PLANNING COMMISSION AGENDA

CHAIRPERSON:
Marvin Hansen

VICE CHAIRPERSON:
Adam Peck

COMMISSIONERS: Mary Beatie, Chris Tavarez, Chris Gomez, Adam Peck, Marvin Hansen

MONDAY, JUNE 27, 2022
VISALIA COUNCIL CHAMBERS
LOCATED AT 707 W. ACEQUIA AVENUE, VISALIA, CA
MEETING TIME: 7:00 PM

1. CALL TO ORDER –

2. THE PLEDGE OF ALLEGIANCE –

3. CITIZEN'S COMMENTS – This is the time for citizens to comment on subject matters that are not on the agenda but are within the jurisdiction of the Visalia Planning Commission. You may provide comments to the Planning Commission at this time, but the Planning Commission may only legally discuss those items already on tonight's agenda.

   The Commission requests that a five (5) minute time limit be observed for Citizen Comments. You will be notified when your five minutes have expired.

4. CHANGES OR COMMENTS TO THE AGENDA –

5. CONSENT CALENDAR - All items under the consent calendar are to be considered routine and will be enacted by one motion. For any discussion of an item on the consent calendar, it will be removed at the request of the Commission and made a part of the regular agenda.

   - No items on the Consent Calendar

6. PUBLIC HEARING – (Continued from April 25, 2022, and May 23, 2022) Josh Dan, Associate Planner

   a. General Plan Amendment No. 2021-10: A request by Ming Lu Jin to change the land use designation of 5,196 square feet of a 15,261 square foot parcel from Low Density Residential (RLD) to Commercial Mixed Use (CMU). The project is located on the northeast corner of South Mooney Boulevard and West Meadow Avenue. Address: 914 South Mooney Boulevard. (APNs: 096-023-023 & 096-023-031).

   b. Change of Zone No. 2021-12: A request by Ming Lu Jin to change the zoning designation of 5,196 square feet of a 15,261 square foot parcel from R-1-5 (Single Family Residential, 5,000 sq. ft. minimum site area) to C-MU (Mixed Use Commercial). The project is located on the northeast corner of South Mooney Boulevard and West Meadow Avenue. Address: 914 South Mooney Boulevard. (APNs: 096-023-023 & 096-023-031).

c. Variance No. 2021-05: A request by Ming Lu Jin for encroachment of the southwest corner of the building into the 10-foot street side yard setback along Meadow Avenue. The project is located on the northeast corner of South Mooney Boulevard and West Meadow Avenue. Address: 914 South Mooney Boulevard. (APNs: 096-023-023 & 096-023-031).

7. PUBLIC HEARING – Rafael Garcia, Senior Planner

   Conditional Use Permit No. 2021-36: A request by Family Health Care Network to develop a vacant lot with a paved and striped parking lot with a 3,827 square foot garage for parking and storage on a D-MU (Downtown Mixed Use) commercially zoned site. The offsite parking will be used by the new 22,781 square foot office building proposed on the northwest corner of East School Avenue and North Bridge Street. The property is located on the northeast corner of East School Avenue and North Bridge Street (Address: N/A) (APN 094-274-006).

8. PUBLIC HEARING – Josh Dan, Associate Planner

   Conditional Use Permit No. 2022-09: A request by JH Real Estate Partners Inc. to allow a 234 unit, two- and three-story apartment complex on two parcels measuring 15.7 acres combined and zoned R-M-2 (Multi-Family Residential, one unit per 3,000 square feet). The project is located on the northeast corner of North Court Street and East Riggin Avenue. (Address not assigned) (APNs: 079-310-004 & 079-310-005).

9. PUBLIC HEARING – Josh Dan, Associate Planner

   Conditional Use Permit No. 2022-012: A request by Klassen Corporation to construct a new 59,539 square foot four-story Towneplace Suites by Marriott Hotel with 101 rooms, lounge area, fitness room, and outdoor swimming pool on a 1.71-acre parcel in the C-MU (Commercial Mixed-Use) zone. The site is located on the south side of West Cypress Avenue, 1,000 feet west of the South Akers Street and West Cypress Avenue intersection (Address: N/A) (APN: 087-450-030).

10. CITY PLANNER/ PLANNING COMMISSION DISCUSSION –

    a. The next Planning Commission meeting is July 11, 2022.

    b. City Council approved to initiate Annexation No. 2021-03 at June 20, 2022 meeting.

    c. Historic Preservation Ordinance / Local Register Update set for July 11, 2022 Planning Commission meeting.

The Planning Commission meeting may end no later than 11:00 P.M. Any unfinished business may be continued to a future date and time to be determined by the Commission at this meeting. The Planning Commission routinely visits the project sites listed on the agenda.

For Hearing Impaired – Call (559) 713-4900 (TTY) 48-hours in advance of the scheduled meeting time to request signing services.

Any written materials relating to an item on this agenda submitted to the Planning Commission after distribution of the agenda packet are available for public inspection in the City Office, 315 E. Acequia Visalia, CA 93291, during normal business hours.

APPEAL PROCEDURE

THE LAST DAY TO FILE AN APPEAL IS THURSDAY, JULY 7, 2022, BEFORE 5 PM

According to the City of Visalia Zoning Ordinance Section 17.02.145 and Subdivision Ordinance Section 16.04.040, an appeal to the City Council may be submitted within ten days following the date of a decision by the Planning Commission. An appeal form with applicable fees shall be filed with the City Clerk at 220 N. Santa Fe, Visalia, CA 93291. The appeal shall specify errors or abuses of discretion by the Planning Commission, or decisions not supported by the evidence in the record. The appeal form can be found on the city's website www.visalia.city or from the City Clerk.

THE NEXT REGULAR MEETING WILL BE HELD ON MONDAY, JULY 11, 2022

REPORT TO CITY OF VISALIA PLANNING COMMISSION

HEARING DATE: June 27, 2022

PROJECT PLANNER: Josh Dan, Associate Planner
Phone No.: (559) 713-4003
E-mail: josh.dan@visalia.city

SUBJECT: **Conditional Use Permit No. 2022-12:** A request by Klassen Corporation to construct a new 59,539 square foot four-story Towneplace Suites by Marriott Hotel with 101 rooms, lounge area, fitness room, and outdoor swimming pool on a 1.71-acre parcel in the C-MU (Commercial Mixed-Use) zone. The site is located on the south side of West Cypress Avenue, west of the South Akers Street and West Cypress Avenue intersection (Address: N/A) (APN: 087-450-030).

STAFF RECOMMENDATION

Staff recommends approval of Conditional Use Permit No. 2022-12, based upon the findings and conditions in Resolution No. 2022-25. Staff's recommendation is based on the conclusion that the request is consistent with the General Plan, Zoning Ordinance and Design Guidelines for the Village West Commercial Shopping Center.

RECOMMENDED MOTION

I move to approve Conditional Use Permit No. 2022-12 based on the findings and conditions in Resolution No. 2022-25.

PROJECT DESCRIPTION

The Conditional Use Permit (CUP) is a request to construct a new 59,539 square foot four-story Towneplace Suites by Marriott hotel (see Exhibit "A"). The hotel site will be developed on 1.71-acres of C-MU (Commercial Mixed-Use) zoned property. The parcel was created by the approval and recording of final Parcel No 5340 (i.e., Tentative Parcel Map No. 2016-03) that subdivided the overall 3.68-acre site into two parcels. The project site is also part of the Village West Shopping Center. The site is located on the south side of West Cypress Avenue, west of the Akers/Cypress intersection where West Cypress Avenue terminates at the Persian Ditch.

The hotel entrance, which is located under a Porte-cochere, is located along the north building façade (see Exhibit "B"). Hotel amenities include a breakfast buffet area, lobby/lounge area, fitness room, and an outdoor pool. This information is depicted on the floor plan (see Exhibit "C") for the hotel. The hotel will provide 106 parking stalls and bike storage/bike racks. Copies of the floor plans and landscape plans are also attached to the staff report (see Exhibits "C" and "D").

