

PLANNING COMMISSION AGENDA

CHAIRPERSON:

Marvin Hansen



VICE CHAIRPERSON:

Adam Peck

COMMISSIONERS: Mary Beatie, Chris Tavarez, Chris Gomez, Adam Peck, Marvin Hansen

MONDAY, OCTOBER 10, 2022
VISALIA COUNCIL CHAMBERS
LOCATED AT 707 W. ACEQUIA AVENUE, VISALIA, CA
MEETING TIME: 7:00 PM

1. CALL TO ORDER –
2. THE PLEDGE OF ALLEGIANCE –
3. CITIZEN'S COMMENTS – This is the time for citizens to comment on subject matters that are not on the agenda but are within the jurisdiction of the Visalia Planning Commission. You may provide comments to the Planning Commission at this time, but the Planning Commission may only legally discuss those items already on tonight's agenda.

The Commission requests that a five (5) minute time limit be observed for Citizen Comments. You will be notified when your five minutes have expired.
4. CHANGES OR COMMENTS TO THE AGENDA –
5. CONSENT CALENDAR - All items under the consent calendar are to be considered routine and will be enacted by one motion. For any discussion of an item on the consent calendar, it will be removed at the request of the Commission and made a part of the regular agenda.
 - a. Finding of Consistency No. 2022-01: A request by Fontana Ranches to revise Conditional Use Permit No. 2021-09, by removing Condition No. 5 requiring a city standard trash enclosure and opting for the three-can residential service for each unit to the site. The project site is located at the southwest corner of South Lovers Lane and East Paradise Avenue (Address: not yet assigned) (APN: 100-200-003).
 - b. Finding of Consistency No. 2022-02: A request by Scott Vincent to amend the site configuration of the previously approved Conditional Use Permit No. 2005-32, which includes removal of private garages, removal of one building, and providing only one and two-bedroom units instead of two and three-bedroom units. The project site is located at the southeast corner of East Walnut Avenue and South Lovers Lane (Address: not yet assigned) (APN: 127-140-003).

6. PUBLIC HEARING – Cristobal Carrillo, Associate Planner

Conditional Use Permit No. 2022-14: A request by John Leuck to construct a 23,400 square foot, two-story medical facility with a 3,300 square foot single-story administration building and accompanying onsite improvements. The project site is zoned O-PA (Professional/Administrative Office) and is located at the northwest corner of South Chinowth Avenue and West Mineral King Avenue (APN: 085-080-034, 035). The project is Categorically Exempt from the California Environmental Quality Act (CEQA) pursuant to CEQA Guidelines Section 15332, Categorical Exemption No. 2022-28.

7. PUBLIC HEARING – Josh Dan, Associate Planner

Conditional Use Permit No. 2022-24: A request by Eric McConnaughey, on behalf of Family Health Care Network, to allow for a new 25,000 square foot, two-story, PACE senior care facility on two parcels totaling 1.7 acres within the C-MU (Commercial Mixed Use) Zone District. The project is located on the southeast corner of North Santa Fe Street and East Murray Avenue. (Address: Not yet assigned) (APNs: 094-250-038 and 094-250-039). The project is Categorically Exempt from the California Environmental Quality Act (CEQA) pursuant to CEQA Guidelines Section 15332, Categorical Exemption No. 2022-54.

8. CITY PLANNER/ PLANNING COMMISSION DISCUSSION –

- a. The next Planning Commission meeting is Monday October 24, 2022.
- b. Annexation No. 2022-01 (Victory Oaks subdivision) scheduled for the October 17th City Council meeting.
- c. Housing Element HTAC meeting scheduled for the week of October 17th and Community Workshop #1 scheduled for week of October 24th.

The Planning Commission meeting may end no later than 11:00 P.M. Any unfinished business may be continued to a future date and time to be determined by the Commission at this meeting. The Planning Commission routinely visits the project sites listed on the agenda.

For Hearing Impaired – Call (559) 713-4900 (TTY) 48-hours in advance of the scheduled meeting time to request signing services.

Any written materials relating to an item on this agenda submitted to the Planning Commission after distribution of the agenda packet are available for public inspection in the City Office, 315 E. Acequia Visalia, CA 93291, during normal business hours.

APPEAL PROCEDURE

THE LAST DAY TO FILE AN APPEAL IS THURSDAY, OCTOBER 20, 2022, BEFORE 5 PM

According to the City of Visalia Zoning Ordinance Section 17.02.145 and Subdivision Ordinance Section 16.04.040, an appeal to the City Council may be submitted within ten days following the date of a decision by the Planning Commission. An appeal form with applicable fees shall be filed with the City Clerk at 220 N. Santa Fe, Visalia, CA 93291. The appeal shall specify errors or abuses of discretion by the Planning Commission, or decisions not supported by the evidence in the record. The appeal form can be found on the city's website www.visalia.city or from the City Clerk.

THE NEXT REGULAR MEETING WILL BE HELD ON MONDAY, OCTOBER 24, 2022



REPORT TO CITY OF VISALIA PLANNING COMMISSION

HEARING DATE: October 10, 2022

PROJECT PLANNER: Josh Dan, Associate Planner
Phone No.: (559) 713-4031
E-mail: josh.dan@visalia.city

SUBJECT: Conditional Use Permit No. 2022-24: A request by Eric McConnaughey, on behalf of the Family Health Care Network, to allow for a new 25,000 square foot, two-story, PACE senior care facility on two parcels totaling 1.7 acres within the C-MU (Commercial Mixed Use) Zone District. The project is located on the southeast corner of North Santa Fe Street and East Murray Avenue. (Address: Not yet assigned) (APNs: 094-250-038 and 094-250-039).

STAFF RECOMMENDATION

Staff recommends that the Planning Commission approve Conditional Use Permit No. 2022-24, based on the findings and conditions in Resolution No. 2022-53. Staff's recommendation is based on the conclusion that the request is consistent with the City's General Plan and Zoning Ordinance.

RECOMMENDED MOTION

I move to approve Conditional Use Permit No. 2022-24 based on the findings and conditions in Resolution No. 2022-53.

PROJECT DESCRIPTION

The Conditional Use Permit is a request by Family Healthcare Network group to construct a new two-story 25,000 square foot building for a PACE (Program of All-Inclusive Care for the Elderly) Senior Center as depicted in the site plan exhibit (see Exhibit "A"). The City's Municipal Code, Table 17.25.030, Lines M55 & M56 lists Clinics and Senior Care Facilities as conditionally permitted uses in the C-MU (Commercial Mixed Use) Zone. The project site is currently vacant with no frontage improvements along any of the street frontages but had been recently used as a storage yard. The site currently has slatted chain link fencing installed around its perimeter.

The PACE model is a national program sponsored through Medicare which enables individuals who are at risk of moving into a nursing home to continue to live safely in their homes and communities. Participants must be 55 years or older, be eligible for nursing home level care based on the State of California criteria, be eligible for Medicaid or Medicare (or be willing to use private insurance or pay privately) and be able to live safely in the community with PACE services. According to the Operational Statement (shown in Exhibit "E"), the facility will provide medical, social, and mental support for seniors, including dental, vision, and transportation. Dental and vision services will be provided at the Family Healthcare Networks clinic located at 401 East School Street.

Further, the Operational Statement describes the use operating during daytime hours, with an estimated 150 participants vanpooling to the site throughout the day, but primarily in the mornings and afternoons. The facility will operate Monday through Friday from 8:00 a.m. to 6:00 p.m. The facility will have an anticipated staffing total of 35 persons on-site.

BACKGROUND INFORMATION

General Plan Land Use Designation:	Downtown Mixed Use
Zoning:	D-MU (Mixed Use Downtown)
Surrounding Zoning and Land Use:	North: C-MU / Vacant office space South: C-MU / Plumbing supply business East: C-S/ SoCal Gas Co. field office West: D-MU / Family Healthcare Network parking lot
Environmental Document	Categorical Exemption No. 2022-29
Site Plan:	Site Plan Review No. 2022-127

RELATED PLANS AND POLICIES

All related plans and policies are reprinted in the attachment to this staff report entitled “Related Plans and Policies”.

RELATED PROJECTS

There is no related project associated with the site.

PROJECT EVALUATION

Staff supports the requested Conditional Use Permit based on project consistency with the General Plan and the Zoning Ordinance.

Land Use Compatibility

The Visalia Zoning Matrix identifies clinics and Senior Care Facility uses as conditional uses in the C-MU (Commercial Mixed Use) zone and requires the submittal and approval of a CUP application. Through the CUP process, potential impacts can be addressed thereby ensuring compatibility between the proposed use and existing surrounding uses. Staff has concluded that the proposed senior center will not have a negative impact on surrounding uses given the fact that the proposed site configuration will produce sufficient on-site parking. Additionally, the site’s proximity to other Family Healthcare Network facilities within the area will provide for a cohesive design characteristic to the area.

Parking and Access

This site will be accessed through vehicle access points at North Santa Fe Street and East School Avenue (as depicted in Exhibit “A”). The site plan details that the proposed site configuration will provide a total of 96 parking stalls for the described medical office and clinic areas of the PACE facility. Municipal Code Sections 17.34.020.B.1 and 17.34.020.F.4 prescribe clinics at one parking spaces for each two hundred (200) square feet of building area or four parking spaces for each doctor, whichever is greater; while offices are calculated at one parking space for each two hundred fifty (250) square feet of building area, respectively. Based on the parking ratios, the site is required to provide a total of 105 parking spaces.

Family Healthcare Network, through the operational statement, contends that the drop-off area that can accommodate their 12 vans used for transportation to the facility for their clientele should be counted towards their required parking. This is based on that fact that their clientele do not drive to the site for appointments and are only brought to the site by their transportation service. Based on this information, staff recommends the Planning Commission approve the use of the area dedicated for van drop-off and pick-up towards the sites overall parking requirement. If approved, this would bring the total parking provided onsite to 108 spaces (96 parking stalls and the 12-van parking area). However, if this request were not approved, staff would assess parking

in-lieu fees on the nine parking stall deficit. The assessment of parking in-lieu fees, which would occur during the plan check process, is allowed based on the site being located in Parking District "A".

Setbacks

The development consists of a medical office and clinic with parking lot. The building will be the only structure proposed on the site. The proposed site plan clearly illustrates that setbacks around the perimeter of the site meet or exceed the minimum requirements for the D-MU zoning district:

	<u>Required:</u>	<u>Proposed:</u>
Front (Murray Ave.)	0 feet	0 feet (North)
Side (Santa Fe & Tipton St.)	0 feet	0 feet (West) – 78-feet (East)
Rear (School Ave.)	0 feet	115.5-feet (South)

The project meets the required setbacks along the street frontage as well as all other sides.

Building Elevations

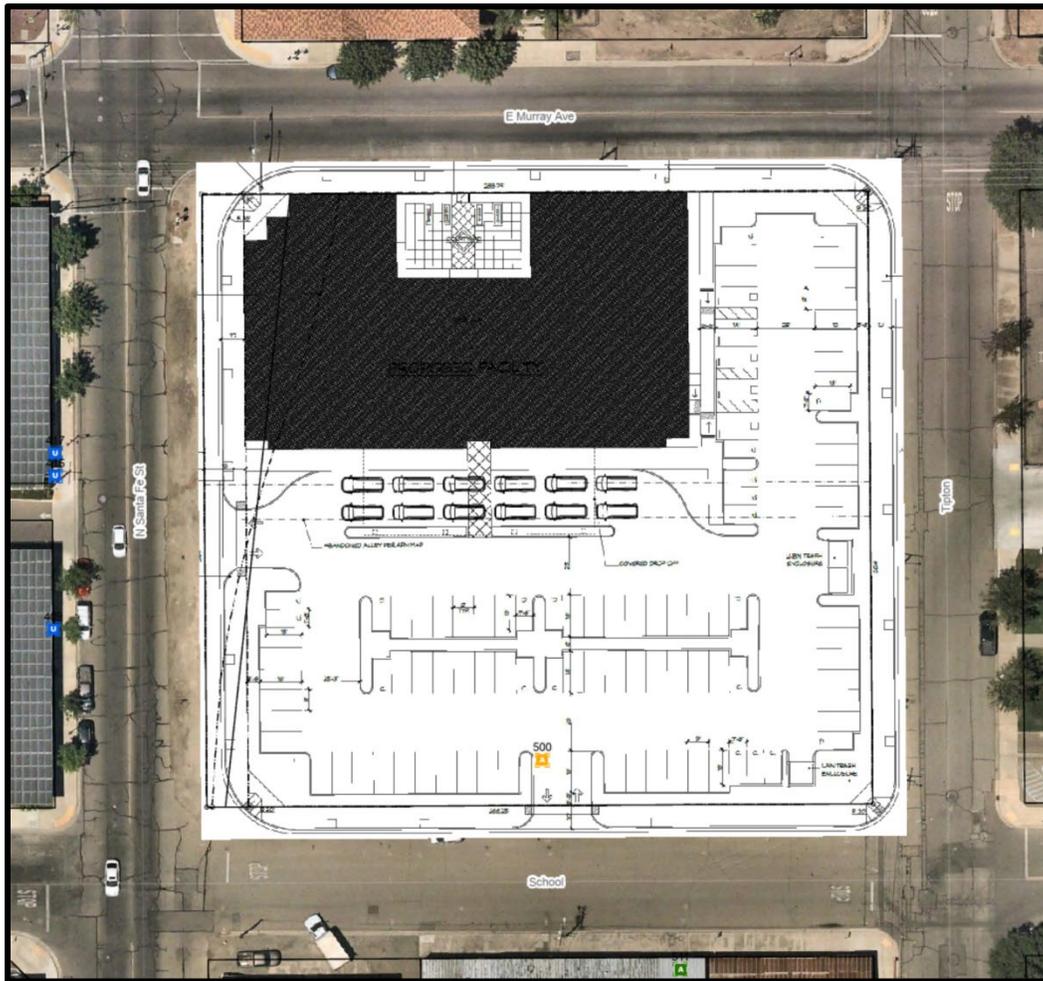
The two-story building will have a contemporary architectural design with modern materials and finishes (see Exhibit "D") that will be architecturally compatible with the new office building that is proposed across the street to the west by the very same Family Healthcare Network. It will also include a flat roof with textured stucco, architectural molding, and a complimentary combination of paint colors that will enhance the contemporary design throughout. The building height will be approximately 34 feet at the top of the parapet with a portion of the façade frontage being 16 feet in height, all of which will be within the 100-foot height limit of the D-MU Zone.

