - ☐ Access Controlled/ Restricted etc.
  - ☐ lighting Concerns:
  - ☐ Traffic Concerns:
  - ☐ Surveillance Issues:
  - ☐ Line of Sight Issues:
  - ☐ Other Concerns:

# SITE PLAN REVIEW COMMENTS

CITY OF VISALIA TRAFFIC SAFETY DIVISION

October 9, 2024

ITEM NO: 4      Added to Agenda      MEETING TIME: 09:45  
SITE PLAN NO: [SPR24227](#)      ASSIGNED TO: Colleen Moreno [Colleen.Moreno@visalia.city](mailto:Colleen.Moreno@visalia.city)  
PROJECT TITLE: Ken Turner  
DESCRIPTION: TENTATIVE PARCEL MAP- 3 LOTS  
APPLICANT: JESSE WILLIAMS - Applicant  
OWNER: EDMONDS BERT D (TRS)  
APN: 098470001  
ADDRESS: 1716 N CAIN ST  
LOCATION: EAST OF CAIN STREET, NORTH OF HOUSTON

THE TRAFFIC DIVISION WILL PROHIBIT ON-STREET PARKING AS DEEMED NECESSARY

- ☐ No Comments
- ☐ See Previous Site Plan Comments
- ☐ Install Street Light(s) per City Standards at time of development.
- ☐ Install Street Name Blades at Locations at time of development.
- ☐ Install Stop Signs at **local road intersection with collector/arterial** Locations.
- ☐ Construct parking per City Standards PK-1 through PK-4 at time of development.
- ☒ Construct drive approach per City Standards at time of development.
- ☐ Traffic Impact Analysis required (CUP)
  - ☐ Provide more traffic information such as . Depending on development size, characteristics, etc., a TIA may be required.

- ☐ Additional traffic information required (Non Discretionary)
  - ☐ Trip Generation - Provide documentation as to concurrence with General Plan.
  - ☐ Site Specific - Evaluate access points and provide documentation of conformance with COV standards.  
If noncomplying, provide explanation.
  - ☐ Traffic Impact Fee (TIF) Program - Identify improvements needed in concurrence with TIF.

**Additional Comments:**

- Joint access driveway approach required to be reconstructed to City standards.

---

*Leslie Blair*  
**Leslie Blair**



CITY OF VISALIA  
SOLID WASTE DIVISION  
336 N. BEN MADDOX  
VISALIA CA. 93291  
713 - 4532  
COMMERCIAL BIN SERVICE

24227

October 9, 2024

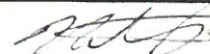
- ☐ No comments.
- ☒ See comments below
- ☐ Revisions required prior to submitting final plans. See comments below.
- ☐ Resubmittal required. See comments below.
- ☐ Customer responsible for all cardboard and other bulky recyclables to be broken down before disposing of in recycle containers
- ☐ ALL refuse enclosures must be city standard R-1 OR R-2 & R-3 OR R-4
- ☐ Customer must provide combination or keys for access to locked gates/bins
- ☐ Type of refuse service not indicated.
- ☐ Location of bin enclosure not acceptable. See comments below.
- ☐ Bin enclosure insufficient to comply with state recycling mandates. See comments for suggestions.
- ☐ Inadequate number of bins to provide sufficient service. See comments below.
- ☐ Drive approach too narrow for refuse trucks access. See comments below.
- ☐ Area not adequate for allowing refuse truck turning radius of : Commercial 50 ft. outside 36 ft. inside; Residential 35 ft. outside, 20 ft. inside.
- ☐ Paved areas should be engineered to withstand a 55,000 lb. refuse truck.
- ☐ Bin enclosure gates are required
- ☐ Hammerhead turnaround must be built per city standards.
- ☐ Cul - de - sac must be built per city standards.
- ☐ Bin enclosures are for city refuse containers only. Grease drums or any other items are not allowed to be stored inside bin enclosures.
- ☐ Area in front of refuse enclosure must be marked off indicating no parking
- ☐ Enclosure will have to be designed and located for a STAB service (DIRECT ACCESS) with no less than 38' clear space in front of the bin, included the front concrete pad.
- ☐ Customer will be required to roll container out to curb for service.
- ☐ Must be a concrete slab in front of enclosure as per city standards, the width of the enclosure by ten(10) feet, minimum of six(6) inches in depth.
- ☐ Roll off compactor's must have a clearance of 3 feet from any wall on both sides and there must be a minimum of 53 feet clearance in front of the compactor to allow the truck enough room to provide service.
- ☐ City ordinance 8.28.120-130 (effective 07/19/18) requires contractor to contract with City for removal of construction debris unless transported in equipment owned by contractor or unless contracting with a franchise permittee for removal of debris utilizing roll-off boxes.