BACKGROUND INFORMATION

General Plan Land Use Designation:	Commercial Mixed Use	
Zoning:	C-MU (Commercial Mixed Use)	
Surrounding Land Uses and Zoning:	North:	C-MU / Adventure Park
	South:	QP (Quasi-Public) / Central Valley Christian School

	East: C-MU / Central Valley Regional Center Offices West: County / fallow property, proposed site for Sierra Village development
Environmental Review:	Categorical Exemption No. 2022-25
Special Districts:	Design District "F" & Design Guidelines for the Village West Commercial Shopping Center
Site Plan:	2022-013

RELATED PROJECTS

Village West Commercial Development

General Plan Amendment No. 2000-16, General Plan Amendment No. 2000-14, Change of Zone No. 2000-17, Zone Text Amendment No. 2000-15, Specific Plan Amendment No. 2000-13, Conditional Use Permit No. 2002-04, Variance No. 2002-01 and Tentative Parcel Map No. 2002-01 were approved by the City Council on April 1, 2002. These multiple discretionary entitlements were approved to facilitate the development of the Village West Commercial Shopping Center, which included the Adventure Park, hotel, gas station, fast food and sit down restaurants.

Conditional Use Permit No. 2009-42: A request by M.S. Walker and Associates to construct an 87,670 square foot four-story Residence Inn by Marriott Hotel on the subject site. The Planning Commission approved the project on January 25, 2010. The applicant never pursued the project and the CUP expired on January 25, 2012.

Conditional Use Permit No. 2015-17: A request by Grand Shangrila International, Inc., to construct a five-story Holiday Inn Express with 104 rooms on a 3.68-acre parcel in the C-SO (Shopping / Office Commercial) zone. The Planning Commission approved this action on June 8, 2015).

Tentative Parcel Map No. 2016-03: was a request by TC Investments Visalia, LLC to divide a 3.68 acre parcel into a 1.97 acre, and 1.71 acre parcel, in the CSO (Commercial Shopping Office) zone. The project is located at 5625 W. Cypress Avenue (APN: 087-450-022). The Planning Commission approved this action on April 24, 2017).

PROJECT EVALUATION

Staff recommends approval of the Conditional Use Permit No. 2022-12-17, as conditioned, based on the project's consistency with the General Plan, Zoning Ordinance and Design Guidelines for the Village West Commercial Shopping Center.

Land Use Compatibility

Hotels are considered compatible uses in commercial areas where potential impacts can be addressed through the CUP process. The site is located within the Village West Commercial Shopping center, which is developed with commercial, and offices uses such as Adventure Park, La Quinta Hotel, Holiday Inn Express, fast-food restaurants and general office uses.

The proposed hotel site was identified in the original Master CUP site plan for the Village West Commercial Shopping center. The site plan at that time was conceptual and several of the proposed uses originally identified in the Master CUP site plan moved with the development of the shopping center.

Staff concludes that the proposed hotel is consistent in nature and character with the existing uses surrounding the project site. Staff has concluded that the proposed hotel will be compatible and complementary to the surrounding area.

Parking

Hotels are required to provide one parking space for each quest room and one parking space for each two employees per shift regularly employed by the hotel. Based on the number of rooms and employees as stated in the information provided by the applicant (maximum six employees per shift), a total of 104 parking spaces are required. The site is proposing to construct a parking field that can accommodate 106 parking spaces as depicted in Exhibit "A". Staff recommends the Planning Commission approve Condition No. 4 requiring the site be developed to provide the 106 parking stalls as depicted per Exhibit "A". Providing the onsite parking as noted reduces the burden of requiring employees to park on the street when the parking field for the hotel is being utilized fully during weekends and peak seasons.

Building Elevations

Exhibit "B" provides typical building elevations proposed for the Towneplace Suites hotel. The elevations depict a flat roof, stucco siding and cement panels. Staff has included Condition No. 3 of the Conditions of Approval for CUP No. 2022-12, requiring that the building elevations be developed consistent with those provided in Exhibit "B".

Landscaping

Landscape plans are attached as Exhibit "D" to the staff report. Street tree landscaping placement within the parkway strip along Cypress Avenue is established. Additional street trees are required on-site that will establish the double rows of trees that reinforce the boulevard planting scheme intended under the Architectural Design Guidelines for the Village West Commercial Shopping Center. All landscaping installed is required to comply with the Model Water Efficient Landscape Ordinance. The ordinance applies to projects installing 2,500 square feet or more of landscaping. It requires that landscaping and irrigation plans be certified by a qualified entity (i.e., Landscape Architect) as meeting the State water conservation requirements. The City's implementation of this State law will be accomplished by self-certification of the final landscape and irrigation plans by the applicant's landscape architect and/or contractor.

Environmental Review

The requested action is considered Categorically Exempt under Section 15332 of the Guidelines for the Implementation of the California Environmental Quality Act (CEQA). (Categorical Exemption No. 2022-25).

Projects determined to meet this classification are characterized as in-fill development and are with the applicable general plan designation and all applicable general plan policies as well as with applicable zoning designation and regulations, the development occurs within the city limits on a site no more than five acres, site has no value has habitat for endangered, rare or threatened species and the site can adequately be served by all required utilities and public services.

RECOMMENDED FINDINGS

1. That the proposed project will not be detrimental to the public health, safety, or welfare, or materially injurious to properties or improvements in the vicinity.
2. That the proposed conditional use permit is consistent with the policies and intent of the West Visalia Specific Plan, General Plan, Zoning Ordinance and Design Guidelines for the Village West Commercial Shopping Center. Specifically, the project is consistent with the required finding of the Zoning Ordinance Section 17.38.110:
   a. The proposed location of the conditional use permit is in accordance with the objectives of the Zoning Ordinance and the purposes of the zone in which the site is located. Hotels are considered compatible uses in commercial areas where potential impacts can be addressed through the CUP process. The site is located within the Village West Commercial Shopping center, which is developed with commercial, and offices uses such as Adventure Park, La Quinta Hotel, Holiday Inn Express, fast-food restaurants and general office uses.

      The proposed hotel site was identified in the original Master CUP site plan for the Village West Commercial Shopping center. The site plan at that time was conceptual and several of the proposed uses originally identified in the Master CUP site plan moved with the development of the shopping center.

   b. The proposed location of the conditional use and the conditions under which it would be operated or maintained will not be detrimental to the public health, safety, or welfare, nor materially injurious to properties or improvements in the vicinity.
3. That the project is considered Categorically Exempt under Section 15332 of the Guidelines for the Implementation of the California Environmental Quality Act (CEQA). (Categorical Exemption No. 2022-25).

RECOMMENDED CONDITIONS OF APPROVAL

1. That the Conditional Use Permit be developed consistent with the comments and conditions of Site Plan Review No. 2022-013.
2. That the use be operated in substantial compliance with the site plan shown in Exhibit “A”.
3. That the Towneplace Suites by Marriott be developed in substantial compliance with the elevations shown in Exhibits “B”.
4. That the site be developed to provide 106 parking spaces based on the Zoning Ordinance Parking Requirements for Hotels as stated in Section 17.34.020.A.4, and as depicted per Exhibit “A”.
5. That landscape and irrigation plans be submitted with the building permit, designed by a professional landscape architect. In addition, landscape and irrigation plans shall comply with the Model Water Efficient Landscape Ordinance by submittal of Landscape Documentation Packages and Certificates of Compliance certified by a California licensed landscape architect with sections signed by appropriately licensed or certified persons as required by ordinance.
6. That all new building signage shall require a separate building permit.
7. That all applicable federal, state and city laws, codes and ordinances be met.

APPEAL INFORMATION

According to the City of Visalia Zoning Ordinance Section 17.02.145, an appeal to the City Council may be submitted within ten days following the date of a decision by the Planning Commission. An appeal with applicable fees shall be in writing and shall be filed with the City Clerk at 220 North Santa Fe Street, Visalia California. The appeal shall specify errors or abuses of discretion by the Planning Commission, or decisions not supported by the evidence in the record. The appeal form can be found on the city's website www.visalia.city or from the City Clerk.

Attachments:

- Related Plans & Policies
- Resolution No. 2022-25
- Exhibit "A" – Site Plan
- Exhibit "B" – Elevations
- Exhibit "C" – Floor Plans
- Exhibit "D" – Landscape Plan
- Site Plan Review No. 2022-013 Comments
- General Plan Land Use Map
- Zoning Map
- Aerial Map
- Vicinity Map

Related Plans & Policies

Conditional Use Permits

17.38.010 Purposes and powers.

In certain zones conditional uses are permitted subject to the granting of a conditional use permit. Because of their unusual characteristics, conditional uses require special consideration so that they may be located properly with respect to the objectives of the zoning ordinance and with respect to their effects on surrounding properties. In order to achieve these purposes and thus give the zone use regulations the flexibility necessary to achieve the objectives of this title, the planning commission is empowered to grant or deny applications for conditional use permits and to impose reasonable conditions upon the granting of such permits. (Prior code § 7525)

17.38.020 Application procedures.

A. Application for a conditional use permit shall be made to the planning commission on a form prescribed by the commission which shall include the following data:

1. Name and address of the applicant;
2. Statement that the applicant is the owner of the property or is the authorized agent of the owner;
3. Address and legal description of the property;
4. The application shall be accompanied by such sketches or drawings as may be necessary by the planning division to clearly show the applicant's proposal;
5. The purposes of the conditional use permit and the general description of the use proposed;
6. Additional information as required by the historic preservation advisory committee.