Wrought Iron Fence

The only portion of the site detailed to have fencing (see Exhibit "A") is the courtyard. This portion of the site will be improved with a seven-foot-high wrought iron fence. The fenced area will provide the courtyard area a design feature consistent with the applicant's other proposed office spaces to the west along Murray Avenue.

On-site Improvements

The applicant is proposing significant changes to the site. The proposal will require a Lot Line Adjustment (LLA) to merge the two existing parcels into one unified site. The requirement to complete and record the Lot Line Adjustment before a building permit is finalized is included as Condition No. 4. Additionally, the site, being a full city block, will be fully improved on all four road frontages with curb, gutter, sidewalks, landscaping areas, and streetlights as seen in Exhibit "A" and the image below. Improvements to the westerly frontage at North Santa Fe Street will also incorporate a Class IV bicycle lane, which will need to be coordinated with the City's Capital improvement Project Engineering division.



Environmental Review

The requested action is considered Categorical Exempt under Section 15332 of the Guidelines for the Implementation of the California Environmental Quality Act (CEQA). (Categorical Exemption No. 2022-54).

RECOMMENDED FINDINGS

1. That the proposed project will not be detrimental to the public health, safety, or welfare, or materially injurious to properties or improvements in the vicinity.
2. That the proposed conditional use permit is consistent with the policies and intent of the General Plan and Zoning Ordinance. Specifically, the project is consistent with the required finding of the Zoning Ordinance Section 17.38.110:
 - a. The proposed location of the conditional use permit is in accordance with the objectives of the Zoning Ordinance and the purposes of the zone in which the site is located.
 - b. The proposed location of the conditional use and the conditions under which it would be operated or maintained will not be detrimental to the public health, safety, or welfare, nor materially injurious to properties or improvements in the vicinity.
3. That the project is considered Categorical Exempt under Section 15332 of the Guidelines for the Implementation of the California Environmental Quality Act (CEQA). (Categorical Exemption No. 2022-54).

RECOMMENDED CONDITIONS OF APPROVAL

1. That the project be developed in substantial compliance with the comments from the approved Site Plan Review No. 2022-127.
2. The use shall be operated in substantial compliance with the site plan, floor plan, and operational statement in Exhibits "A", "B", "C", and "F".
3. That substantial changes to the site plan and/or operational plan, or an intensification of the land use wherein the parking demand exceeds the parking required for the land use, may require evaluation by the Site Plan Review committee and/or an amendment to this Conditional Use Permit.
4. That a Lot Line Adjustment shall be submitted and recorded prior to any building permits being finalized.
5. That all fencing comply with Section 17.36.050 Fences, Walls and Hedges of the VMC.
6. That the applicant coordinate with city CIP Engineering staff to incorporate the complete design of the Class IV cycle track along North Santa Fe Street.
7. That any project signage shall be obtained under a separate permit.
8. That all applicable federal, state and city laws, codes and ordinances be met.

APPEAL INFORMATION

According to the City of Visalia Zoning Ordinance Section 17.02.145, an appeal to the City Council may be submitted within ten days following the date of a decision by the Planning Commission. An appeal with applicable fees shall be in writing and shall be filed with the City Clerk at 220 North Santa Fe Street Visalia California. The appeal shall specify errors or abuses of discretion by the Planning Commission, or decisions not supported by the evidence in the record. The appeal form can be found on the city's website www.visalia.city or from the City Clerk.

Attachments:

- Related Plans and Policies
- Resolution No. 2022-53
- Exhibit "A" – Site Plan
- Exhibit "B" – First Floor, Floor Plan
- Exhibit "C" – Second Floor, Floor Plan
- Exhibit "D" – Elevations
- Exhibit "E" – Project Narrative
- Exhibit "F" – Landscape Plan
- Site Plan Review Comments – SPR No. 2022-127
- General Plan Land Use Map
- Zoning Map
- Aerial Photo
- Vicinity Map

Related Plans & Policies
Conditional Use Permits
(Section 17.38)

17.38.010 Purposes and powers

In certain zones conditional uses are permitted subject to the granting of a conditional use permit. Because of their unusual characteristics, conditional uses require special consideration so that they may be located properly with respect to the objectives of the zoning ordinance and with respect to their effects on surrounding properties. In order to achieve these purposes and thus give the zone use regulations the flexibility necessary to achieve the objectives of this title, the planning commission is empowered to grant or deny applications for conditional use permits and to impose reasonable conditions upon the granting of such permits. (Prior code § 7525)

17.38.020 Application procedures

- A. Application for a conditional use permit shall be made to the planning commission on a form prescribed by the commission which shall include the following data:
1. Name and address of the applicant;
 2. Statement that the applicant is the owner of the property or is the authorized agent of the owner;
 3. Address and legal description of the property;
 4. The application shall be accompanied by such sketches or drawings as may be necessary by the planning division to clearly show the applicant's proposal;
 5. The purposes of the conditional use permit and the general description of the use proposed;
 6. Additional information as required by the historic preservation advisory committee.
- B. The application shall be accompanied by a fee set by resolution of the city council sufficient to cover the cost of handling the application. (Prior code § 7526)

17.38.030 Lapse of conditional use permit

A conditional use permit shall lapse and shall become void twenty-four (24) months after the date on which it became effective, unless the conditions of the permit allowed a shorter or greater time limit, or unless prior to the expiration of twenty-four (24) months a building permit is issued by the city and construction is commenced and diligently pursued toward completion on the site which was the subject of the permit. A permit may be renewed for an additional period of one year; provided, that prior to the expiration of twenty-four (24) months from the date the permit originally became effective, an application for renewal is filed with the planning commission. The commission may grant or deny an application for renewal of a conditional use permit. In the case of a planned residential development, the recording of a final map and improvements thereto shall be deemed the same as a building permit in relation to this section. (Ord. 2001-13 § 4 (part), 2001: prior code § 7527)

17.38.040 Revocation

Upon violation of any applicable provision of this title, or, if granted subject to a condition or conditions, upon failure to comply with the condition or conditions, a conditional use permit shall be suspended automatically. The planning commission shall hold a public hearing within sixty (60) days, in accordance with the procedure prescribed in Section 17.38.080, and if not satisfied that the regulation, general provision or condition is being complied with, may revoke the permit or take such action as may be necessary to insure compliance with the regulation, general provision or condition. Appeals of the decision of the planning commission may be made to the city council as provided in Section 17.38.120. (Prior code § 7528)

17.38.050 New application

Following the denial of a conditional use permit application or the revocation of a conditional use permit, no application for a conditional use permit for the same or substantially the same conditional use on the same or substantially the same site shall be filed within one year from the date of denial or revocation of the permit unless such denial was a denial without prejudice by the planning commission or city council. (Prior code § 7530)

17.38.060 Conditional use permit to run with the land

A conditional use permit granted pursuant to the provisions of this chapter shall run with the land and shall continue to be valid upon a change of ownership of the site or structure which was the subject of the permit application subject to the provisions of Section 17.38.065. (Prior code § 7531)

17.38.065 Abandonment of conditional use permit

If the use for which a conditional use permit was approved is discontinued for a period of one hundred eighty (180) days, the use shall be considered abandoned and any future use of the site as a conditional use will require the approval of a new conditional use permit.

17.38.070 Temporary uses or structures

- A. Conditional use permits for temporary uses or structures may be processed as administrative matters by the city planner and/or planning division staff. However, the city planner may, at his/her discretion, refer such application to the planning commission for consideration.
- B. The city planner and/or planning division staff is authorized to review applications and to issue such temporary permits, subject to the following conditions:
 1. Conditional use permits granted pursuant to this section shall be for a fixed period not to exceed thirty (30) days for each temporary use not occupying a structure, including promotional enterprises, or six months for all other uses or structures.
 2. Ingress and egress shall be limited to that designated by the planning division. Appropriate directional signing, barricades, fences or landscaping shall be provided where required. A security officer may be required for promotional events.
 3. Off-street parking facilities shall be provided on the site of each temporary use as prescribed in Section 17.34.020.
 4. Upon termination of the temporary permit, or abandonment of the site, the applicant shall remove all materials and equipment and restore the premises to their original condition.
 5. Opening and closing times for promotional enterprises shall coincide with the hours of operation of the sponsoring commercial establishment. Reasonable time limits for other uses may be set by the city planner and planning division staff.
 6. Applicants for a temporary conditional use permit shall have all applicable licenses and permits prior to issuance of a conditional use permit.
 7. Signing for temporary uses shall be subject to the approval of the city planner.
 8. Notwithstanding underlying zoning, temporary conditional use permits may be granted for fruit and vegetable stands on properties primarily within undeveloped agricultural areas. In reviewing applications for such stands, issues of traffic safety and land use compatibility shall be evaluated and mitigation measures and conditions may be imposed to ensure that the stands are built and are operated consistent with appropriate construction standards, vehicular access and off-street parking. All fruits and vegetables sold at such stands shall be grown by the owner/operator or purchased by said party directly from a grower/farmer.
- C. The applicant may appeal an administrative decision to the planning commission. (Ord. 9605 § 30 (part), 1996: prior code § 7532)

17.38.080 Public hearing--Notice

- A. The planning commission shall hold at least one public hearing on each application for a conditional use permit.
- B. Notice of the public hearing shall be given not less than ten days nor more than thirty (30) days prior to the date of the hearing by mailing a notice of the time and place of the hearing to property owners within three hundred (300) feet of the boundaries of the area occupied or to be occupied by the use which is the subject of the hearing, and by publication in a newspaper of general circulation within the city. (Prior code § 7533)

17.38.090 Investigation and report

The planning staff shall make an investigation of the application and shall prepare a report thereon which shall be submitted to the planning commission. (Prior code § 7534)

17.38.100 Public hearing--Procedure

At the public hearing the planning commission shall review the application and the statement and drawing submitted therewith and shall receive pertinent evidence concerning the proposed use and the proposed conditions under which it would be operated or maintained, particularly with respect to the findings prescribed in Section 17.38.110. The planning commission may continue a public hearing from time to time as it deems necessary. (Prior code § 7535)

17.38.110 Action by planning commission

- A. The planning commission may grant an application for a conditional use permit as requested or in modified form, if, on the basis of the application and the evidence submitted, the commission makes the following findings:
 - 1. That the proposed location of the conditional use is in accordance with the objectives of the zoning ordinance and the purposes of the zone in which the site is located;
 - 2. That the proposed location of the conditional use and the conditions under which it would be operated or maintained will not be detrimental to the public health, safety or welfare, or materially injurious to properties or improvements in the vicinity.
- B. A conditional use permit may be revocable, may be granted for a limited time period, or may be granted subject to such conditions as the commission may prescribe. The commission may grant conditional approval for a permit subject to the effective date of a change of zone or other ordinance amendment.
- C. The commission may deny an application for a conditional use permit. (Prior code § 7536)

17.38.120 Appeal to city council

The decision of the City planning commission on a conditional use permit shall be subject to the appeal provisions of Section 17.02.145. (Prior code § 7537) (Ord. 2006-18 § 6, 2007)

17.38.130 Effective date of conditional use permit

A conditional use permit shall become effective immediately when granted or affirmed by the council, or upon the sixth working day following the granting of the conditional use permit by the planning commission if no appeal has been filed. (Prior code § 7539)

NOTICE OF EXEMPTION

City of Visalia
315 E. Acequia Ave.
Visalia, CA 93291

To: County Clerk
County of Tulare
County Civic Center
Visalia, CA 93291-4593

Conditional Use Permit No. 2022-24

PROJECT TITLE

The project is located on the southeast corner of North Santa Fe Street and East Murray Avenue. (Address: Not yet assigned) (APNs: 094-250-038 and 094-250-039)

PROJECT LOCATION

Visalia

Tulare

PROJECT LOCATION - CITY

COUNTY

A request by Eric McConnaughey, on behalf of the Family Health Care Network, to allow for a new 25,000 square foot, two-story, PACE senior care facility on two parcels totaling 1.7 acres within the C-MU (Commercial Mixed Use) Zone District.