Comment

Solid Waste has no comments regarding the proposed parcel split.

Jason Serpa, Solid Waste Manager, 559-713-4533  
Edward Zuniga, Solid Waste Supervisor, 559-713-4338

Nathan Garza, Solid Waste, 559-713-4532



## Susan Currier

---

**From:** Jennifer Flores  
**Sent:** Tuesday, October 8, 2024 9:42 AM  
**To:** Susan Currier  
**Cc:** Colleen Moreno  
**Subject:** Site Plan Review Comments 10/9/24  
**Attachments:** SPR24226 10.9.24.pdf; SPR24233 10.9.24 KEN TURNER.pdf; SPR24224 ANGELOS KTICHEN.pdf

Hello,

Here are my comments for this week's site plan review.

SPR24116-1-1- No Comments

SPR24222 - Senior Housing

Need to Know-

- Will there be a Food Service Establishment? Number of meals served per Day?
- If FSE, need a grease trap / food interceptor. Residential

SPR 24223- Residential form

SPR24227- No comments

SPR24224- If there is a grease interceptor or grease trap installed then no comments. FSE questionnaire.

SPR24226- Dental Amalgam Permit

SPR24228- No Comments

If there are any questions, please reach out to me.

*Sincerely,*

***Jennifer Flores***

Pretreatment Coordinator  
City of Visalia, Waste Water Reclamation  
7579 Ave 288, Visalia CA  
Office phone- (559)713-4463  
Work cell- (559) 972-9269





## CALIFORNIA WATER SERVICE

**Visalia District** 216 North Valley Oaks Drive  
Visalia, CA 93292 Tel: (559) 624-1600

### Site Plan Review Comments From:

California Water Service  
Scott McNamara, Superintendent  
216 N Valley Oaks Dr.  
Visalia, CA 93292  
559-624-1622  
[smcnamara@calwater.com](mailto:smcnamara@calwater.com)

Date: 10/09/2024

Item #: 4

Site Plan #: 24-227

Project:

Description: Parcel Map – 3 lots

Applicant: Jesse Williams

APN: 098-470-001

Address: 1716 N Cain

### The following comments are applicable when checked:

- ☒ No Comments on tentative parcel map
- ☐ Pulled from agenda

### ☐ Water Mains

#### *Comments:*

- ☐ - Water main fronting your project
- ☐ - No existing water main fronting this project

### ☐ Water Services

#### *Comments:*

- ☐ - Existing service(s) at this location.
  - ☐ - Domestic/Commercial
  - ☐ - Irrigation
  - ☐ - Fire Protection

The following will be paid for by the property owner/developer:

- Any additional services for the project.
- Relocation of any existing service that is to land within a new drive approach.
- Existing service(s) that are not utilized may need to be abandoned.
- If the existing service(s) is not sufficient in size to meet the customer's demand:
  - Installation of the correct size service.
  - Abandonment of the insufficient size service.

- ☐ - Service(s) will need to be installed for this project.

### ☐ Fire Hydrants

#### *Comments:*

- Fire hydrants will be installed per the Visalia Fire Departments requirements.
- If new fire hydrants are required for your project off an existing water main:
  - Cal Water will utilize our own contractor (West Valley) for the installation.
  - This work is to be paid for by the property owner/developer.