B. The application shall be accompanied by a fee set by resolution of the city council sufficient to cover the cost of handling the application. (Prior code § 7526)

17.38.030 Lapse of conditional use permit.

A conditional use permit shall lapse and shall become void twenty-four (24) months after the date on which it became effective, unless the conditions of the permit allowed a shorter or greater time limit, or unless prior to the expiration of twenty-four (24) months a building permit is issued by the city and construction is commenced and diligently pursued toward completion on the site which was the subject of the permit. A permit may be renewed for an additional period of one year; provided, that prior to the expiration of twenty-four (24) months from the date the permit originally became effective, an application for renewal is filed with the planning commission. The commission may grant or deny an application for renewal of a conditional use permit. In the case of a planned residential development, the recording of a final map and improvements thereto shall be deemed the same as a building permit in relation to this section. (Ord. 2001-13 § 4 (part), 2001: prior code § 7527)

17.38.040 Revocation.

Upon violation of any applicable provision of this title, or, if granted subject to a condition or conditions, upon failure to comply with the condition or conditions, a conditional use permit shall be suspended automatically. The planning commission shall hold a public hearing within sixty (60) days, in accordance with the procedure prescribed in Section 17.38.080, and if not satisfied that the regulation, general provision or condition is being complied with, may revoke the permit or take such action as may be necessary to insure compliance with the regulation, general provision or condition. Appeals of the decision of the planning commission may be made to the city council as provided in Section 17.38.120. (Prior code § 7528)

17.38.050 New application.

Following the denial of a conditional use permit application or the revocation of a conditional use permit, no application for a conditional use permit for the same or substantially the same conditional use on the

same or substantially the same site shall be filed within one year from the date of denial or revocation of the permit unless such denial was a denial without prejudice by the planning commission or city council. (Prior code § 7530)

17.38.060 Conditional use permit to run with the land.

A conditional use permit granted pursuant to the provisions of this chapter shall run with the land and shall continue to be valid upon a change of ownership of the site or structure which was the subject of the permit application subject to the provisions of Section 17.38.065. (Prior code § 7531)

17.38.065 Abandonment of conditional use permit.

If the use for which a conditional use permit was approved is discontinued for a period of one hundred eighty (180) days, the use shall be considered abandoned and any future use of the site as a conditional use will require the approval of a new conditional use permit.

17.38.070 Temporary uses or structures.

A. Conditional use permits for temporary uses or structures may be processed as administrative matters by the city planner and/or planning division staff. However, the city planner may, at his/her discretion, refer such application to the planning commission for consideration.

B. The city planner and/or planning division staff is authorized to review applications and to issue such temporary permits, subject to the following conditions:

1. Conditional use permits granted pursuant to this section shall be for a fixed period not to exceed thirty (30) days for each temporary use not occupying a structure, including promotional enterprises, or six months for all other uses or structures.
2. Ingress and egress shall be limited to that designated by the planning division. Appropriate directional signing, barricades, fences or landscaping shall be provided where required. A security officer may be required for promotional events.
3. Off-street parking facilities shall be provided on the site of each temporary use as prescribed in Section 17.34.020.
4. Upon termination of the temporary permit, or abandonment of the site, the applicant shall remove all materials and equipment and restore the premises to their original condition.
5. Opening and closing times for promotional enterprises shall coincide with the hours of operation of the sponsoring commercial establishment. Reasonable time limits for other uses may be set by the city planner and planning division staff.
6. Applicants for a temporary conditional use permit shall have all applicable licenses and permits prior to issuance of a conditional use permit.
7. Signing for temporary uses shall be subject to the approval of the city planner.
8. Notwithstanding underlying zoning, temporary conditional use permits may be granted for fruit and vegetable stands on properties primarily within undeveloped agricultural areas. In reviewing applications for such stands, issues of traffic safety and land use compatibility shall be evaluated and mitigation measures and conditions may be imposed to ensure that the stands are built and are operated consistent with appropriate construction standards, vehicular access and off-street parking. All fruits and vegetables sold at such stands shall be grown by the owner/operator or purchased by said party directly from a grower/farmer.

C. The applicant may appeal an administrative decision to the planning commission. (Ord. 9605 § 30 (part), 1996: prior code § 7532)

17.38.080 Public hearing--Notice.

A. The planning commission shall hold at least one public hearing on each application for a conditional use permit.

B. Notice of the public hearing shall be given not less than ten days nor more than thirty (30) days prior to the date of the hearing by mailing a notice of the time and place of the hearing to property owners within three hundred (300) feet of the boundaries of the area occupied or to be occupied by the use which is the subject of the hearing, and by publication in a newspaper of general circulation within the city. (Prior code § 7533)

17.38.090 Investigation and report.

The planning staff shall make an investigation of the application and shall prepare a report thereon which shall be submitted to the planning commission. (Prior code § 7534)

17.38.100 Public hearing--Procedure.

At the public hearing the planning commission shall review the application and the statement and drawing submitted therewith and shall receive pertinent evidence concerning the proposed use and the proposed conditions under which it would be operated or maintained, particularly with respect to the findings prescribed in Section 17.38.110. The planning commission may continue a public hearing from time to time as it deems necessary. (Prior code § 7535)

17.38.110 Action by planning commission.

A. The planning commission may grant an application for a conditional use permit as requested or in modified form, if, on the basis of the application and the evidence submitted, the commission makes the following findings:

1. That the proposed location of the conditional use is in accordance with the objectives of the zoning ordinance and the purposes of the zone in which the site is located;
2. That the proposed location of the conditional use and the conditions under which it would be operated or maintained will not be detrimental to the public health, safety or welfare, or materially injurious to properties or improvements in the vicinity.

B. A conditional use permit may be revocable, may be granted for a limited time period, or may be granted subject to such conditions as the commission may prescribe. The commission may grant conditional approval for a permit subject to the effective date of a change of zone or other ordinance amendment.

C. The commission may deny an application for a conditional use permit. (Prior code § 7536)

17.38.120 Appeal to city council.

The decision of the City planning commission on a conditional use permit shall be subject to the appeal provisions of Section 17.02.145. (Prior code § 7537) (Ord. 2006-18 § 6, 2007)

17.38.130 Effective date of conditional use permit.

A conditional use permit shall become effective immediately when granted or affirmed by the council, or upon the sixth working day following the granting of the conditional use permit by the planning commission if no appeal has been filed. (Prior code § 7539)

Environmental Document # 2022-25

NOTICE OF EXEMPTION

City of Visalia
315 E. Acequia Ave.
Visalia, CA 93291

To: County Clerk
County of Tulare
County Civic Center
Visalia, CA 93291-4593

Conditional Use Permit No. 2022-12

PROJECT TITLE

The site is located on the south side of West Cypress Avenue, west of the South Akers Street and West Cypress Avenue intersection (Address: N/A) (APN: 087-450-030).

PROJECT LOCATION

Visalia

PROJECT LOCATION - CITY

Tulare

COUNTY

A request by Klassen Corporation to construct a new 59,539 square foot four-story Towneplace Suites by Marriott Hotel with 101 rooms, lounge area, fitness room, and outdoor swimming pool on a 1.71-acre parcel in the C-MU (Commercial Mixed-Use) zone.

DESCRIPTION - Nature, Purpose, & Beneficiaries of Project

City of Visalia

NAME OF PUBLIC AGENCY APPROVING PROJECT

Klassen Corporation, Attn: Jacob Cornejo, 2021 Westwind Dr., Bakersfield CA, 93301

NAME AND ADDRESS OF APPLICANT CARRYING OUT PROJECT

Klassen Corporation, Attn: Jacob Cornejo, 2021 Westwind Dr., Bakersfield CA, 93301

NAME AND ADDRESS OF AGENT CARRYING OUT PROJECT

EXEMPT STATUS: (Check one)

- ☐ Ministerial - Section 15073
- ☐ Emergency Project - Section 15071
- ☒ Categorical Exemption - State type and Section number: **Section 15332**
- ☐ Statutory Exemptions- State code number:

The project is consistent with the applicable general plan designation and all applicable general plan policies as well as with applicable zoning designation and regulations, the development occurs within the city limits on a site no more than five acres, site has no value has habitat for endangered, rare or threatened species and the site can adequately be served by all required utilities and public services.