DESCRIPTION - Nature, Purpose, & Beneficiaries of Project

City of Visalia

NAME OF PUBLIC AGENCY APPROVING PROJECT

Eric McConnaughey, EBM Design Group, Inc., 4412 W. Ferguson Ave., Visalia, CA 93291

NAME AND ADDRESS OF APPLICANT CARRYING OUT PROJECT

Eric McConnaughey, EBM Design Group, Inc., 4412 W. Ferguson Ave., Visalia, CA 93291

NAME AND ADDRESS OF AGENT CARRYING OUT PROJECT

EXEMPT STATUS: (Check one)

- Ministerial - Section 15073
- Emergency Project - Section 15071
- Categorical Exemption - State type and Section number: **Section 15332**
- Statutory Exemptions- State code number:

A request to establish a new senior care facility on a parcel measuring less than 5-acres and well within the city, and within the downtown area. The site is also served by all public utilities.

REASON FOR PROJECT EXEMPTION

Josh Dan, Associate Planner

(559) 713-4003

CONTACT PERSON

AREA CODE/PHONE

October 10, 2022

DATE

**Brandon Smith, AICP
ENVIRONMENTAL COORDINATOR**

RESOLUTION NO. 2022-53

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF VISALIA APPROVING CONDITIONAL USE PERMIT NO. 2022-24, A REQUEST BY ERIC MCCONNAUGHEY, ON BEHALF OF THE FAMILY HEALTH CARE NETWORK, TO ALLOW FOR A NEW 25,000 SQUARE FOOT, TWO-STORY, PACE SENIOR CARE FACILITY ON TWO PARCELS TOTALING 1.7 ACRES WITHIN THE C-MU (COMMERCIAL MIXED USE) ZONE DISTRICT. THE PROJECT IS LOCATED ON THE SOUTHEAST CORNER OF NORTH SANTA FE STREET AND EAST MURRAY AVENUE. (ADDRESS: NOT YET ASSIGNED) (APNS: 094-250-038 AND 094-250-039).

WHEREAS, Conditional Use Permit No. 2022-24, is a request by Eric McConnaughey, on behalf of the Family Health Care Network, to allow for a new 25,000 square foot, two-story, PACE senior care facility on two parcels totaling 1.7 acres within the C-MU (Commercial Mixed Use) Zone District. The project is located on the southeast corner of North Santa Fe Street and East Murray Avenue. (Address: Not yet assigned) (APNs: 094-250-038 and 094-250-039); and

WHEREAS, the Planning Commission of the City of Visalia, after duly published notice did hold a public hearing before said Commission on October 10, 2022; and

WHEREAS, the Planning Commission of the City of Visalia finds the Conditional Use Permit to be in accordance with Chapter 17.38.110 of the Zoning Ordinance of the City of Visalia based on the evidence contained in the staff report and testimony presented at the public hearing; and

WHEREAS, the Planning Commission finds the project to be Categorically Exempt consistent with the California Environmental Quality Act (CEQA) and City of Visalia Environmental Guidelines.

NOW, THEREFORE, BE IT RESOLVED that the project is exempt from further environmental review pursuant to CEQA Section 15332.

NOW, THEREFORE, BE IT FURTHER RESOLVED that the Planning Commission of the City of Visalia makes the following specific findings based on the evidence presented:

1. That the proposed project will not be detrimental to the public health, safety, or welfare, or materially injurious to properties or improvements in the vicinity.
2. That the proposed conditional use permit is consistent with the policies and intent of the General Plan and Zoning Ordinance. Specifically, the project is consistent with the required finding of the Zoning Ordinance Section 17.38.110:
 - a. The proposed location of the conditional use permit is in accordance with the objectives of the Zoning Ordinance and the purposes of the zone in which the site is located.

- b. The proposed location of the conditional use and the conditions under which it would be operated or maintained will not be detrimental to the public health, safety, or welfare, nor materially injurious to properties or improvements in the vicinity.
3. That the project is considered Categorical Exempt under Section 15332 of the Guidelines for the Implementation of the California Environmental Quality Act (CEQA). (Categorical Exemption No. 2022-54).

BE IT FURTHER RESOLVED that the Planning Commission hereby approves the Conditional Use Permit on the real property here described in accordance with the terms of this resolution under the provisions of Section 17.38.110 of the Ordinance Code of the City of Visalia, subject to the following conditions:

1. That the project be developed in substantial compliance with the comments from the approved Site Plan Review No. 2022-127.
2. The use shall be operated in substantial compliance with the site plan, floor plan, and operational statement in Exhibits "A", "B", "C", and "F".
3. That substantial changes to the site plan and/or operational plan, or an intensification of the land use wherein the parking demand exceeds the parking required for the land use, may require evaluation by the Site Plan Review committee and/or an amendment to this Conditional Use Permit.
4. That a Lot Line Adjustment shall be submitted and recorded prior to any building permits being finalized.
5. That all fencing comply with Section 17.36.050 Fences, Walls and Hedges of the VMC.
6. That the applicant coordinate with city CIP Engineering staff to incorporate the complete design of the Class IV cycle track along North Santa Fe Street.
7. That any project signage shall be obtained under a separate permit.
8. That all applicable federal, state and city laws, codes and ordinances be met.



DESIGN GROUP
INCORPORATED
ARCHITECTS



4412 W. FERGUSON
VISALIA, CA. 93291
(559) 732-9236
FAX: 732-5836

SCALE: AS NOTED

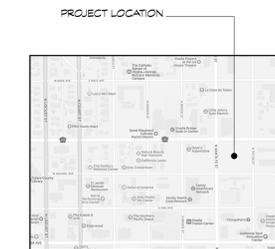
JOB #: 21-007

A NEW PACE FACILITY FOR
FAMILY HEALTH CARE NETWORK

VISALIA, CA

PARKING:

PARKING REQUIREMENT		
SENIOR DAYCARE:	20,000 SQ. FT. @ 250	= 80
CLINIC:	5,000 SQ. FT. @ 200	= 25
	PARKING REQUIREMENT:	= 105
ACCESSIBLE PARKING REQUIREMENT		
GENERAL:	125 = (101 TO 150)	= 5
VAN ACCESSIBLE REQUIRED: (2 REQ'D)/(6)		= 2
PARKING PROVIDED		
STANDARD:		= 71
COMPACT:		= 20
ACCESSIBLE (STANDARD):		= 3
ACCESSIBLE (VAN):		= 2
TOTAL PARKING PROVIDED		= 96



VICINITY MAP
NOT TO SCALE

PROJECT INFORMATION:

ADDRESS: SCHOOL AVE., VISALIA CA, 93291
APN: 094-250-038 8039
OCCUPANCY: B
CONSTRUCTION TYPE: V-B
ZONING: C-MU
FLOOD ZONE: AE
GROSS ACREAGE: 1.75 ACRES
BUILDING AREA: 25,000 S.F.

PROJECT NARRATIVE:

THE PROGRAM OF ALL-INCLUSIVE CARE FOR THE ELDERLY (PACE) OFFERS SUPPORT FOR PEOPLE WHO WISH TO LIVE AT HOME BUT REQUIRE A CERTAIN LEVEL OF CONSISTENT MEDICAL CARE. MANY OF THOSE ENROLLED IN PACE ARE DUAL ELIGIBLE FOR MEDICARE AND MEDICAID, AND THESE ORGANIZATIONS WORK TOGETHER TO OFFER THIS PROGRAM.

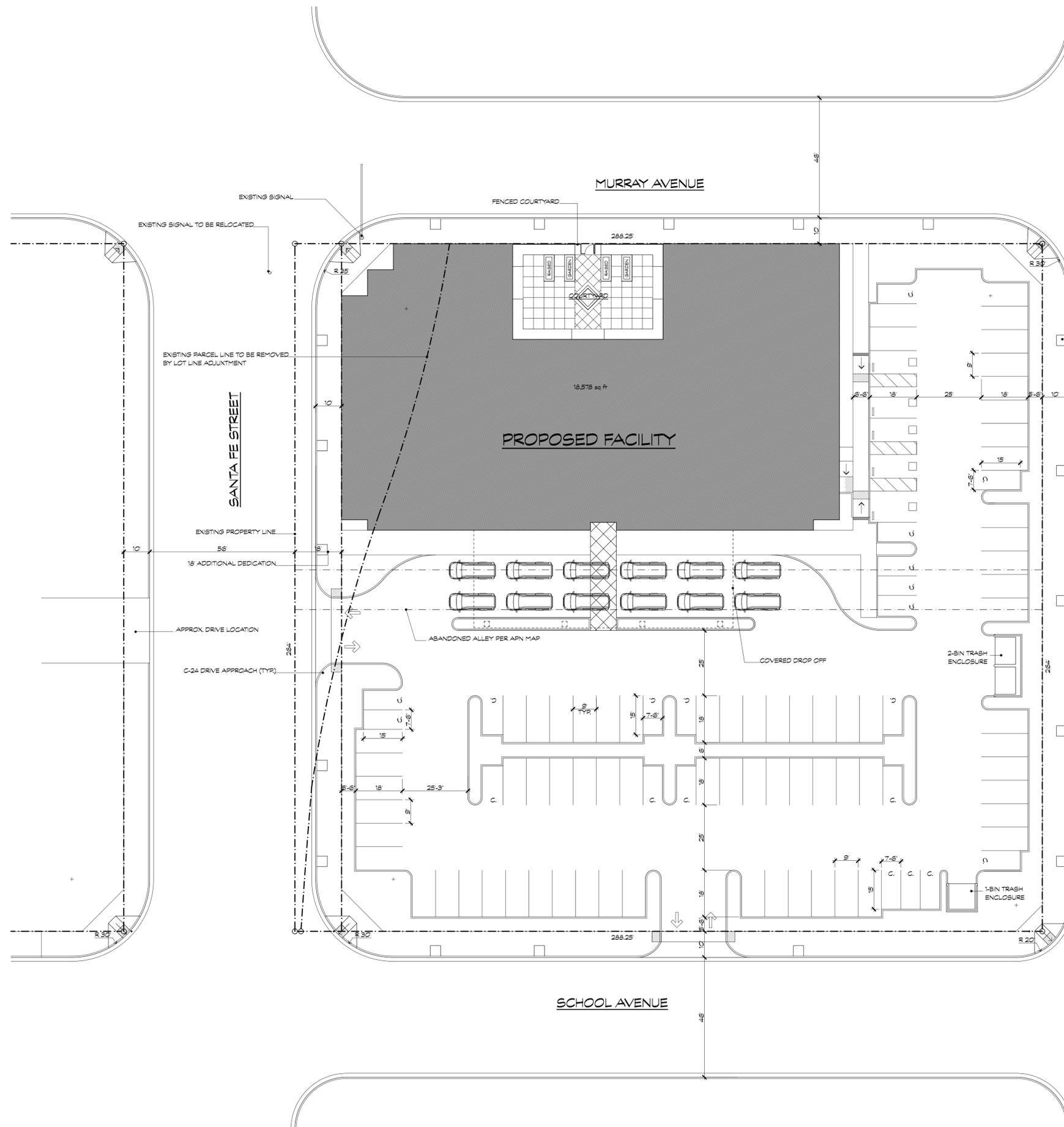
PACE IS A PUBLIC PROGRAM THAT CAN HELP YOU GET THE MEDICAL AND SOCIAL SUPPORT YOU NEED WITHOUT A LOT OF EXTRA COSTS AND WITHOUT LEAVING HOME. (PACE) IS A LONG-TERM CARE DELIVERY AND FINANCING INNOVATION. A MAJOR GOAL OF PACE IS PREVENTION OF UNNECESSARY USE OF HOSPITAL AND NURSING HOME CARE.

THIS PACE FACILITY WILL PROVIDE MEDICAL, SOCIAL & MENTAL SUPPORT FOR SENIORS, INCLUDING DENTAL, VISION, & TRANSPORTATION. THE DENTAL AND VISION WILL BE PROVIDED ACROSS THE STREET AT FAMILY HEALTHCARE'S CLINIC.

THIS PROJECT IS A FUTURE 25,000 SQUARE FOOT, 2 STORY ADULT DAYCARE FACILITY. IT IS COMPRISED OF A \$2,500 SQ. FT. PHYSICAL & OCCUPATIONAL THERAPY ROOM, A \$5,000 SQ. FT. CLINIC, A FULL KITCHEN TO PROVIDE MEALS FOR THE CLIENTS, ACTIVITY ROOMS, AND A LARGE COMMON AREA. ADMINISTRATIVE SPACES WILL BE LOCATED ON THE SECOND FLOOR.