## CALIFORNIA WATER SERVICE

### ☐ **Backflow Requirements**

#### **Comments:**

A backflow is required if any parcel meets any of the following parameters:

- Designated as multi-family
- Commercial building
- Has multiple dwellings (residential or commercial)
- Has multiple services
  - Any combination of the following:
    - Domestic/Commercial
    - Irrigation
    - Fire Protection

Please contact Cross Connection Control Specialist Juan Cisneros at 559-624-1670 or [visaliabackflow@calwater.com](mailto:visaliabackflow@calwater.com) for a backflow install packet.

### **Additional Comments:**

- ☐ If your project requires the installation of Cal Water facilities, please contact New Business Superintendent Mike Andrada at 559-624-1689 or [mandrada@calwater.com](mailto:mandrada@calwater.com) to receive your new business packet to start your project with Cal Water.
- ☐ Cal Water may work with the developer to purchase a piece of property for a future tank site and/or a new source of water.
- ☐ If Cal Water infrastructure is to be installed on private property, a dedicated easement will be required for our infrastructure.
- ☐ If you need to request existing utility information, please contact Construction Superintendent Scott McNamara at [smcnamara@calwater.com](mailto:smcnamara@calwater.com) for the information and requirements needed to obtain this information.
- ☐ If a fire flow is needed for your project, please contact Distribution Superintendent Alex Cardoso at 559-624-1661 or [lcardoso@calwater.com](mailto:lcardoso@calwater.com) for information and requirements.
- ☐ If you need a construction meter for your project, please call our Operations Center at 559-624-1650.
- ☐ If you need to sign up for an existing service, please call 559-624-1600.



## Susan Currier

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**From:** Deel, David@DOT <david.deel@dot.ca.gov>  
**Sent:** Friday, October 25, 2024 11:44 AM  
**To:** Josh Dan; Colleen Moreno; Susan Currier  
**Cc:** Padilla, Dave@DOT  
**Subject:** Caltrans Response to Site Plan Review Agenda - 10-9-2024  
**Attachments:** Visalia SPR Agenda 10-9-2024.pdf

**Follow Up Flag:** Follow up  
**Flag Status:** Flagged

**Josh, Colleen, and Susan:**

This email summarizes Caltrans response to the following site plans:

ITEM NO: 1 SITE PLAN NO: **SPR 24116-1-1** – RESTAURANT, BAR, **NO**  
**COMMENT**

ITEM NO: 2 SITE PLAN NO: **SPR 24222** – VISALIA SENIOR HOUSING COMMERCIAL  
DEVELOPMENT **LETTER SUBMITTED ON OCT 23 2024**