REASON FOR PROJECT EXEMPTION

Josh Dan, Associate Planner

CONTACT PERSON

(559) 713-4003

AREA CODE/PHONE

June 27, 2022

DATE

Brandon Smith, AICP
ENVIRONMENTAL COORDINATOR

RESOLUTION NO. 2022-25

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF VISALIA APPROVING CONDITIONAL USE PERMIT NO. 2022-12, A REQUEST BY KLASSEN CORPORATION TO CONSTRUCT A NEW 59,539 SQUARE FOOT FOUR-STORY TOWNEPLACE SUITES BY MARRIOTT HOTEL WITH 101 ROOMS, LOUNGE AREA, FITNESS ROOM, AND OUTDOOR SWIMMING POOL ON A 1.71-ACRE PARCEL IN THE C-MU (COMMERCIAL MIXED-USE) ZONE. THE SITE IS LOCATED ON THE SOUTH SIDE OF WEST CYPRESS AVENUE, WEST OF THE SOUTH AKERS STREET AND WEST CYPRESS AVENUE INTERSECTION. (ADDRESS: N/A) (APN: 087-450-030)

WHEREAS, Conditional Use Permit No. 2022-12, is a request by Klassen Corporation to construct a new 59,539 square foot four-story Towneplace Suites by Marriott Hotel with 101 rooms, lounge area, fitness room, and outdoor swimming pool on a 1.71-acre parcel in the C-MU (Commercial Mixed-Use) zone. The site is located on the south side of West Cypress Avenue, west of the South Akers Street and West Cypress Avenue intersection (Address: N/A) (APN: 087-450-030); and

WHEREAS, the Planning Commission of the City of Visalia, after duly published notice did hold a public hearing before said Commission on June 27, 2022; and

WHEREAS, the Planning Commission of the City of Visalia finds the Conditional Use Permit No. 2022-12, as conditioned, to be in accordance with Chapter 17.38.110 of the Zoning Ordinance of the City of Visalia based on the evidence contained in the staff report and testimony presented at the public hearing; and

WHEREAS, the Planning Commission finds the project to be Categorically Exempt consistent with the California Environmental Quality Act (CEQA) and City of Visalia Environmental Guidelines.

NOW, THEREFORE, BE IT RESOLVED that the project is exempt from further environmental review pursuant to CEQA Section 15332.

NOW, THEREFORE, BE IT FURTHER RESOLVED that the Planning Commission of the City of Visalia makes the following specific findings based on the evidence presented:

1. That the proposed project will not be detrimental to the public health, safety, or welfare, or materially injurious to properties or improvements in the vicinity.
2. That the proposed conditional use permit is consistent with the policies and intent of the General Plan and Zoning Ordinance. Specifically, the project is consistent with the required finding of the Zoning Ordinance Section 17.38.110:
    a. The proposed location of the conditional use permit is in accordance with the objectives of the Zoning Ordinance and the purposes of the zone in which the site is located. Hotels are considered compatible uses in commercial areas where potential impacts can be addressed through the CUP process. The site is located within the Village West Commercial Shopping center, which is developed with commercial, and offices uses such as Adventure Park, La Quinta Hotel, Holiday Inn Express, fast-food restaurants and general office uses.

The proposed hotel site was identified in the original Master CUP site plan for the Village West Commercial Shopping center. The site plan at that time was conceptual and several of the proposed uses originally identified in the Master CUP site plan moved with the development of the shopping center.

b. The proposed location of the conditional use and the conditions under which it would be operated or maintained will not be detrimental to the public health, safety, or welfare, nor materially injurious to properties or improvements in the vicinity.

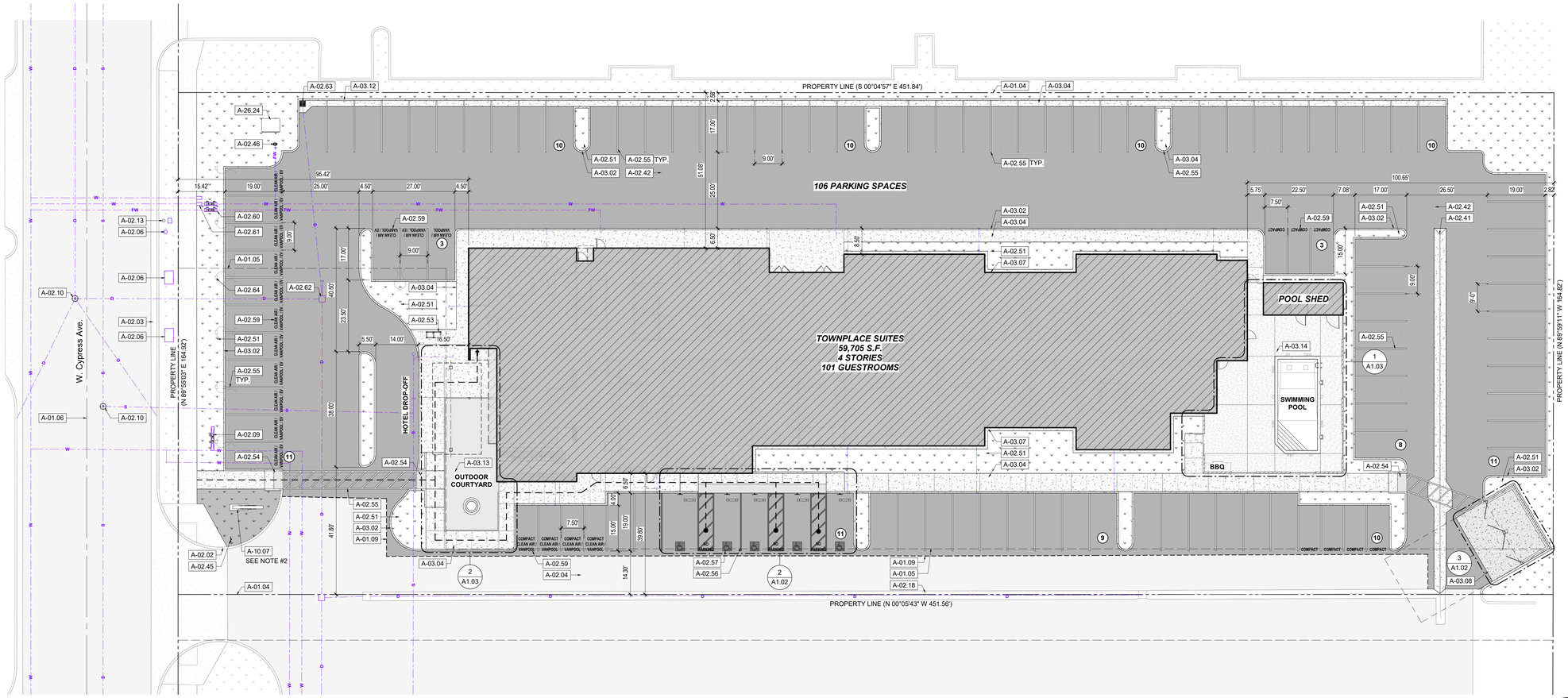
3. That the project is considered Categorically Exempt under Section 15332 of the Guidelines for the Implementation of the California Environmental Quality Act (CEQA). (Categorical Exemption No. 2022-25).

BE IT FURTHER RESOLVED that the Planning Commission hereby approves the Conditional Use Permit on the real property here described in accordance with the terms of this resolution under the provisions of Section 17.38.110 of the Ordinance Code of the City of Visalia, subject to the following conditions:

1. That the Conditional Use Permit be developed consistent with the comments and conditions of Site Plan Review No. 2022-013.
2. That the use be operated in substantial compliance with the site plan shown in Exhibit “A”.
3. That the Towneplace Suites by Marriott be developed in substantial compliance with the elevations shown in Exhibits “B”.
4. That the site be developed to provide 106 parking spaces based on the Zoning Ordinance Parking Requirements for Hotels as stated in Section 17.34.020.A.4, and as depicted per Exhibit “A”.
5. That landscape and irrigation plans be submitted with the building permit, designed by a professional landscape architect. In addition, landscape and irrigation plans shall comply with the Model Water Efficient Landscape Ordinance by submittal of Landscape Documentation Packages and Certificates of Compliance certified by a California licensed landscape architect with sections signed by appropriately licensed or certified persons as required by ordinance.
6. That all new building signage shall require a separate building permit.
7. That all applicable federal, state and city laws, codes and ordinances be met.