THIS FACILITY WILL PROVIDE HEALTH SERVICES, CARE COORDINATION, NUTRITION, ACTIVITIES, FAMILY SERVICES AND ADMINISTRATIVE SUPPORT. THIS FACILITY IS TARGETING 150 CLIENTS DAILY. CLIENTS WILL BE PICKED UP BY VANS, BROUGHT TO THE FACILITY IN THE MORNING AND RETURNED HOME IN LATE AFTERNOON. WHILE THE VANS WILL BE PICKING UP AND DROPPING OFF CLIENTS THRU OUT THE DAY, THE MAJORITY WILL BE IN THE MORNING AND THEN IN THE AFTERNOON. THIS IS A DAY USE ONLY FACILITY. PARKING IS FOR STAFF AND VISITORS.

SITE PLAN
SCALE: 1" = 20'-0"





DESIGN GROUP
INCORPORATED
ARCHITECTS



4412 W. FERGUSON
VISALIA, CA. 93291
(559) 732-9236
FAX: 732-5836

SCALE: AS NOTED
JOB #: 21-007

A NEW PACE FACILITY FOR
FAMILY HEALTH CARE NETWORK

VISALIA, CA



FIRST FLOOR PLAN

SCALE: 1/8" = 1'-0"

18,582 SQ. FT.

DATE: 8-11-22

- △ REVISED:

Sheet:

A-2



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JOB #: 21-007

A NEW PACE FACILITY FOR
FAMILY HEALTH CARE NETWORK
VISALIA, CA

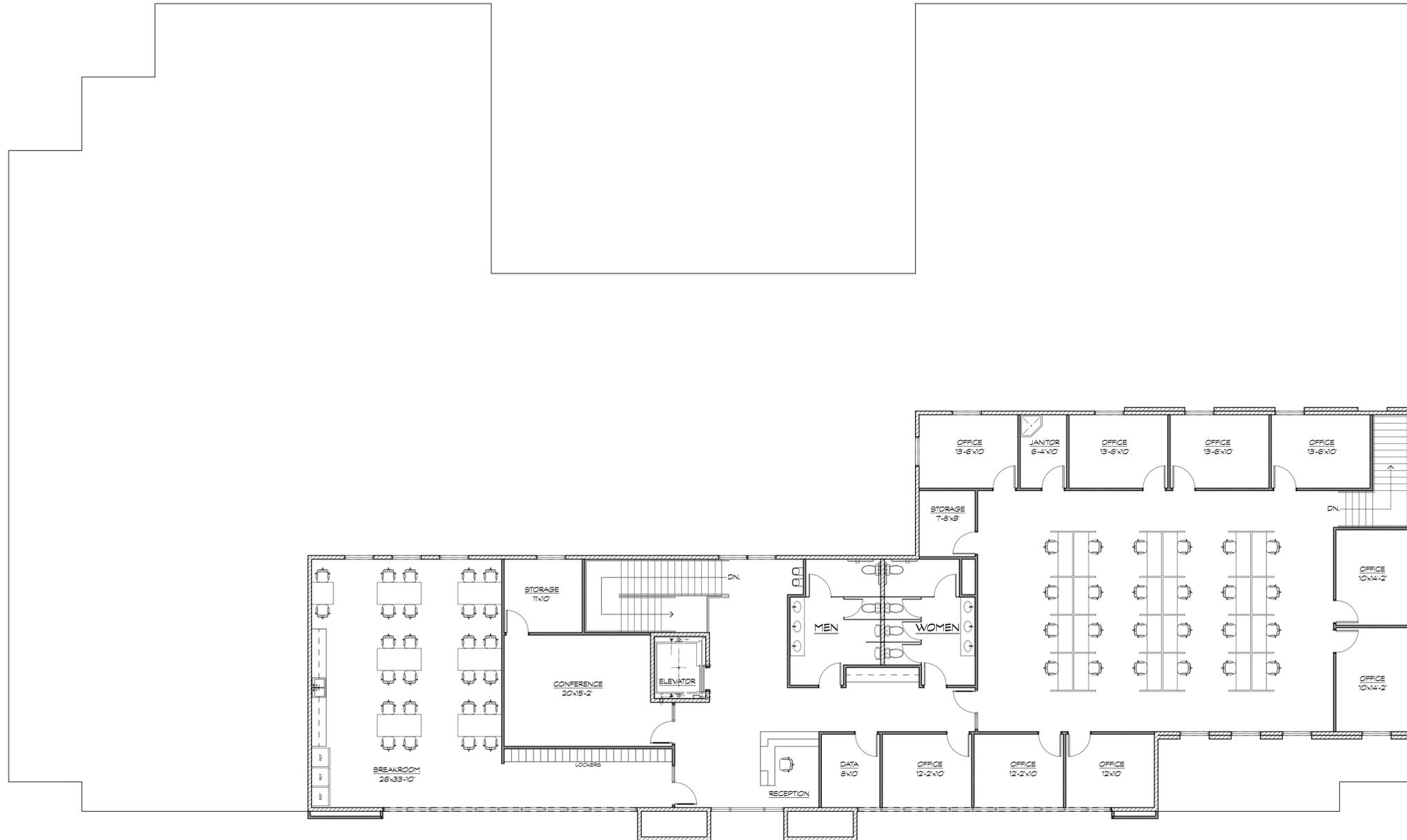
DATE: 8-11-22

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A-3

8/25/22



SECOND FLOOR PLAN

SCALE: 1/8" = 1'-0"

6,240 SQ. FT.



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ARCHITECTS



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SCALE: AS NOTED

JOB #: 21-007

A NEW PACE FACILITY FOR
FAMILY HEALTH CARE NETWORK
VISALIA, CA

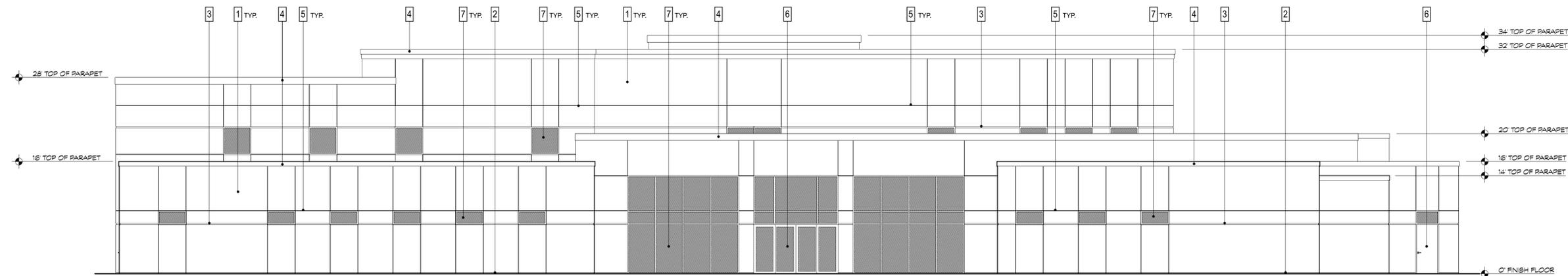
DATE: 8-11-22

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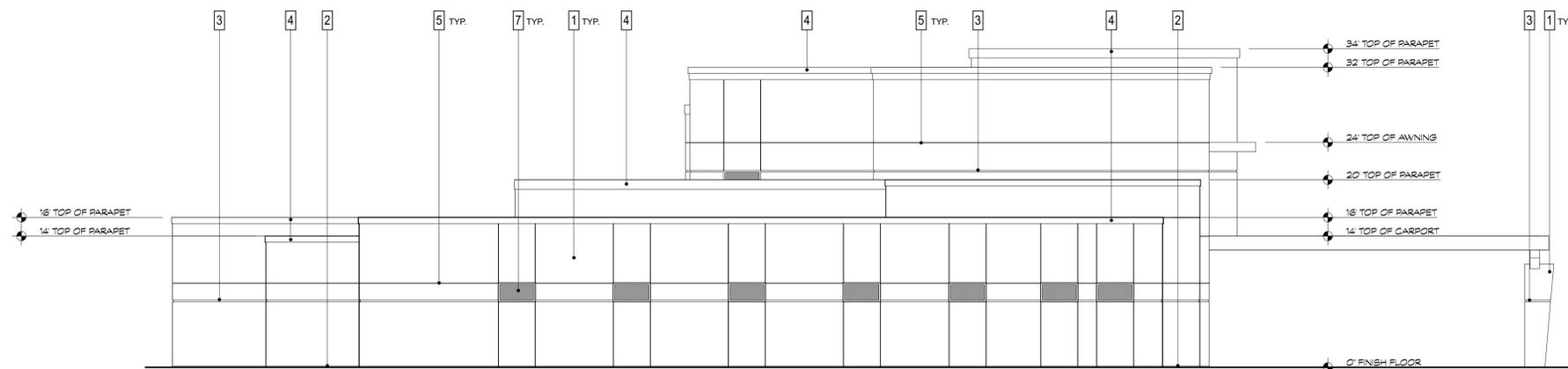
A-7

8/25/22



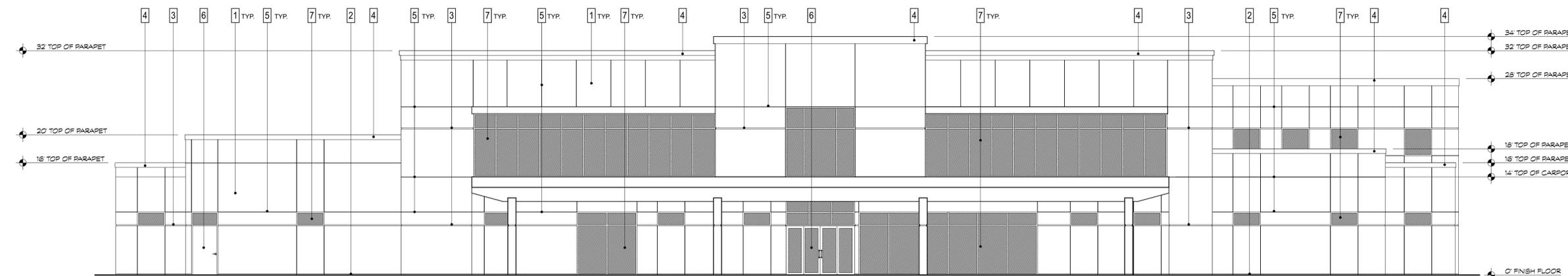
NORTH ELEVATION

SCALE: 1/8" = 1'-0"



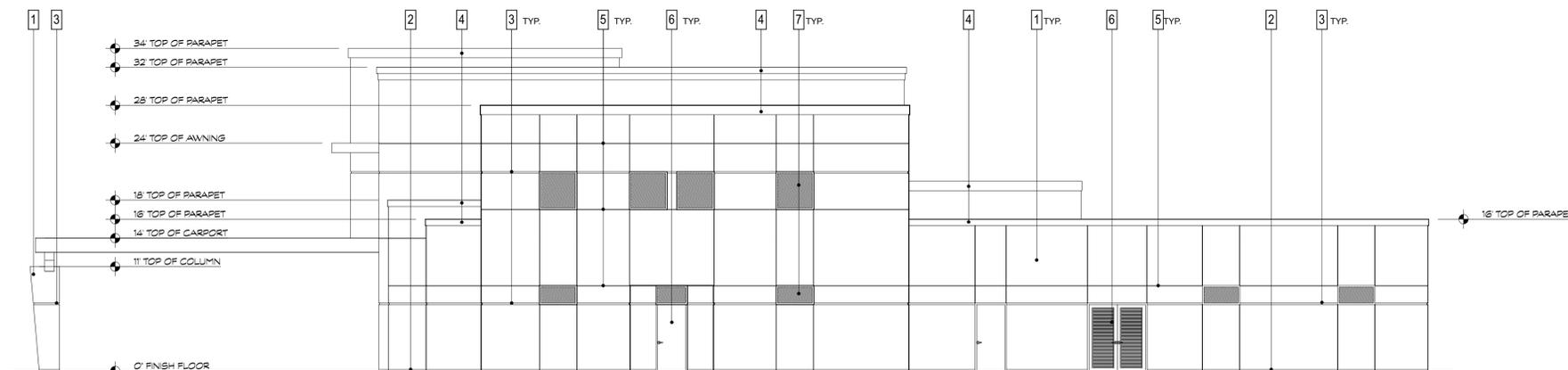
WEST ELEVATION

SCALE: 1/8" = 1'-0"



SOUTH ELEVATION

SCALE: 1/8" = 1'-0"



EAST ELEVATION

SCALE: 1/8" = 1'-0"

ELEVATION KEY NOTES	
1	7/8" THREE COAT EXTERIOR PLASTER FINISH SYSTEM - LIGHT SAND TEXTURE, PAINTED - OVER WEATHER BARRIER
2	WEEP SCREED
3	2" ALUMINUM REGLET - MILL FINISH
4	FOAM MOLDING
5	CONTROL JOINT, TYP.
6	DOOR, SEE DOOR SCHEDULE
7	WINDOW, SEE WINDOW SCHEDULE

FHCN – PACE Facility Project Narrative:

The program of all-inclusive care for the elderly (pace) offers support for people who wish to live at home but require a certain level of consistent medical care. Many of those enrolled in pace are dual eligible for Medicare and Medicaid, and these organizations work together to offer this program.