ITEM NO: 3 SITE PLAN NO: **SPR 24223** – 4 MFR UNITS **NO**  
**COMMENT**

ITEM NO: 4 SITE PLAN NO: **SPR 24227** – 3 lot TPM – **NO**  
**COMMENT**

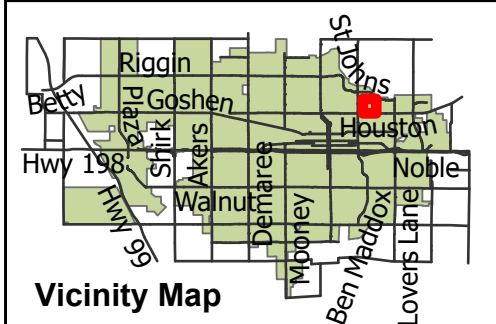
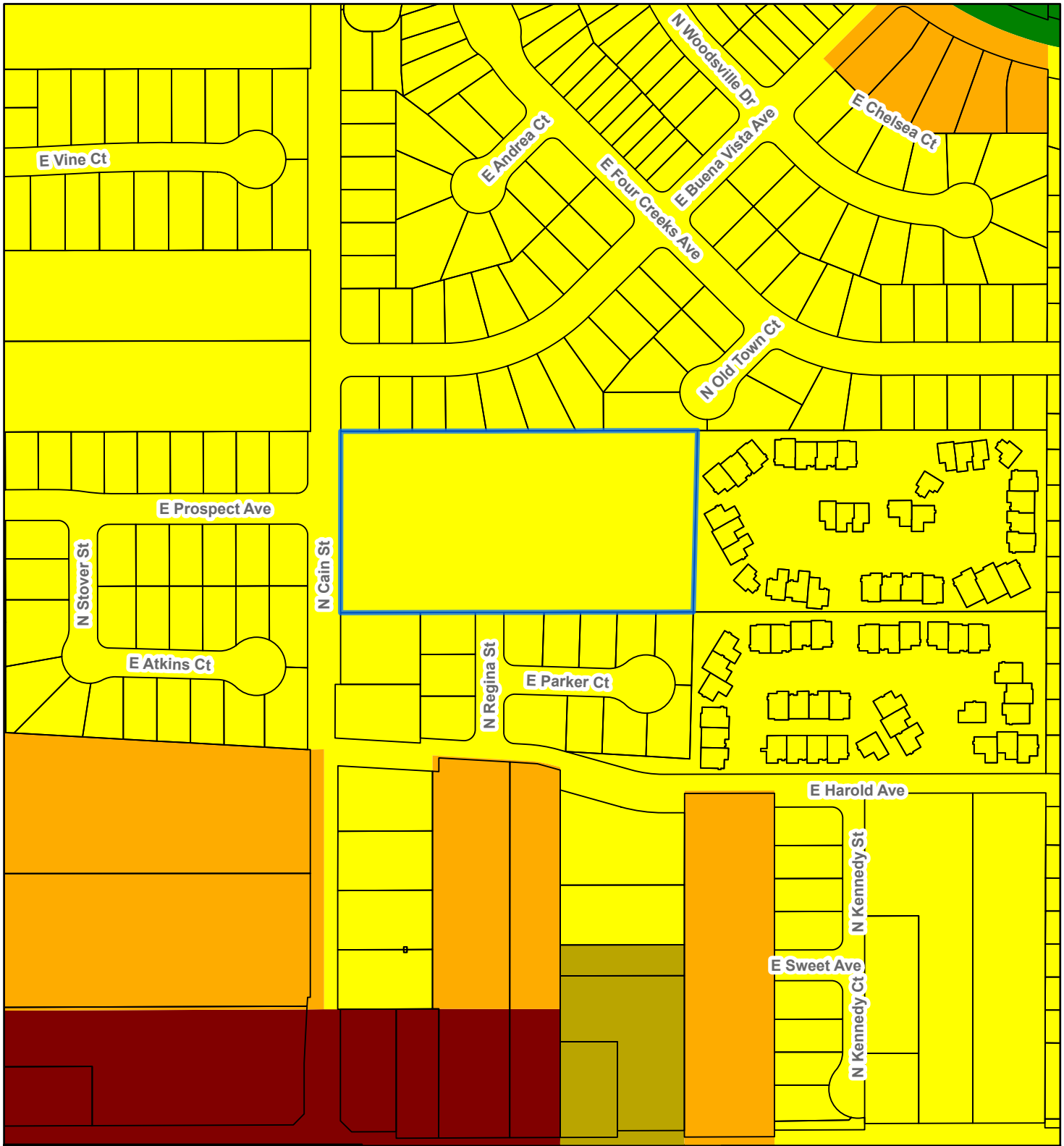
ITEM NO: 5 SITE PLAN NO: **SPR 24224** – Mexican restaurant **NO**  
**COMMENT**

ITEM NO: 6 SITE PLAN NO: **SPR 24226** – Dental Office – **NO**  
**COMMENT**

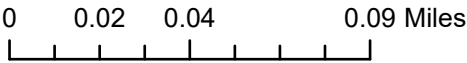
ITEM NO: 7 SITE PLAN NO: **SPR 24228** – Partial Interior Alterations – **NO**  
**COMMENT**