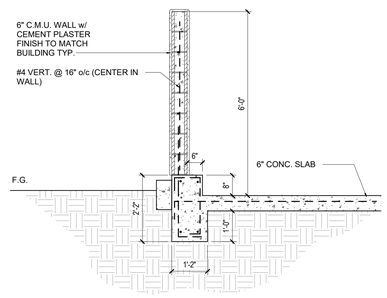
Exhibit “A”

Site Plan Exhibit

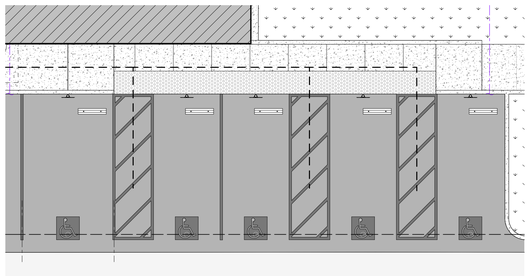


SITE PLAN
1/16" = 1'-0"

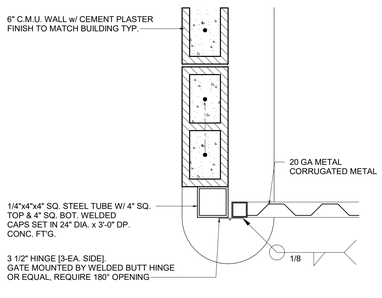
GRAPHIC SCALE
0 16 32 48



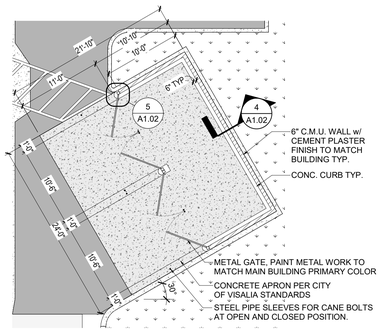
4 CMU WALL SECTION 1/2" = 1'-0"



2 ACCESSIBLE PARKING
1/8" = 1'-0"



5 METAL GATE HINGE 1 1/2" = 1'-0"



3 TRASH ENCLOSURE
1/8" = 1'-0"

PARKING ANALYSIS

PARKING REQUIRED PER VMC 17.34

TOTAL PARKING REQUIRED:
1 STALL PER GUESTROOM REQUIRED
101 GUESTROOM TOTAL = **101 REQUIRED** (**101 PROVIDED**)

1 STALL PER 2 EMPLOYEES @ LARGEST SHIFT
6 EMPLOYEES* = **3 REQUIRED** (**3 PROVIDED**)

1 STALL PER 400 S.F. OF AREA FOR FOOD & DRINK
±530 S.F. OF FOOD & DRINK = **2 REQUIRED** (**2 PROVIDED**)

TOTAL:
REQUIRED PARKING: 106
PROVIDED PARKING: 106

PARKING BREAK DOWN

FUTURE E.V. CHARGING STATION:
PER 2019 CALGREEN CODE TABLE 5.106.5.3.3
NO. OF FUTURE E.V. STATIONS **REQUIRED** = 13 STALLS

DESIGNATED CLEAN AIR SPACES:
PER 2019 CAL GREEN CODE TABLE 5.106.5.2
NO. OF CLEAN AIR VEHICLE SPACES **REQUIRED**: 18 STALLS
(*PER 2019 CALGREEN CODE 5.106.5.3.5* E.V. QUALIFY AS DESIGNATED PARKING)

ACCESSIBLE PARKING:
PER 2019 CBC CODE TABLE 11B-208.2
NO. OF ACCESSIBLE STALLS **REQUIRED**: 5 STALLS

PER 2019 CBC CODE 11B-208.2.4
1 VAN ACCESSIBLE STALL REQUIRED

COMPACT PARKING:
PER VMC 17.34.030.I
NO. OF COMPACT < 30% OF TOTAL: 106 x .3 = 32 > 14 = OK

PARKING	REQUIRED:	PROVIDED:
CLEAN AIR:	5	5
FUTURE E.V. & CLEAN AIR:	13	13
VAN ACCESSIBLE STALLS:	1	1
STD. ACCESSIBLE STALLS:	4	4
COMPACT:	14	14
STANDARD STALLS:	69	69
TOTAL SPACES:	106	106

BICYCLE PARKING:
SHORT TERM REQUIRED (RACK): 106 x .05 = 5.3 < 6 REQ.
PER *2019 CALGREEN 5.106.4.1.1*

LONG TERM REQUIRED (STORAGE)*: 6 x .05 = < 2 REQ.
PER *2019 CALGREEN 5.106.4.1.2*

PARKING NOTE:
*6 OCC. PER OPERATIONAL STATEMENT BY OWNER

DEVELOPMENT DATA

ADDRESS LOCATION:
W. CYPRESS AVE. VISALIA, CA, 93277

APN: 087-450-022

JURISDICTION: CITY OF VISALIA

ZONING: C-MU (MIXED USE COMMERCIAL)

TOTAL SITE AREA: ±1.71 ACRES (74,487.6 SF)

PROPOSED USE: HOTEL - TOWNEPLACE SUITES By MARRIOTT

HOTEL GENERATION: GEN 5

DECOR: REAL LIVING GREY

TOTAL BUILDING AREA:

1st FLOOR	15,863 S.F.
2nd FLOOR	14,614 S.F.
3rd FLOOR	14,614 S.F.
4th FLOOR	14,614 S.F.
TOTAL AREA:	59,705 S.F.

ADDITIONAL STRUCTURES:

POOL SHED	280 S.F.
TOTAL AREA:	280 S.F.

HOTEL ROOM DATA:

LEVEL 1	17 ROOMS
LEVEL 2	28 ROOMS
LEVEL 3	28 ROOMS
LEVEL 4	28 ROOMS
TOTAL ROOMS:	101 ROOMS

REFERENCE NOTES

A. REFER TO **TOWNPLACE SUITES BY MARRIOTT PRODUCT MANUALS GEN. 5 REAL LIVING (GREY COLOR SCHEME)(ISSUE AUG. 2021)** FOR OPENINGS, EQUIPMENT, ELECTRICAL FIXTURES/LIGHTING, MILLWORK, TOILET ACCESSORIES, PLUMBING FIXTURES AND FINISH SPECIFICATIONS & **INTERIOR DESIGN SPECIFICATION MANUAL GEN. 5 REAL LIVING (GREYCOLOR SCHEME)(OCT. 2021)** FOR FURNITURE & ADDITIONAL FINISHES.

B. REFER TO **TOWNPLACE SUITES BY MARRIOTT INTERIOR SIGNAGE SPECIFICATIONS (OCT. 2020)** FOR REQUIRED GRAPHICS.

C. REFER TO **WALL LEGEND** ON FLOOR PLAN SHEETS FOR INFO. REGARDING WALL TYPES.

SITE LEGEND

SEWER LINE, REFER TO CIVIL
FIRE WATER LINE, REFER TO CIVIL
STORM DRAIN LINE, REFER TO CIVIL
ELECTRICAL LINE, REFER TO CIVIL / ELECTRICAL
WATER LINE, REFER TO CIVIL
GAS LINE, REFER TO CIVIL / PLUMBING
ACCESSIBLE BUILDING ENTRANCE

ACCESSIBLE PATH OF TRAVEL (P.O.T.) AS INDICATED ON PLAN IS A BARRIER - FIRE ACCESS ROUTE WITHOUT ANY ABRUPT LEVEL CHANGES EXCEEDING ¼" IF BEVELED AT 1:2 MAX. SLOPE OR VERTICAL LEVEL CHANGES NOT EXCEEDING ¼" MAX. AND AT LEAST 48" IN WIDTH. SURFACE IS STABLE, FIRM AND SLIP RESISTANT. CROSS SLOPE DOES NOT EXCEED 2% AND SLOPE IN THE DIRECTION OF TRAVEL IS LESS THAN 5% UNLESS OTHERWISE INDICATED. ACCESSIBLE PATH OF TRAVEL SHALL BE MAINTAINED FREE OF OVERHANGING OBSTRUCTIONS TO 80" MIN. AND PROTRUDING OBJECTS GREATER THAN 4" PROJECTION FROM WALL AND ABOVE 27" AND LESS THAN 80". OR SHALL VERIFY THAT THERE ARE NO BARRIERS ALONG THE P.O.T.