Pace is a public program that can help you get the medical and social support you need without a lot of extra costs and without leaving home.

(pace) is a long-term care delivery and financing innovation. A major goal of pace is prevention of unnecessary use of hospital and nursing home care.

This pace facility will provide medical, social & mental support for seniors, including dental, vision, & transportation. The dental and vision will be provided across the street at family healthcare's clinic.

This project is a 25,000 square foot, 2 story adult daycare facility. It is comprised of a ±2,500 sq. Ft. Physical & occupational therapy room, a ±5,000 sq. Ft. Clinic, a full kitchen to provide meals for the clients, activity rooms, and a large common area. Administrative spaces will be located on the second floor.

This facility will provide health services, care coordination, nutrition, activities, family services and administrative support. This facility is targeting 150 clients daily.

The facility will be open from 8:00am to 6:00pm Monday thru Friday. There is an anticipated staff of 35 employees.

All clients will be picked up by 12 vans and brought to the facility. While the vans will be picking up and dropping off clients thru out the day, the majority will be in the morning and then in the afternoon. Since all participants to the PACE facility are brought via the van pool service, the stacking area (which can accommodate 12 vans) should be counted toward parking bringing the total parking onsite to 108 provided.

This is a day use only facility. Parking is for staff and visitors seeking information about the program and the facility.

TREE LEGEND										
SYMBOL	BOTANICAL NAME	COMMON NAME	SIZE	DETAIL	HEIGHT	SPREAD	CALIPER	HYDRO-ZONE	REMARKS	
TREES										
CC	CERCIS OCCIDENTALIS	WESTERN REDBUD	24" BX.	17, L-3	7-8 FT.	2-3 FT.	1"	L	MAIN LEADER LOW BRANCHG.	
JS	JUNIPERUS CHINENSIS 'STRICTA'	IRISH JUNIPER	24" BX.	17, L-3	7-8 FT.	2 FT.	1-1/2"	L	MAIN LEADER LOW BRANCHG.	
LI	LAGERSTROEMIA 'TUSCARORA'	PINK HYBRID CRAPE MYRTLE	24" BX.	17, L-3	7-8 FT.	2-3 FT.	1-1/2"	L	MAIN LEADER LOW BRANCHG.	
LN	LAURUS NOBILIS 'SARATOGA'	SARATOGA BAY NOBLE	24" BX.	17, L-3	7-8 FT.	2-3 FT.	1-1/2"	L	MAIN LEADER LOW BRANCHG.	
PC	PISTACIA CHINENSIS 'KEITH DAVIS'	PISTACHE	24" BX.	17, L-3	7-8 FT.	2-3 FT.	1-1/2"	L	MAIN LEADER LOW BRANCHG.	
QL	QUERCUS LOBATA	VALLEY OAK	24" BX.	17, L-3	7-8 FT.	2-3 FT.	1-1/2"	L	MAIN LEADER LOW BRANCHG.	
RM	RAPHOLEPIS 'MAJESTIC BEAUTY'	INDIAN HAWTHORN STANDARD	24" BX.	17, L-3	6-7 FT.	2-3 FT.	1-1/2"	L	STANDARD	
----- ROOT BARRIERS PER PLAN AND *PLANTING NOTES, SPECIFICATIONS (FOR BID: 410 LIN. FT.) B. L-1										
○ HUNTER, 36" ROOT ZONE STAND PIPE- INSTALL 2 STANDPIPES PER TREE (ALL- EXCEPT IN POTS)										



DESIGN GROUP
INCORPORATED
ARCHITECTS



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VISALIA, CA. 93291
(559) 732-9236
FAX: 732-5836

SCALE: AS NOTED
JOB #: 21-007

A NEW PACE FACILITY FOR
FAMILY HEALTH CARE NETWORK

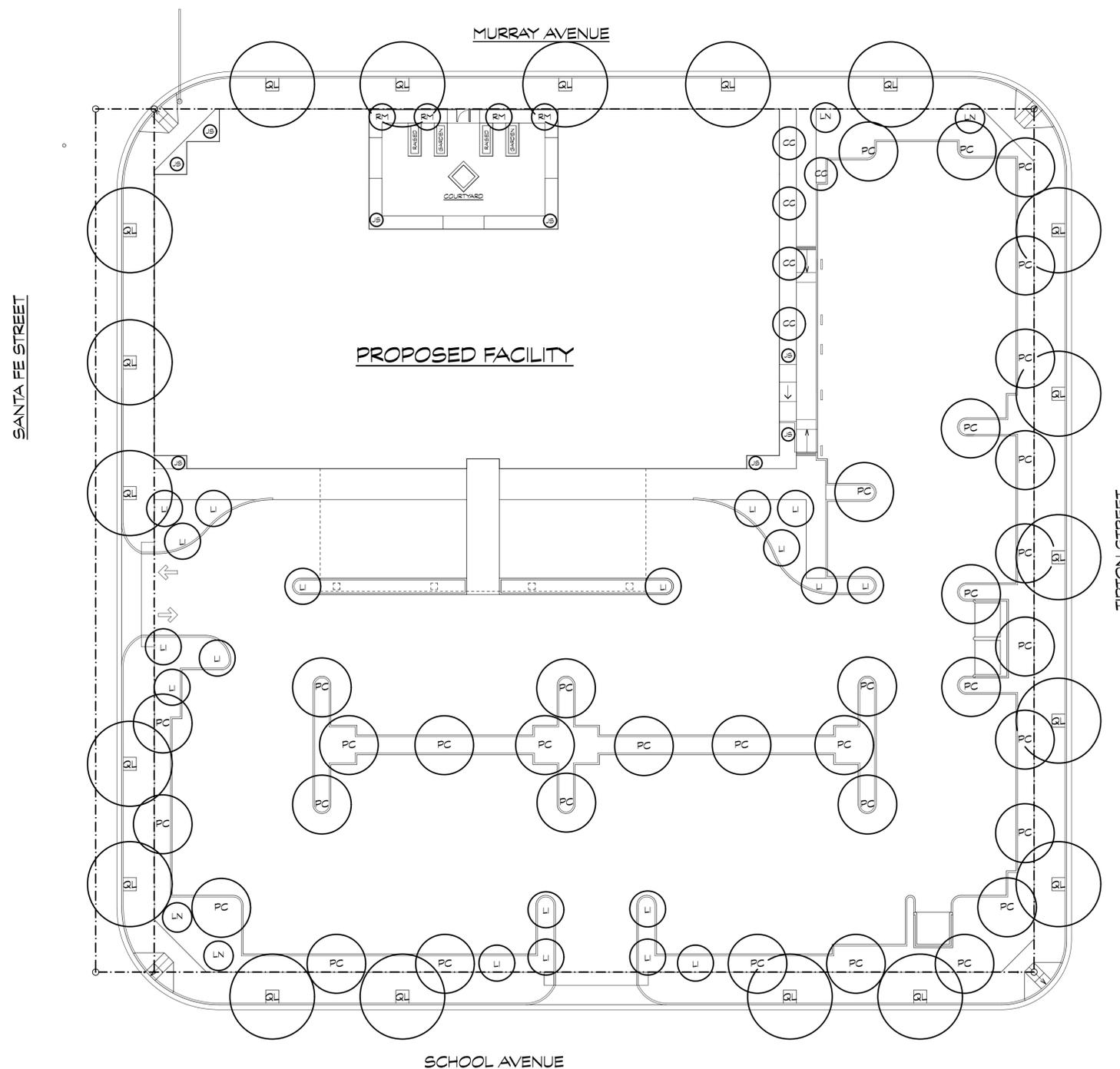
VISALIA, CA

DATE: 8-05-22

- △ REVISED:

Sheet:

L-1



TREE PLANTING PLAN
SCALE: 1" = 20'-0"



August 30, 2022

eric@ebmdesigngroup.com

Site Plan Review No. 2022-127:

Pursuant to Zoning Ordinance Chapter 17.28 the Site Plan Review process has found that your application complies with the general plan, municipal code, policies, and improvement standards of the city. A copy of each Departments/Divisions comments that were discussed with you at the Site Plan Review meeting are attached to this document.

Based upon Zoning Ordinance Section 17.28.070, this is your Site Plan Review determination. However, your project requires discretionary action as stated on the attached Site Plan Review comments. You may now proceed with filing discretionary applications to the Planning Division.

This is your Site Plan Review Permit; your Site Plan Review became effective **August 10, 2022**. A site plan review permit shall lapse and become null and void one year following the date of approval unless, prior to the expiration of one year, a building permit is issued by the building official and construction is commenced and diligently pursued toward completion.

If you have any questions regarding this action, please call the Community Development Department at (559) 713-4359.

Respectfully,

A handwritten signature in blue ink, appearing to read "Paul Bernal", is written over a light blue horizontal line.

Paul Bernal
Community Development Director
315 E. Acequia Ave.
Visalia, CA 93291

Attachment(s):

- Site Plan Review Comments



MEETING DATE August 10, 2022
 SITE PLAN NO. 2022-127 – C
 PARCEL MAP NO.
 SUBDIVISION
 LOT LINE ADJUSTMENT NO.

Enclosed for your review are the comments and decisions of the Site Plan Review committee. Please review all comments since they may impact your project.

RESUBMIT Major changes to your plans are required. Prior to accepting construction drawings for building permit, your project must return to the Site Plan Review Committee for review of the revised plans.

During site plan design/policy concerns were identified, schedule a meeting with

- Planning Engineering prior to resubmittal plans for Site Plan Review.
- Solid Waste Parks and Recreation Fire Dept.

REVISE AND PROCEED (see below)

A revised plan addressing the Committee comments and revisions must be submitted for Off-Agenda Review and approval prior to submitting for building permits or discretionary actions.

Submit plans for a building permit between the hours of 9:00 a.m. and 4:00 p.m., Monday through Friday.

Your plans must be reviewed by:

- CITY COUNCIL REDEVELOPMENT
- PLANNING COMMISSION PARK/RECREATION
- CUP
- HISTORIC PRESERVATION OTHER –
- ADDITIONAL COMMENTS:**

If you have any questions or comments, please call the Site Plan Review Hotline at (559) 713-4440 Site Plan Review Committee

SITE PLAN REVIEW COMMENTS

Cristobal Carrillo, Planning Division (559) 713-4443

Date: August 10, 2022

SITE PLAN NO: 2022-127 – C
PROJECT TITLE: A New Adult Daycare Facility
DESCRIPTION: A New 25,000 SF all-inclusive care for the elderly (D-MU)
APPLICANT: Eric McConnaughey
PROP. OWNER: CUSENZA FAMILY LIMITED PARTNERSHIP
LOCATION: 500 E. School Ave.
APN: 094-250-038 & 094-250-038
GENERAL PLAN: Downtown Mixed Use
EXISTING ZONING: D-MU (Mixed-Use Downtown Zone)

Planning Division Recommendation:

- Revise and Proceed
 Resubmit

Project Requirements

- Conditional Use Permit
- Lot Line Adjustment

PROJECT SPECIFIC INFORMATION: August 10, 2022

1. VMC Table 17.25.030 lines D3 and M56 list Adult Daycares with 13 or more participants and Clinics as conditionally permitted in the D-MU zone.
2. An LLA is required to merge the two parcels for the proposed development.
3. The applicant is requested to provide the following as clarification:
 - a. Detailed Operational Statement
 - i. Describe operations, drop-off, and services provided.
 - b. Floor Plan, providing square footages and uses for all rooms.
 - c. Building Elevations
 - d. Landscape and Irrigation Plan. Plan shall verify a minimum 10% of the parking lot is landscaped.
4. Provided information on all fencing proposed onsite.
5. Project site is located within Parking District A. Any deficiency in parking provided can be alleviated through the payment of parking in-lieu fees for each stall not provided.
6. At present, staff parked the use as follows: Senior Center/Clinic facilities – 1 stall per 200 sq. ft. Office facilities – 1 stall per 250 sq. ft. This brings parking demand to a total of 118 required stalls. Including the 12 areas for parking of vans, the project provides 114 stalls, leaving a deficiency of 4 parking stalls. In-lieu fees shall be paid for these four stalls unless the plans are altered or justification for a different parking requirement are provided.
7. Compact parking stalls in the northeast corner of the project site must be a minimum five feet from the property line for landscaping purposes.
8. Provide traffic generation information to the City Traffic Engineer.
9. Comply with all Engineering Division requirements for off-site improvements.
10. Obtain Building permits.

PROJECT SPECIFIC INFORMATION: August 3, 2022

1. VMC Table 17.25.030 lines D3 and M56 list Adult Daycares with 13 or more participants and Clinics as conditionally permitted in the D-MU zone.