Respectfully,

**David Deel**  
**Associate Transportation Planner**  
**Desk & Mobile: 559.981.1041**



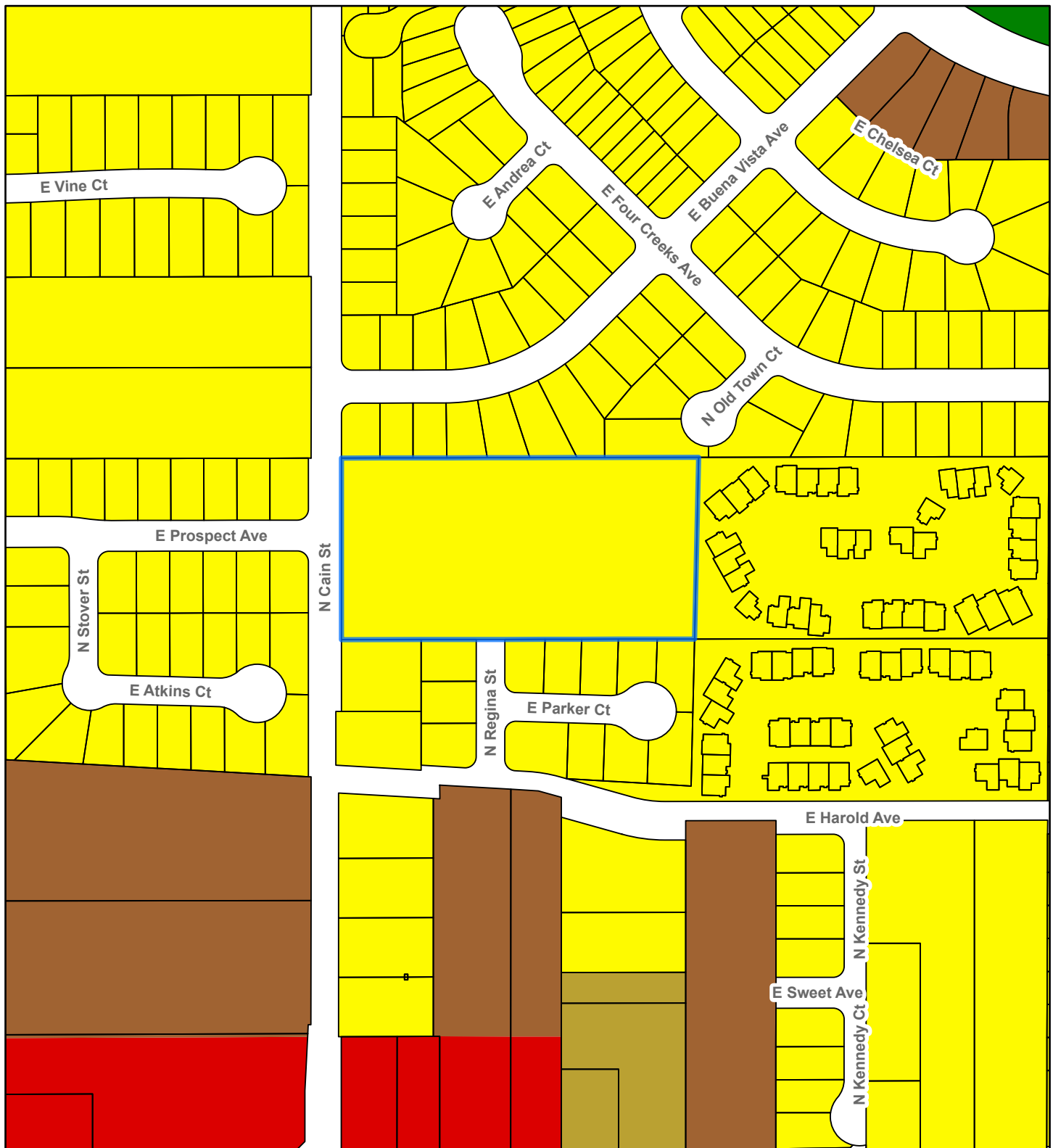
# General Plan Land Use Map



- Commercial Neighborhood
- Parks/Recreation
- Residential High Density
- Residential Low Density
- Residential Medium Density