PROPOSED BUILDING UNDER THIS PERMIT APPLICATION
(N) PAVING, REFER TO CIVIL
(E) PAVING, REFER TO CIVIL
(N) CONCRETE FLATWORK, REFER TO CIVIL
(E) CONCRETE FLATWORK, REFER TO CIVIL
REINFORCED CONCRETE, REFER TO CIVIL
(N) LANDSCAPING AREA, REFER TO LANDSCAPE.
(E) LANDSCAPING AREA, REFER TO LANDSCAPE.
(N) SEASONAL LANDSCAPING AREA, REFER TO LANDSCAPE.

GENERAL NOTES

1. TRASH ENCLOSURE PER CITY OF VISALIA CITY STANDARDS, SEE SHEET **R-3 "24' REFUSE CONTAINER ENCLOSURE (REVISION 08/15/16)"** FOR ADDITIONAL INFORMATION.
2. MONUMENT SIGN UNDER SEPARATE PERMIT (**REFER TO TOWNEPLACE SUITES BY MARRIOTT EXTERIOR SIGNAGE SPECIFICATIONS (JAN. 2020)**). REFER TO ELECTRICAL PLANS FOR ELECTRICAL INFRASTRUCTURE. SEASONAL LANDSCAPE AT BASE (REFER TO LANDSCAPE).
3. WROUGHT IRON FENCING TO MATCH WINDOW FINISH COLOR (AAMA 2605 DARK BRONZE POWER COAT). VERIFY WITH OWNER.
4. BIKE STORAGE / RACK:
   LONG TERM BIKE LOCKER:
   MANUF.: AMERICAN BICYCLE SECURITY CO., BIKE-SHELL
   MODEL: 301; COLOR: BLACK OR EQUAL.
   SHORT TERM PARKING:
   MANUF.: BELSON OUTDOORS.
   MODEL: UX190-6-G;COLOR: TBD
5. REFER TO CIVIL FOR ADDITIONAL INFORMATION ON POOL.
6. FIRE PIT MUST HAVE A NATURAL GAS LINE RUN TO THE FIRE PIT WITH AN EMERGENCY SHUT OFF SWITCH, REFER TO PLUMBING PLANS.

KEYNOTES

KEY NO.	DESCRIPTION
A-01.04	PROPERTY LINE
A-01.05	EASEMENT LINE
A-01.06	STREET CENTER LINE
A-01.09	DASH LINE INDICATED SAW-CUT BOUNDARY, REFER TO CIVIL
A-02.02	(E)CONCRETE CURB, REFER TO CIVIL
A-02.03	(E)CURB & GUTTER, REFER TO CIVIL
A-02.04	(E)PAVING, REFER TO CIVIL
A-02.06	(E)UTILITY BOX, REFER TO CIVIL
A-02.09	(E)BACKFLOW PREVENTER, REFER TO CIVIL
A-02.10	(E)MANHOLE, REFER TO CIVIL
A-02.13	(E)STREET LIGHT, REFER TO CIVIL
A-02.18	(E)GUTTER, REFER TO CIVIL
A-02.41	V-GUTTER, REFER TO CIVIL
A-02.42	AC PAVING, REFER TO CIVIL
A-02.45	PARKING ENTRY SIGNAGE
A-02.46	(N)FIRE HYDRANT, REFER TO CIVIL
A-02.51	LANDSCAPING, REFER TO LANDSCAPE
A-02.53	BIKE RACK
A-02.54	TRUNCATED DOMES (WARNING SURFACE)
A-02.55	PARKING STALL 4" WIDE WHITE STRIPING
A-02.56	ACCESSIBLE PARKING STALL 4" WIDE BLUE STRIPING
A-02.57	INTERNATIONAL SYMBOL OF ACCESSIBILITY (ISA)
A-02.59	12" HIGH WHITE LETTERS, PARKING STALL IDENTIFICATION AS SHOWN ON SITE PLAN
A-02.60	BACKFLOW PREVENTER, REFER TO CIVIL
A-02.61	WATER METER, REFER TO CIVIL
A-02.62	UTILITY BOX, REFER TO CIVIL
A-02.63	STORM DRAIN INLET, REFER TO CIVIL
A-02.64	FUTURE EV CHARGING STATION (BY OTHERS). REFER TO ELECTRICAL PLANS FOR INFRASTRUCTURE PROVISIONS REQUIRED BY 2019 CALGREEN CODE
A-03.02	CONCRETE CURB, REFER TO CIVIL
A-03.04	CONCRETE FLATWORK, REFER TO CIVIL
A-03.07	4" THICK 12" WIDE CONCRETE MOW STRIP
A-03.08	REINFORCED CONCRETE, 6" THICK CONC. SLAB WITH #4 BARS 24" o/c EACH WAY
A-03.12	CONCRETE CURB & GUTTER, REFER TO CIVIL
A-03.13	DECORATIVE PRECAST CONCRETE PAVERS
A-03.14	DECORATIVE CONCRETE FINISH
A-10.07	(N) MONUMENT SIGN
A-26.24	TRANSFORMER, REFER TO ELECTRICAL

Klassen corporation
Architecture Construction
2021 Westwind Drive
Bakersfield, CA 93301
(661) 324-3000
(661) 324-3900 Fax
www.klassencorp.com

LICENSED ARCHITECT
SON W. EVANG
C18212
STATE OF CALIFORNIA
SIGN & 30-22

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Written dimensions on these drawings shall have precedence over scaled dimension. contractors shall verify and be responsible for, all dimensions and conditions on the job and this office must be notified of any variations from the dimensions and conditions shown by these drawings. Shop details must be submitted to this office for approval before proceeding with fabrication.

TOWNEPLACE SUITES® BY MARRIOTT
TownePlace Suites by Marriott
HORIZON HOSPITALITY, LLC.
W. Cypress Ave. - Visalia, CA 93277

MARK	ISSUED FOR	DATE

Project No. : 05-1-20501

SITE PLAN

A1.02

5/4/2022 1:37:43 PM

Exhibit “B”

Elevations

Horizon Hospitality, LLC.

W. Cypress Ave. - Visalia, CA 93277

TOWNEPLACE SUITES®
BY MARRIOTT

ABBREVIATIONS

&	AND
∠	ANGLE
@	AT
℄	CENTER LINE
Ø	DIAMETER
#	NUMBER
±	PLUS MINUS
AB	ANCHOR BOLT
ABV	ABOVE
AC	ASPHALT CONCRETE
A/C	AIR CONDITIONING
ACOUS	ACOUSTICAL
ACT	ACOUSTICAL CEILING TILE
ADD	ADDITION / ADDENDUM
ADD'L	ADDITIONAL
ADJ	ADJACENT
AFF	ABOVE FINISH FLOOR
AFG	ABOVE FINISH GRADE
AGG	AGGREGATE
ALT	ALTERNATE
ALUM	ALUMINUM
ANOD	ANODIZED
APPROX	APPROXIMATE
ARCH	ARCHITECT(URAL)
ASPH	ASPHALT
ATTN	ATTENTION
BB	BOTTOM OF BEAM
BD	BOARD
BEL	BELOW
BIT.	BITUMINOUS
BLDG	BUILDING
BLK	BLOCK
BLKG	BLOCKING
BM	BEAM
BO	BOTTOM OF
BOT	BOTTOM
BRG	BEARING
BRK	BRICK
BRZ	BRONZE
BRKMTL	BREAK METAL
BUR	BUILT UP ROOFING
C	CHANNEL
CAB	CABINET
CB OR	CATCH BASIN
C.B.	CEMENT BOARD
c/c	CENTER TO CENTER
CCTV	CLOSED CIRCUIT TELEVISION
CD	CONSTRUCTION DOCUMENTS
CEM	CEMENT
CER	CERAMIC
CF	CUBIC FOOT
C.F.	COMMUNICATION FEATURES
CJ	CONTROL JOINT
CLG	CEILING
CLKG	CAULKING
CLR	CLEAR
CMU	CONCRETE MASONRY UNIT
CO	CLEAN OUT
C.O	CLOSED OPENING
COL	COLUMN
COMB	COMBINATION OR COMBINE
COMPO	COMPOSITION (COMPOSITE)
COMPT	COMPACT(ED)
CONC	CONCRETE
CONST	CONSTRUCTION
CONTR	CONTRACTOR
CONT	CONTINUOUS
CORR	CORRIDOR
CORR	CORRUGATED
COTF	CLEAN OUT THRU FLOOR
COTG	CLEAN OUT TO GRADE
COTW	CLEAN OUT THRU WALL
CPT	CARPET
CR	CURB RETURN
CSK	COUNTERSINK
CSMT	CASEMENT
CT	CERAMIC TILE
CTSK	COUNTERSUNK SCREW
CTR	CENTER
CW	COLD WATER
DBL	DOUBLE
DEMO	DEMOLITION
DEPT	DEPARTMENT
DET	DETAIL
DF	DRINKING FOUNTAIN
DIA	DIAMETER
DIAG	DIAGONAL
DIM	DIMENSION
DIV	DIVISION
DN	DOWN
DPRS	DEPRESSED
DR	DOOR
DRN.	DRAIN
DS	DOWNSPOUT
DSPR	DISPENSER
DWG	DRAWING(S)
DWR	DRAWER
(E)	EXISTING
E	EAST
EA	EACH
EJ	EXPANSION JOINT
ELEC	ELECTRIC
ELECT	ELECTRICAL
ELEV	ELEVATION
ELEVA	ELEVATOR
EMER	EMERGENCY
ENAM	NAMEL
ENCL	ENCLOSE (URE)
ENG.	ENGINEER
EP	ELECTRICAL PANEL
EQ	EQUAL
EQUIP	EQUIPMENT
EWC	ELECTRICAL WATER COOLER
EW	EACH WAY
EXH	EXHAUST
EXP	EXPANSION
EXPO	EXPOSED
EXT	EXTERIOR
FA	FIRE ALARM
FAB	FABRICATION
FAC	FACTORY
FAS	FASTEN (ER)
FB	FACE BRICK
FBD	FIBERBOARD
FBGL	FIBERGLASS
FBLK	FIRE BLOCKING
FBO	FURNISHED BY OTHERS
FD	FLOOR DRAIN
FDN	FOUNDATION