2. An LLA is required to merge the two parcels for the proposed development.
3. The applicant is requested to provide the following as clarification:
 - a. Detailed Operational Statement
 - i. Describe operations, drop-off, and services provided.
 - b. Floor Plan, providing square footages and uses for all rooms.
 - c. Building Elevations
 - d. Landscape and Irrigation Plan.
4. Provided information on all fencing proposed onsite.
5. Project site is located within Parking District A. Any deficiency in parking provided can be alleviated through the payment of parking in-lieu fees for each stall not provided.
6. Compact parking stalls shall not comprise more than 30% of the total parking area. No more than four compact parking stalls shall be clustered together in one area (see northeast corner of parking lot). Compact stalls shall be spread throughout the parking lot.
7. Provide traffic generation information to the City Traffic Engineer.
8. Comply with all Engineering Division requirements for off-site improvements.
9. Obtain Building permits.

PROJECT SPECIFIC INFORMATION: July 27, 2022

1. Staff needs more detail to better analyze the use in relation to the site.
2. VMC Table 17.25.030 lines D3 and M56 list Adult Daycares with 13 or more participants and Clinics as conditionally permitted in the D-MU zone.
3. An LLA is required to merge the two parcels for the proposed development.
4. The applicant is requested to provide the following as clarification:
 - a. Detailed Operational Statement
 - i. Describe operations, drop-off, and services provided.
 - b. Floor Plan
5. Building permits.
6. Other information as needed.

Note:

1. The applicant shall contact the San Joaquin Valley Air Pollution Control District to verify whether additional permits are required through the District.
2. Prior to completion of a final building inspection for a project, a signed **MWELO Certificate of Compliance** shall be submitted indicating that all landscaping has been installed to MWELO standards.

Sections of the Municipal Code to review:

17.19.070 Development standards in the D-MU zone

17.30 Development Standards [17.30.015(H) Lighting]

17.34.020 Off-street parking 17.34.020(B)

NOTE: Staff recommendations contained in this document are not to be considered support for a particular action or project unless otherwise stated in the comments. The comments found on this document pertain to the site plan submitted for review on the above referenced date. Any changes made to the plan submitted must be submitted for additional review.

[Handwritten signature]

Signature: _____



**BUILDING/DEVELOPMENT PLAN
REQUIREMENTS
ENGINEERING DIVISION**

<input checked="" type="checkbox"/>	Adrian Rubalcaba	713-4271
<input type="checkbox"/>	Ather Razaq	713-4268
<input type="checkbox"/>	Edelma Gonzalez	713-4364
<input type="checkbox"/>	Jaklin Rowley	713-4369
<input type="checkbox"/>	Luqman Ragabi	713-4362
<input type="checkbox"/>	Lupe Garcia	713-4197

ITEM NO: 4	DATE: <u>AUGUST 10, 2022</u>
SITE PLAN NO.:	22-127 2 ND RESUBMITTAL
PROJECT TITLE:	NEW ADULT DAYCARE FACILITY
DESCRIPTION:	A NEW 25,000 SF ALL-INCLUSIVE CARE FACILITY FOR THE ELDERLY (DMU)
APPLICANT:	ERIC MCCONNAUGHEY
PROP OWNER:	CUSENZA FAMILY LIMITED PARTNERSHIP
LOCATION:	500 E SCHOOL AVE
APN:	094-250-038, 039

SITE PLAN REVIEW COMMENTS

- REQUIREMENTS (indicated by checked boxes)
- Install curb return with ramp, with **20', 30', AND 35'** radius; **ALL CORNERS, SEE ADDL COMMENTS**
- Install curb; gutter **SANTA FE, MURRAY, & TIPTON. REPLACE IN-KIND W/ DEMO WORK**
- Drive approach size: **TYP 30'** Use radius return; **REFER TO COMMERCIAL STDS C-24**
- Sidewalk: **10'** width; **TREE WELLS** parkway width at **ALL STREET FRONTAGES**
- Repair and/or replace any sidewalk across the public street frontage(s) of the subject site that has become uneven, cracked or damaged and may constitute a tripping hazard.
- Replace any curb and gutter across the public street frontage(s) of the subject site that has become uneven and has created areas where water can stand.
- Right-of-way dedication required. A title report is required for verification of ownership. **18' DEDICATION ON SANTA FE FOR ULTIMATE 84' RIGHT-OF-WAY (64' CURB TO CURB)**
- Deed required prior to issuing building permit; **ADDL EASEMENTS MAY BE REQUIRED, SEE COMMENTS**
- City Encroachment Permit Required. **FOR ALL WORK IN THE PUBLIC RIGHT-OF-WAY**
Insurance certificate with general & auto liability (\$1 million each) and workers compensation (\$1 million), valid business license, and appropriate contractor's license must be on file with the City, and valid Underground Service Alert # provided prior to issuing the permit. Contact Encroachment Tech. at 713-4414.
- CalTrans Encroachment Permit required. CalTrans comments required prior to issuing building permit. Contacts: David Deel (Planning) 488-4088;
- Landscape & Lighting District/Home Owners Association required prior to approval of Final Map. Landscape & Lighting District will maintain common area landscaping, street lights, street trees and local streets as applicable. Submit completed Landscape and Lighting District application and filing fee a min. of 75 days before approval of Final Map.
- Landscape & irrigation improvement plans to be submitted for each phase. Landscape plans will need to comply with the City's street tree ordinance. The locations of street trees near intersections will need to comply with Plate SD-1 of the City improvement standards. A street tree and landscape master plan for all phases of the subdivision will need to be submitted with the initial phase to assist City staff in the formation of the landscape and lighting assessment district.
- Grading & Drainage plan required. If the project is phased, then a master plan is required for the entire project area that shall include pipe network sizing and grades and street grades. Prepared by registered civil engineer or project architect. All elevations shall be based on the City's benchmark network. Storm run-off from the project shall be handled as follows: a) directed to the City's existing storm drainage system; b) directed to a permanent on-site basin; or c) directed to a temporary on-site basin is required until a connection with adequate capacity is available to the City's storm drainage system. On-site basin: : maximum side slopes, perimeter fencing required, provide access ramp to bottom for maintenance. **SEE ADDITIONAL COMMENTS**
- Grading permit is required for clearing and earthwork performed prior to issuance of the building permit.
- Show finish elevations. (Minimum slopes: A.C. pavement = 1%, Concrete pavement = 0.25%. Curb & Gutter = .020%, V-gutter = 0.25%)
- Show adjacent property grade elevations. A retaining wall will be required for grade differences greater than 0.5 feet at the property line. **FINISHED FLOOR GRADE AT PROPERTY LINE TO PUBLIC SIDEWALK ELEVATION MAY BE ELEVATED DUE TO COMPLIANCE WITH FEMA. DESIGN ACCORDINGLY.**

- All public streets within the project limits and across the project frontage shall be improved to their full width, subject to available right of way, in accordance with City policies, standards and specifications. **ALL STREET FRONTAGES**
- Traffic indexes per city standards: **TIPTON & SCHOOL (LOCAL STDS) MURRAY AND SANTA FE (ARTERIAL STDS)**
- Install street striping as required by the City Engineer.
- Install landscape curbing (typical at parking lot planters).
- Minimum paving section for parking: 2" asphalt concrete paving over 4" Class 2 Agg. Base, or 4" concrete pavement over 2" sand.
- Design Paving section to traffic index of 5.0 min. for solid waste truck travel path.
- Provide "R" value tests: **1 each at 300' INTERVALS FOR PAVEMENT IMPROVEMENTS**
- Written comments required from ditch company Contacts: James Silva 747-1177 for Modoc, Persian, Watson, Oakes, Flemming, Evans Ditch and Peoples Ditch; Jerry Hill 686-3425 for Tulare Irrigation Canal, Packwood and Cameron Creeks; Bruce George 747-5601 for Mill Creek and St. John's River.
- Access required on ditch bank, 15' minimum Provide wide riparian dedication from top of bank.
- Show Valley Oak trees with drip lines and adjacent grade elevations. Protect Valley Oak trees during construction in accordance with City requirements.
- A permit is required to remove Valley Oak trees. Contact Public Works Admin at 713-4428 for a Valley Oak tree evaluation or permit to remove. A pre-construction conference is required.
- Relocate existing utility poles and/or facilities. **REQUIRED WITH PROJECT**
- Underground all existing overhead utilities within the project limits. Existing overhead electrical lines over 50kV shall be exempt from undergrounding. **EXISTING ALONG STREET FRONTAGES TO BE REMOVED**
- Subject to existing Reimbursement Agreement to reimburse prior developer:
- Fugitive dust will be controlled in accordance with the applicable rules of San Joaquin Valley Air District's Regulation VIII. Copies of any required permits will be provided to the City.
- If the project requires discretionary approval from the City, it may be subject to the San Joaquin Valley Air District's Rule 9510 Indirect Source Review per the rule's applicability criteria. A copy of the approved AIA application will be provided to the City.
- If the project meets the one acre of disturbance criteria of the State's Storm Water Program, then coverage under General Permit Order 2009-0009-DWQ is required and a Storm Water Pollution Prevention Plan (SWPPP) is needed. A copy of the approved permit and the SWPPP will be provided to the City.
- Comply with prior comments. Resubmit with additional information. Redesign required.

Additional Comments:

1. ***Proposed new facility will incur impact fees based on size of the building and acreage of site improvement. Credit for previous service commercial use onsite will be applied. Refer to page 5 for applicable fees. >> Still applies.***
2. ***Remove/demo of existing curb & gutter, v-gutters, and drive approaches on all street frontages is required. >> Still applies.***
3. ***Project to connect to sewer. There is an existing SS main in School and Murray. City records do no indicate a location of an existing lateral to connect to. Install lateral where necessary. >> Still applies.***
4. ***All required water/fire backflow apparatus shall be installed on private property; not within public right-of-way. >> Still applies.***
5. ***Parking shall meet City standards. Layout appears to comply with exception to accessible stall depths - revise from 18' to 19' depth. >> Applicant states an 18-foot depth accessible stall is in compliance, to be determined at time of civil review.***
6. ***All landscape and irrigation shall comply with MWELo standards. Landscape plans shall be submitted with building permits. >> Still applies.***
7. ***Note this project is in an "AE" flood zone. Proposed project will trigger compliance to current floodplain regulations and City requirements. Additionally, due to the final finished floor grade that may be elevated due to construction within the flood plain, ensure compliance with accessible path of travel slope grades. >> Still applies.***
8. ***Existing overhead utilities located in the public right-of-way will need to be removed and undergrounded as part of project. Relocations of other existing utilities, including a traffic signal***

- pole, are necessary to accommodate new curb ramp returns and other public improvements. >> Still applicable. Developer to coordinate with SCE and City Engineer for relocation/underground plan.*
- 9. Street lighting shall be installed per City street design standards. A service meter pedestal may need to be installed. Electrical design plans shall be submitted with civil improvements. >> Still applies.*
 - 10. Murray, School, and Tipton have existing right-of-way widths of 66-feet. Cross sections of these streets shall have a 10' right-of-way behind curb and 46-foot curb-to-curb width. >> Site plan dimensions have been provided and appear to comply.*
 - 11. Santa Fe will require widening to ultimate street section of 84'. The existing right-of-way is 66' therefore an additional 18' will be required to be dedicated. Street section shall be 10' right-of-way behind curb and a 64' curb-to-curb width. Refer to arterial pavement design stds. >> Still applies.*
 - 12. A Class IV cycle track is planned along the east side of Santa Fe which will impact this project. Further coordination with City project manager (Diego Corvera 559-713-4209) is necessary for street design considerations. >> Still applies.*
 - 13. Due to the planned cycle track, the proposed access onto Santa Fe will need to be centrally located and aligned with the existing approach on the west side in order for the proposed access to be entertained. >> Revised site plan indicates realignment, appears adequate.*
 - 14. The corner ramp returns shall be designed/installed as follows: School & Tipton - 20' Radius, Murray & Tipton - 30' Radius, Murray & Santa Fe - 35' Radius, and Santa Fe & School - 30' Radius, all per City stds. Additional diagonal (corner cut) right-of-way dedications will be required. Underground/relocate existing utilities accordingly. >> Site plan appears adequate however all utilities impacted by the corner ramp design were not identified. Ensure compliance at time of civil submittal.*
 - 15. There is an existing storm drain main in Tipton St and existing drain inlets at the intersections. Relocation of the inlets will be required with new curb ramp installations. Design accordingly, refer to City std drain inlet stds. >> Still applies.*
 - 16. The project storm run-off can drain to the surrounding streets by utilizing City std commercial sidewalk drains D-20. Public street curb and gutters shall be installed per std gutter slopes. Project may be required to extend storm infrastructure accordingly to properly capture street run-off. >> Still applies.*
 - 17. Site plan proposes City std C-24 drive approach standards, which is acceptable, however the drawing appears to indicate a recessed (ramp down) sidewalk for the pedestrian path of travel over and across the drive approach. Per City std C-24, the pedestrian path shall run level with sidewalk elevation. >> Still applies.*
 - 18. Site plan does not accurately depict all parcels within the project boundary line. There is an existing triangular parcel per City records not shown. A lot merger will need to be processed as part of project. Revise plan accordingly. >> Site plan revised and appears to match City records.*
 - 19. Site plan will need to delineate any existing encumbrances onsite affecting all parcels. Per the underlying subdivision records, there was a possible alleyway that split the lot north and south. If so, abandonment of the public right-of-way would have to have occurred however this does not automatically abandon any private utility easements. Design and placement of the lot and building will be subject to any existing encumbrances. Revise site plan accordingly. >> Site plan revised to show previous alleyway however no additional title encumbrances are mentioned. Comment still applies, will need to be addressed at civil plan review.*
 - 20. Provide a floor plan of the building. Provide square footages of the daycare and the clinic. >> Provided.*
 - 21. Required public street improvements shall include, but may not be limited to, pavement, pavement transitions, street lighting, drive approaches, curb ramps, sidewalks, landscape & irrigation, striping & signage, utility relocations and undergrounding, utility extensions, and traffic signal modifications. >> Still applies.*
 - 22. A building permit is required, standard plan check and inspection fees will apply. >> Still applies.*
 - 23. Site plan shall also provide existing drive approach/access information from opposing street sides. Provide cross section of Murray, School, Tipton, and Santa Fe. >> Provided.*