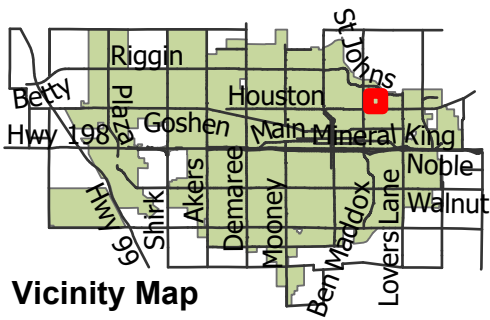
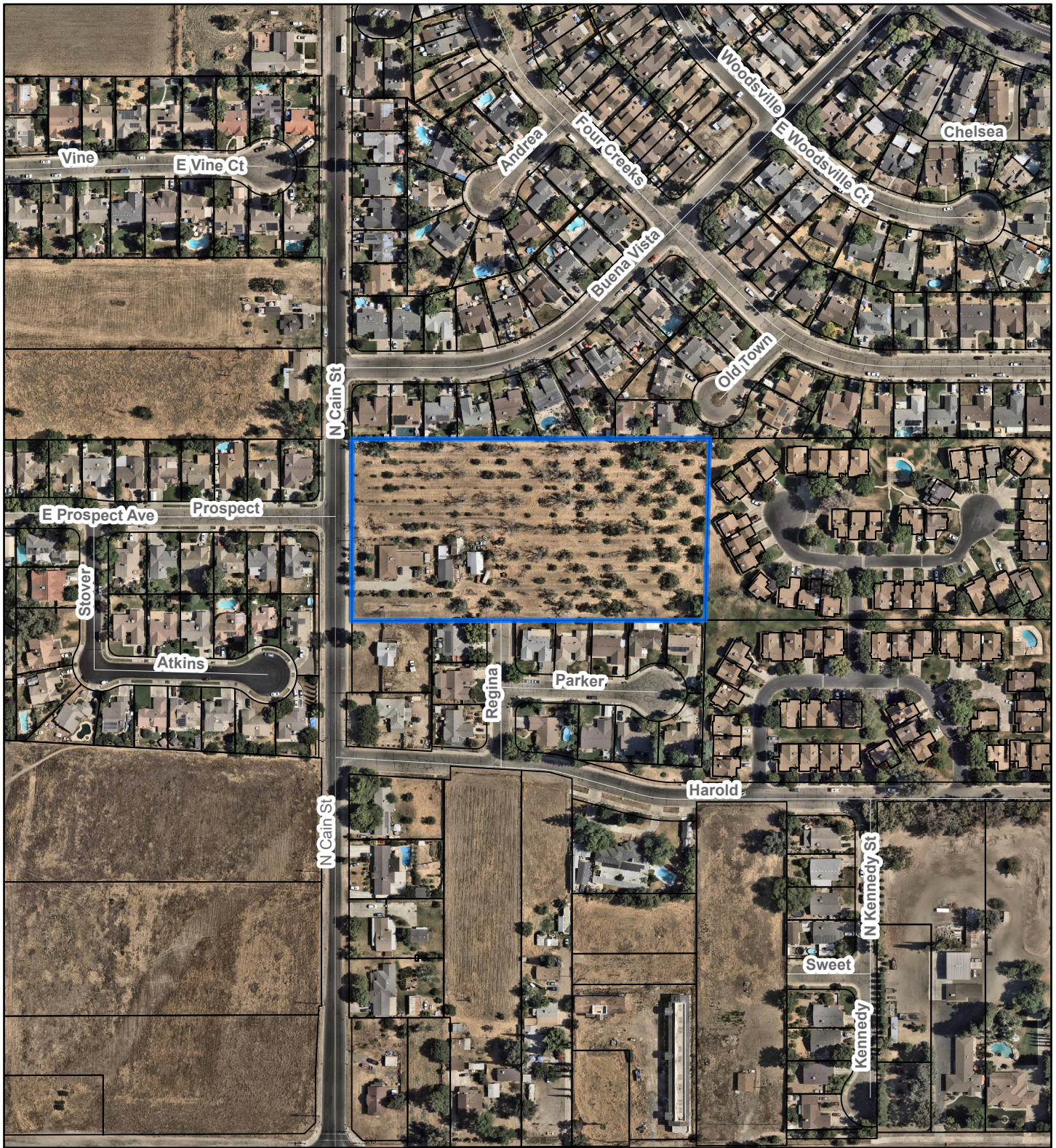
## Zoning Map

0 0.02 0.04 0.09 Miles



- C-N Neighborhood Commercial
- QP Quasi-Public
- R-1-5 Single-family Residential
- R-M-2 Multi-family Residential
- R-M-3 Multi-family Residential





## Aerial Map

0 0.03 0.06 0.11 Miles