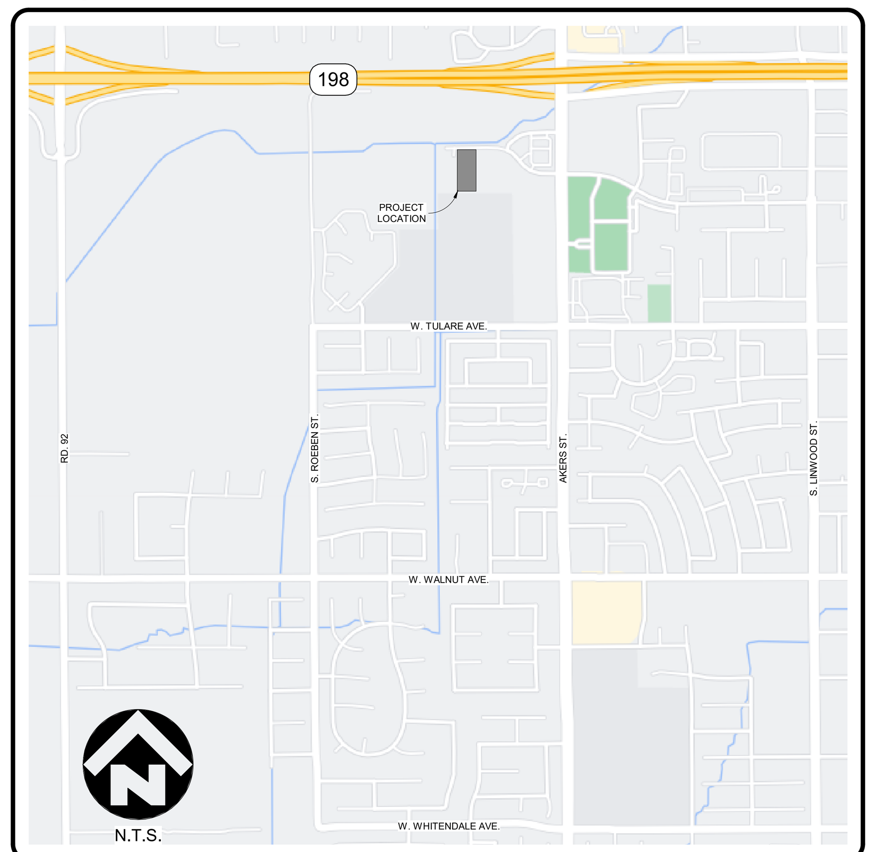
FE	FIRE EXTINGUISHER
FEC	FIRE EXTINGUISHER CABINET
FF	FINISHED FLOOR
FHMS	FLATHEAD MACHINE SCREW
FHWS	FLATHEAD WOOD SCREW
FIN	FINISH (ED)
FJ	FLOOR JOIST
FL	FLOOR
FLG	FLOORING
FLUOR	FLUORESCENT
FLX	FLEXIBLE
FND	FOUNDATION
FO	FACE OF
FOC	FACE OF CONCRETE
FOF	FACE OF FINISH
FOM	FACE OF MANSORY
FOS	FACE OF STUDS
FRM	FRAME (D), (ING)
FR	FIRE RESISTANT
FRC	FIBER REINFORCED CONCRETE
FRT	FIRE RETARDANT TREATED
FRP	FIBER REINFORCED PLASTIC
FT	FOOT (FEET)
FTG	FOOTING
FUT	FUTURE
FV	FIELD VERIFY
GA	GAUGE
GALV	GALVANIZED
GB	GYPSUM BOARD
GD	GRADE, GRADING
GEN	GENERAL
GFRC	GLASS FIBER REINFORCED CONCRETE
GFRG	GLASS FIBER REINFORCED GYPSUM
GI	GALVANIZED IRON
GKT	GASKET (ED)
GL	GLASS
GLAZ	GLAZING
GLB	GLUE LAMINATED BEAM
GRAN	GRANULAR
GSM	GALVANIZED SHEET METAL
GV	GAS VALVE
GVL	GRAVEL
GYP	GYPSUM
GYP. BD.	GYPSUM BOARD
H	HIGH
HADG	HILTON ACCESSIBILITY DESIGN GUIDE
HB	HOSE BIB
HC	HOLLOW CORE
HCP	HANDICAPPED
HDB	HARDBOARD
HDR	HEADER
HDW	HARDWOOD
HDWR	HARDWARE
HEX	HEXANGONAL
HM	HOLLOW METAL, STEEL
HOR	HORIZONTAL
HP	HIGH POINT
HT	HEIGHT
HTG	HEATING
HR	HOUR
HVAC	HEATING, VENTILATION & AIR CONDITIONING
HW	HOT WATER
ID	INSIDE DIAMETER
IN	INCH(ES)
INCL	INCLUDE (D), (ING)
INFO	INFORMATION
INSTR	INSTRUCTION (S)
INSUL	INSULATE (D), (ION)
INT	INTERIOR
INV	INVERT
JAN	JANITOR (IAL)
JC	JANITOR'S CLOSET
JST	JOIST
JT	JOINT
KIT	KITCHEN
KO	KNOCK OUT
KS	KNEE SPACE
LAD	LADDER
LAM	LAMINATE (D)
LAV	LAVATORY
LB	LAG BOLT
LBS	POUND(S)
LH	LEFT HAND
LLH	LONG LEG HORIZONTAL
LLV	LONG LEG VERTICAL
LP	LOW POINT
LT. MTL.	LIGHT GAUGE METAL FRAMING
LT	LIGHT
LT. WT.	LIGHT WEIGHT
LVR	LOUVER
MAS	MASONRY
MAT'L	MATERIAL
MAX	MAXIMUM
MB	MACHINE BOLT
MC	MEDICINE CABINET
MED	MEDIUM
MDO	MEDIUM DENSITY OVERLAY
MECH	MECHANICAL
MFG	MANUFACTURING
MFR	MANUFACTURER
MH	MAN HOLE
MIN	MINIMUM
MIR	MIRROR
MISC	MISCELLANEOUS
MKBD	MARKER BOARD
MLD	MOLDING, MOULDING
MMB	MEMBRANE
MNT	MOUNT (ED), (ING)
MO	MASONRY OPENING
MOD	MODULAR
MP	METAL PANEL
MR	MOISTURE RESISTANT
MT	METAL THRESHOLD
MTL	METAL
MUL	MULLION
(N)	NEW
N	NORTH
NA	NOT APPLICABLE
NAT	NATURAL
NEC'Y	NECESSARY
NIC	NOT IN CONTRACT
NO	NUMBER
NOM	NOMINAL
NON COMB.	NON COMBUSTIBLE
NTS	NOT TO SCALE