24. *The compact stalls facing north at northeast corner of the parking lot do not comply to City standards for adequate reverse (backout) maneuverability. Omit and revise site design accordingly with civil submittal.*
25. *It appears the existing traffic signal pole on Murray Ave. was installed at ultimate location. It is unclear which radius curb ramp return was intended to be installed in the future, therefore indicate with civil drawings the proper radius.*
26. *Santa Fe widening is identified in the City's Transportation Impact Fee program. Typical Developer cost responsibilities per the program include, but may not be limited to, 6-foot wide pavement section, curb & gutter, sidewalk, parkway landscaping & irrigation, utility underground/relocations & extensions, curb ramp returns, drive approaches, street lighting, signage & striping, and 18-foot max right-of-way dedication. Costs for traffic signal relocations/modifications and ultimate street striping may qualify for reimbursement via Transportation Impact Fee credits. Further coordination with City engineer is required as more information is needed from actual civil drawings.*
27. *Site plan will need to be revised to provide the proper and minimum information requirements as outlined in the City's Site Plan Application, "Site Plan Minimum Requirements". They are as follows: >> Most items provided with revised site plan, any items not shown to be properly addressed at time of civil drawing submittals.*

⇒ Site plan shall provide for and indicate all of the following:

- | | | |
|--|-------------------------------------|--|
| - North arrow | - Existing & proposed structures | - Loading/unloading areas |
| - All existing & proposed site features | - Adjacent street names | - Accessible path of travel from right of way |
| - Site dimensions, including building | - Refuse enclosures & containers | - Accessible path of travel from ADA stall |
| - Existing and proposed fencing at site | - Valley oak trees (show drip line) | - Location and width of drive approaches to site |
| - Public improvements (curbs, sidewalks, utility poles, hydrants, street lights, etc.) | - Existing & proposed landscaping | - Tentative maps shall adhere to requirements of Visalia Municipal Code Section 16 |
| | - Parking stalls (include ADA) | |

SUMMARY OF APPLICABLE DEVELOPMENT IMPACT FEES

Site Plan No: **22-127 2nd RESUBMITTAL**
 Date: **08/10/2022**

Summary of applicable Development Impact Fees to be collected at the time of building permit:
(Preliminary estimate only! Final fees will be based on the development fee schedule in effect at the time of building permit issuance.)

(Fee Schedule Date:**07/21/2022**)
 (Project type for fee rates:**ADULT DAYCARE / MEDICAL CLINIC**)

Existing uses may qualify for credits on Development Impact Fees. **SERV COMM + 0.45AC PARTIALLY DEVELOPED + DOWNTOWN (25%)**

FEE ITEM	FEE RATE
<input checked="" type="checkbox"/> Groundwater Overdraft Mitigation Fee	\$1,366/AC X 2.38
<input checked="" type="checkbox"/> Transportation Impact Fee	MEDICAL: \$16,772/1KSF X 7.5 X 0.75 = \$94,343 GENERAL: \$6,878/1KSF X 17.5 X 0.75 = \$90,274
<input checked="" type="checkbox"/> Trunk Line Capacity Fee	\$103/1KSF X 25 WWTP: \$244/1KSF X 25
<input checked="" type="checkbox"/> Sewer Front Foot Fee	\$46/LF X TBD
<input checked="" type="checkbox"/> Storm Drain Acq/Dev Fee	\$8,158/AC X 2.38
<input type="checkbox"/> Park Acq/Dev Fee	
<input type="checkbox"/> Northeast Specific Plan Fees	
<input checked="" type="checkbox"/> Waterways Acquisition Fee	\$5,985/AC X 2.38
<input checked="" type="checkbox"/> Public Safety Impact Fee: Police	\$9,154/AC X 2.38
<input checked="" type="checkbox"/> Public Safety Impact Fee: Fire	\$2,002/AC X 2.38
<input checked="" type="checkbox"/> Public Facility Impact Fee	\$714/1KSF X 25
<input type="checkbox"/> Parking In-Lieu	

Reimbursement:

- 1.) No reimbursement shall be made except as provided in a written reimbursement agreement between the City and the developer entered into prior to commencement of construction of the subject facilities.
- 2.) Reimbursement is available for the development of arterial/collector streets as shown in the City's Circulation Element and funded in the City's transportation impact fee program. The developer will be reimbursed for construction costs and right of way dedications as outlined in Municipal Code Section 16.44. Reimbursement unit costs will be subject to those unit costs utilized as the basis for the transportation impact fee.
- 3.) Reimbursement is available for the construction of storm drain trunk lines and sanitary sewer trunk lines shown in the City's Storm Water Master Plan and Sanitary Sewer System Master Plan. The developer will be reimbursed for construction costs associated with the installation of these trunk lines.



Adrian Rubalcaba

City of Visalia
Building: Site Plan
Review Comments

3/22/27
NEW ADULT DAYCARE
FACILITY
500 E SCHOOL

NOTE: These are general comments and DO NOT constitute a complete plan check for your specific project
Please refer to the applicable California Code & local ordinance for additional requirements.

- A building permit will be required. *For information call (559) 713-4444*
- Submit 1 digital set of professionally prepared plans and 1 set of calculations. (Small Tenant Improvements)
- Submit 1 digital set of plans prepared by an architect or engineer. Must comply with 2016 California Building Cod Sec. 2308 for conventional light-frame construction or submit 1 digital set of engineered calculations.
- Indicate abandoned wells, septic systems and excavations on construction plans.
- You are responsible to ensure compliance with the following checked items:

 Meet State and Federal requirements for accessibility for persons with disabilities.
- A path of travel, parking and common area must comply with requirements for access for persons with disabilities.
- All accessible units required to be adaptable for persons with disabilities.
- Maintain sound transmission control between units minimum of 50 STC.
- Maintain fire-resistive requirements at property lines.
- A demolition permit & deposit is required. *For information call (559) 713-4444*
- Obtain required permits from San Joaquin Valley Air Pollution Board. *For information call (661) 392-5500*
- Plans must be approved by the Tulare County Health Department. *For information call (559) 624-8011*
- Project is located in flood zone AE * Hazardous materials report. **MEET FEMA FLOOD REQUIREMENTS**
- Arrange for an on-site inspection. (Fee for inspection \$157.00) *For information call (559) 713-4444*
- School Development fees. Commercial. **\$0.75 PER S.F.**
- Park Development fee \$ _____, per unit collected with building permits.
- Additional address may be required for each structure located on the site. *For information call (559) 713-4320*
- Acceptable as submitted
- No comments at this time

Additional comments: COMMERCIAL COOKING REQUIRES TYPE I HOOD AND AND INGROUND GREASE INTERCEPTOR. DO NOT CONSTRUCT BUILDING OVER EXISTING PROPERTY LINES. PROVIDE ACCESSIBLE ROUTE TO TRASH ENCLOSURE, PIKE RACK, AND FUTURE EV CHARGING PARKING. ALL EXAM ROOM SINKS SHALL BE DESIGN FOR FORWARD APPROACH. BUILDING SHALL BE FULLY FIRE SPRINKLERED WITH A MANUAL FIRE ALARM. TWO EXITS REQUIRED FROM SECOND FLOOR WITH AN OCCUPANT LOAD OF 49 OR MORE FOR GROUP B OCCUPANCY.
VAL CAROL 8/10/22



Site Plan Comments

Visalia Fire Department
Corbin Reed, Fire Marshal
420 N. Burke
Visalia CA 93292
559-713-4272 office
prevention.division@visalia.city

Date	August 9, 2022
Item #	4
Site Plan #	22127
APN:	094250038 & 39

- The Site Plan Review comments are issued as **general overview** of your project. With further details, additional requirements will be enforced at the Plan Review stage. Please refer to the 2019 California Fire Code (CFC), 2019 California Building Codes (CBC) and City of Visalia Municipal Codes.
- This item is a **resubmittal**. Please see comments from previous submittals.

Corbin Reed
Fire Marshal

Note **SITE PLAN REVIEW COMMENTS**

CITY OF VISALIA TRAFFIC SAFETY DIVISION

August 10, 2022

ITEM NO: 4 **Resubmit**
SITE PLAN NO: SPR22127
PROJECT TITLE: A New Adult Daycare Facility
DESCRIPTION: A New 25,000 SF All-inclusive Care for the Elderly (D-MU)
APPLICANT: Eric McConnaughey
OWNER: CUSENZA FAMILY LIMITED PARTNERSHIP N
APN: 094250039
094250038
LOCATION: 500 E SCHOOL AVE

THE TRAFFIC DIVISION WILL PROHIBIT ON-STREET PARKING AS DEEMED NECESSARY

- No Comments
- See Previous Site Plan Comments
- Install Street Light(s) per City Standards at time of development.
- Install Street Name Blades at Locations at time of development.
- Install Stop Signs at **local road intersection with collector/arterial** Locations.
- Construct parking per City Standards PK-1 through PK-4 at time of development.
- Construct drive approach per City Standards at time of development.
- Traffic Impact Analysis required (CUP)
- Provide more traffic information such as number of trips project is projected to generate in the peak hour. Depending on development size, characteristics, etc., a TIA may be required.
- Additional traffic information required (Non Discretionary)
- Trip Generation - Provide documentation as to concurrence with General Plan.
- Site Specific - Evaluate access points and provide documentation of conformance with COV standards. If noncomplying, provide explanation.
- Traffic Impact Fee (TIF) Program - Identify improvements needed in concurrence with TIF.

Additional Comments:

- Note – Plan has been revised to show driveway on Santa Fe St aligning with driveway on westside of Santa Fe St.
- COV C-32 Drive Approach Locations – Driveway on School Ave required to be a minimum of 100' from end of curb return.
- Santa Fe St location for future Class IV bike lane. Contact Diego Corvera, Ph# 559-713-4209.
- Questions on traffic requirements, contact Traffic Engineering, ph# 559-713-4633.

Leslie Blair

Leslie Blair



SITE PLAN REVIEW DATE: 08.10.22

WASTEWATER COLLECTIONS AND PRETREATMENT DIVISION (QUALITY ASSURANCE)
SITE PLAN REVIEW COMMENTS

SITE PLAN REVIEW NO: SPR 22127 RESUBMIT

PROJECT NAME: ADULT DAY CARE FACILITY

THE PROJECT IS SUBJECT TO THE FOLLOWING REQUIREMENTS FROM WASTEWATER
PRETREATMENT DIVISION (QUALITY ASSURANCE):

SUBMISSION OF WASTEWATER DISCHARGE PERMIT
APPLICATION/QUESTIONNAIRE/OTHER REGULATORY FORMS

- FORM REQUIRED FOOD SERVICE EST QUEST _____
- FORM REQUIRED _____
- FORM REQUIRED _____

INSTALLATION OF SAND AND GREASE INTERCEPTOR

INSTALLATION GREASE INTERCEPTOR

OTHER _____

SITE PLAN REVIEWED-NO COMMENTS

CONTACT THE WASTEWATER PRETREATMENT DIVISION (QUALITY ASSURANCE) AT
(559) 713-4529 OR JESSICA.SANDOVAL@VISALIA.CITY, IF YOU HAVE ANY QUESTIONS.

COMMENTS:

FORMS CAN BE FOUND @
https://www.visalia.city/depts/public_works/wastewater/commercial_industrial_pretreatment_program.asp

DATE REVIEWED: 08.08.22

CITY OF VISALIA
SOLID WASTE DIVISION
336 N. BEN MADDOX
VISALIA CA. 93291
713 - 4532
COMMERCIAL BIN SERVICE

22127

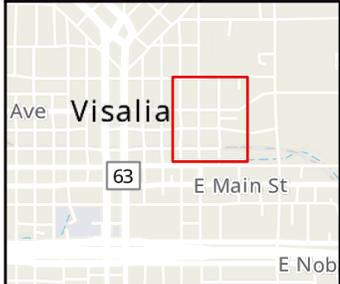
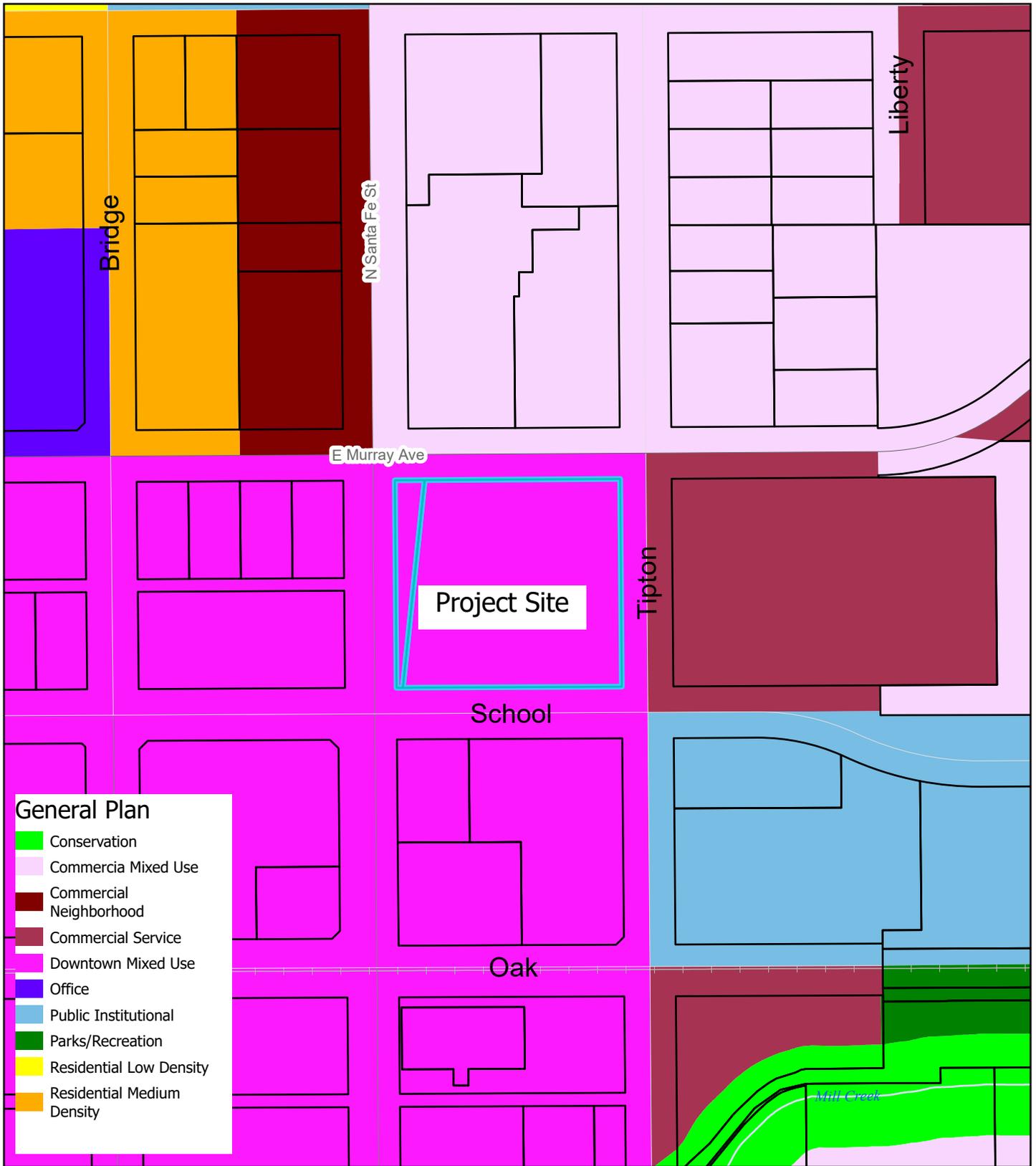
August 10, 2022

- No comments.
- See comments below
- Revisions required prior to submitting final plans. See comments below.
- Resubmittal required. See comments below.
- Customer responsible for all cardboard and other bulky recyclables to be broken down before disposing of in recycle containers
- ALL refuse enclosures must be R-3 OR R-4
- Customer must provide combination or keys for access to locked gates/bins
- Type of refuse service not indicated.
- Location of bin enclosure not acceptable. See comments below.
- Bin enclosure not to city standards double.
- Inadequate number of bins to provide sufficient service. See comments below.
- Drive approach too narrow for refuse trucks access. See comments below.
- Area not adequate for allowing refuse truck turning radius of : Commercial 50 ft. outside 36 ft. inside; Residential 35 ft. outside, 20 ft. inside.
- Paved areas should be engineered to withstand a 55,000 lb. refuse truck.
- Bin enclosure gates are required
- Hammerhead turnaround must be built per city standards.
- Cul - de - sac must be built per city standards.
- Bin enclosures are for city refuse containers only. Grease drums or any other items are not allowed to be stored inside bin enclosures.
- Area in front of refuse enclosure must be marked off indicating no parking
- Enclosure will have to be designed and located for a STAB service (DIRECT ACCESS) with no less than 38' clear space in front of the bin, included the front concrete pad.
- Customer will be required to roll container out to curb for service.
- Must be a concrete slab in front of enclosure as per city standards, the width of the enclosure by ten(10) feet, minimum of six(6) inches in depth.
- Roll off compactor's must have a clearance of 3 feet from any wall on both sides and there must be a minimum of 53 feet clearance in front of the compactor to allow the truck enough room to provide service.
- City ordinance 8.28.120-130 (effective 07/19/18) requires contractor to contract with City for removal of construction debris unless transported in equipment owned by contractor or unless contracting with a franchise permittee for removal of debris utilizing roll-off boxes.

Comment The proposed city standard (R3/R4) double enclosure looks good for STAB load collections. Solid Waste recommends the customer identify placement of a city standard (R1/R2) single enclosure specifically for organic waste recycling. Enclosure gates are required, they must open 180 degrees, and clear all curbing. Cane bolts must be included to secure gates when opened. Customer to contact Solid Waste at 559-713-4532 to schedule a waste assessment when ready to have bins assigned.

Jason Serpa, Solid Waste Manager, 559-713-4533
Edward Zuniga, Solid Waste Supervisor, 559-713-4338

Nathan Garza, Solid Waste, 559-713-4532

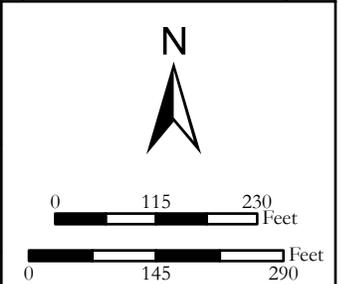



General Plan Land Use Map

City of Visalia, Fresno County Dept. PWP, California State Parks, Esri, HERE, Garmin, SafeGraph, GeoTechnologies, Inc, METI/NASA, USGS, Bureau of Land Management, EPA, NPS, USDA, Esri, NASA, NGA, USGS, FEMA

2022

Coordinate System: WGS 1984 Web Mercator Auxiliary Sphere





Zoning

- Service Commercial
- Mixed Use Commercial
- Mixed Use Downtown
- Professional / Administrative Office
- Quasi-Public
- 1200 SF Min Site Area

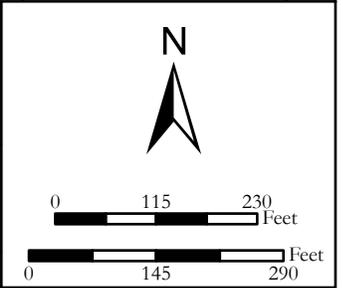


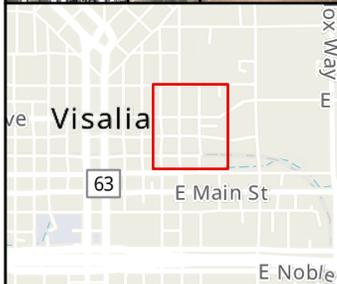
Zoning Map

Esri, NASA, NGA, USGS, FEMA, City of Visalia, Fresno County Dept. PWP, California State Parks, Esri, HERE, Garmin, SafeGraph, GeoTechnologies, Inc, METI/NASA, USGS, Bureau of Land Management, EPA, NPS, US Census Bureau, USDA

2022

Coordinate System: WGS 1984 Web Mercator Auxiliary Sphere





Aerial Map

City of Visalia, Fresno County Dept. PWP, California State Parks, Esri, HERE, Garmin, SafeGraph, GeoTechnologies, Inc, METI/NASA, USGS, Bureau of Land Management, EPA, NPS, USDA, Esri, NASA, NGA, USGS, FEMA

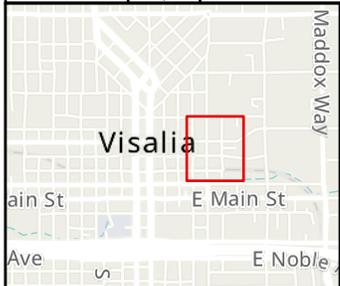
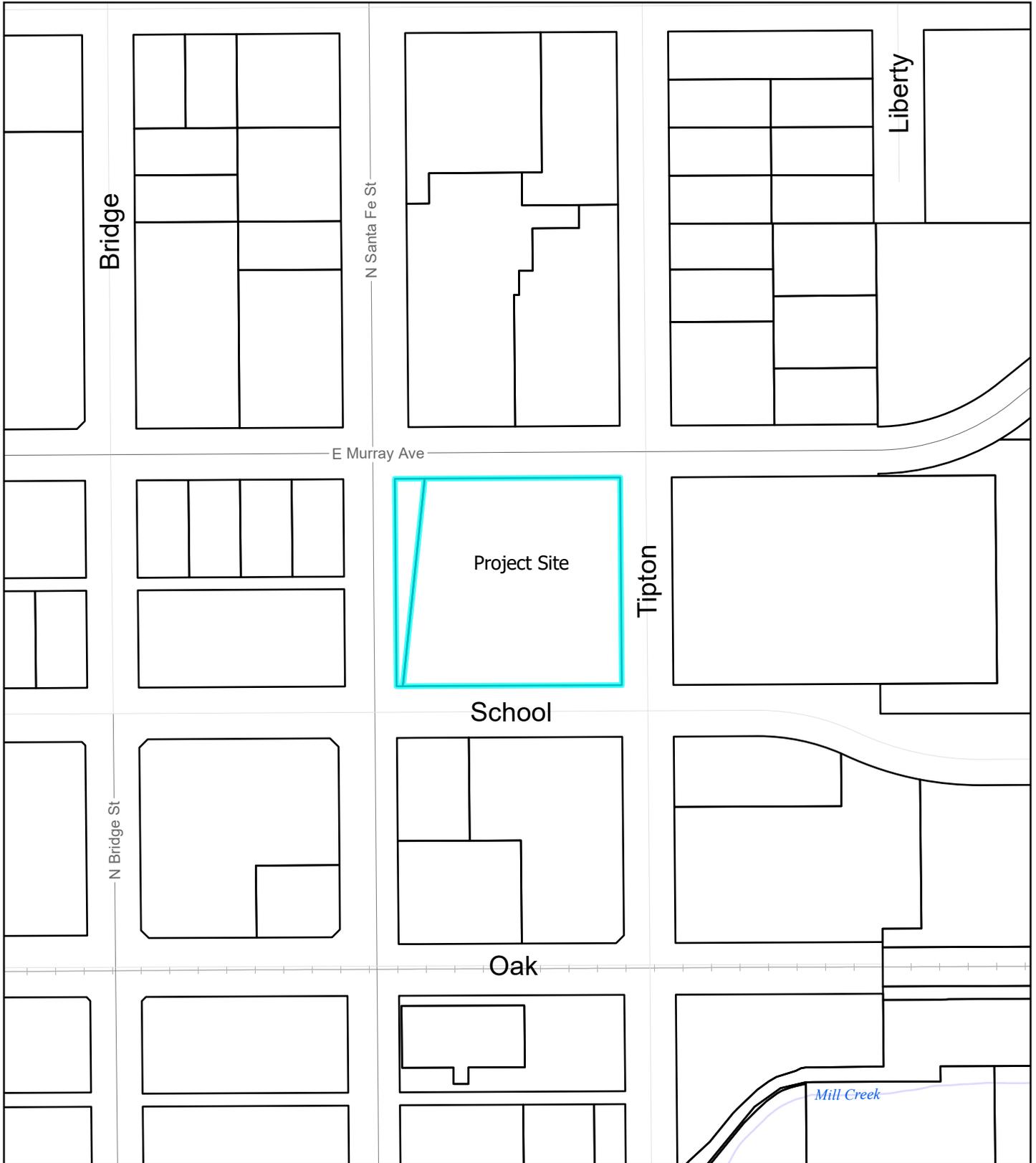
2022

Coordinate System: WGS 1984 Web Mercator Auxiliary Sphere

N

0 115 230 Feet

0 145 290 Feet



Vicinity Map

City of Visalia, Fresno County Dept. PWP, California State Parks, Esri, HERE, Garmin, SafeGraph, GeoTechnologies, Inc, METI/NASA, USGS, Bureau of Land Management, EPA, NPS, USDA, Esri, NASA, NGA, USGS, FEMA

2022

Coordinate System: WGS 1984 Web Mercator Auxiliary Sphere