o/	OVER
OA	OVERALL
OBS	OBSCURE
OC	ON CENTER (S)
OCC	OCCUPANCY
OD	OUTSIDE DIAMETER
OFD	OVERFLOW DRAIN
OFF	OFFICE
OH	OVERHEAD
OPNG	OPENING
OPPO	OPPOSITE
OPQ	OPAQUE
OPT	OPTIONAL
OTO	OUT TO CUT
PART	PARTICLE, PARTIAL
PBD	PARTICLE BOARD
PC	PRECAST CONCRETE
PERIM	PERIMETER
PERF	PERFORATE (D)
PH	PHASE
PL	PROPERTY LINE
PLAM	PLASTIC LAMINATE
PLAS	PLASTER
PLBG	PLUMBING
PLT	PLATE
PLWD	PLYWOOD
PNL	PANEL
PNT	PAINT (ED)
POC	POINT OF CONNECTION
PORC	PORCELAIN
PR	PAIR
PRT	PRESSURE TREATED
PREFAB	PREFABRICATE (D)
PSF	POUNDS PER SQUARE FOOT
PT	POINT
PTN	PARTITION
PVA	POLYVINYL ACETATE
QTY	QUANTITY
R	RISER
RAD	RADIUS
RD	ROOF DRAIN
RDWD	REDWOOD
REC	RECESSED
REC'V	RECEIVE (D)
REF	REFERENCE (D)
REFD	REFERENCE DIMENSION
REFR	REFRIGERATOR
REG	REGULAR OR REGISTER
REINF	REINFORCE (D), (ING)
REQ'D	REQUIRED
RES	RESILIENT
RET	RETURN
RETA	RETURN AIR
REV	REVISION (S), REVISED
RFG	ROOFING
RFL	REFLECT (ED), (IVE), (OR)
RH	RIGHT HAND
RL	RIDGE LINE
RM	ROOM
RMV	REMOVE
RO	ROUGH OPENING
ROW	RIGHT OF WAY
RWL	RAINWATER LEADER
S/P	SHELF & POLE
S	SOUTH
SCH	SCHEDULE
SD	STORM DRAIN
SEC	SECTION
SF	SQUARE FEET
SHEF	SHELF
SHEV	SHELVING
SHT	SHEET
SHTG	SHEATHING
SIM	SIMILAR
SKL	SKYLIGHT
SM	SURFACE MOUNTED
SPEC	SPECIFICATION
SQ	SQUARE
SS	STAINLESS STEEL
ST	STREET
STD	STANDARD
STL	STEEL
STOR	STORAGE
STRUCT	STRUCTURAL
SUSP	SUSPENDED
SV	SHEET VINYL
SYM	SYMMETRICAL
SYS	SYSTEM
T&B	TOP & BOTTOM
T&G	TONGUE & GROOVE
T&T	T-BAR ACOUSTIC TILE
T	TILE
TB	TOWEL BAR
TELE	TELEPHONE
TEMP	TEMPERED
THK	THICK (NESS)
THRU	THROUGH
TJ	TOOL JOINT
TKBD	TACKBOARD
TOB	TOP OF BEAM
TOC	TOP OF CURB OR CONCRETE
TOM	TOP OF MASONRY
TOP OF SLAB	
TOS	TOP OF SHEATHING
TOW	TOP OF WALL
TP	TOILET PARTITION
TSB	RUBBER TOP SET BASE
TV	TELEVISION
TYP	TYPICAL
UON	UNLESS OTHERWISE NOTED
VAR	VARIES
VB	VAPOR BARRIER
VCT	VINYL COMPOSITION TILE
VCTB	VINYL COVERED TACKBOARD
VERT	VERTICAL
VG	VERTICAL GRAIN
VNR	VENEER
VO	VENT OVER / OFFSET
VR	VENT RISER
VTR	VENT THROUGH ROOF
VWC	VINYL WALL COVERING
w/	WITH
w/o	WITHOUT
WC	WATER CLOSET
WD	WOOD
WFG	WIRED FIXED GLASS
WHC	WALL HUNG CABINET
WI	WROUGHT IRON
WIN	WINDOW
WM	WIRE MESH
WP	WATERPROOFING
WST	WASTE
WWF	WELDED WIRE FABRIC

SYMBOLS

- 1 / A9.30, A / A6.03 — PLAN, SECTION, OR DETAIL NUMBER. / SHEET NUMBER, BEGINS w/ A LETTER DENOTING WHERE PLAN, SECTION OR DETAIL IS SHOWN.
- 1 / A9.30 — INDICATES VIEWING DIRECTION
- J — GRID NUMBER OR LETTER
- SOLID GRID LINE TO FACE OF WALL
- 1 — CENTER GRID LINE TO CENTER OF WALL
- OFFICE — ROOM NAME
- 013 — ROOM NUMBER
- # — WALL TYPE TAG
- 008 — DOOR NO. TAG
- B — WINDOW TYPE TAG
- XX-# — EXTERIOR FINISH TAG
- #'-#" — CEILING HT. TAG
- FINISH TAG
- BATHROOM ACCESSORIES
- X-### — FINISH & FURNISH TAG
- SNK-02 — PLUMBING FIXTURE
- K-00 — RESIDENTIAL APPLIANCES

VICINITY MAP



GENERAL NOTES

1. PLAN DIMENSIONS SHOWN FOR NEW CONSTRUCTION ARE TAKEN TO FACE OF STUD OR FACE OF CONCRETE UNLESS OTHERWISE NOTED.
2. HEIGHTS SHOWN OR NOTED AFF (ABOVE FINISH FLOOR) ARE TO BE MEASURED FROM TOP OF FINISH FLOORING MATERIAL. EXCEPTION: AT AREAS THAT RECEIVE COATINGS OR RESILIENT FLOORING, HEIGHTS ARE TO BE MEASURED FROM TOP OF CONCRETE SLAB.
3. DO NOT SCALE DRAWINGS. IF UNABLE TO LOCATE DIMENSIONS FOR ANY ITEM OF WORK, CONSULT ARCHITECT FOR DIRECTION BEFORE PROCEEDING.
4. IF DRAWINGS MEASURE LESS THAN 30"x42", PRINTS ARE REDUCED FROM ORIGINALS.
5. DETAILS SHOWN ON DRAWINGS SHALL BE INCORPORATED INTO THE PROJECT AT ALL APPROPRIATE LOCATIONS WHETHER SPECIFICALLY REFERENCED AT EACH LOCATION OR NOT.
6. ADJUNCT CONSTRUCTION - THE EMBEDMENT OR PASSAGE OF PIPING, ELECTRICAL CONDUIT, DUCTWORK AND OTHER MATERIALS THAT WOULD REDUCE THE STRENGTH OF MASONRY OR CONCRETE WALLS OR FOOTINGS OR FRAMING IS NOT PERMITTED UNLESS THE WORK IS DONE IN ACCORDANCE WITH THE STANDARD DETAILS SHOWN ON THE DRAWINGS. THIS WORK MUST BE APPROVED BY THE PROJECT INSPECTOR PRIOR TO CLOSING IN OR CASTING. SEE STANDARD DETAILS AND SPECIFICATIONS FOR THE RELATIONSHIP OF UNDERGROUND CONDUIT AND PIPING TO FOUNDATIONS, FOR OPENINGS, FOR PIPING IN WALLS AND OTHER SPECIAL CONDITIONS DESIGNED FOR THIS PROJECT.
7. WHERE PLAN NOTES CALL FOR THE CONTRACTORS TO INSTALL SPECIAL ITEMS IT IS TO BE EXPLICITLY UNDERSTOOD THAT THE CONTRACTOR IS TO ALSO PROVIDE THAT ITEM AND ALL ACCESSORY EQUIPMENT TO INSTALL THAT ITEM. IF ITEM IS TO BE PROVIDED BY OWNER IT WILL BE SO INDICATED.
8. IT SHALL BE THE RESPONSIBILITY OF THE BIDDERS TO CONFIRM EXISTING CONDITIONS ABOVE GRADE AND VISIBLE AND VERIFY w/ EXISTING PLANS FOR EXISTING CONDITIONS NOT VISIBLE FROM SURFACE.
9. CONTRACTOR SHALL REPAIR ALL LANDSCAPE AND PAVED AREAS TO PRECONSTRUCTION CONDITION FROM DAMAGE DURING CONSTRUCTION. PROVIDE PHOTOGRAPHS PRIOR TO STARTING WORK
10. IN WORK AREAS, CONTRACTOR SHALL FIELD VERIFY ALL EX UNDERGROUND UTILITIES PRIOR TO START OF CONSTRUCTION AND CONTACT COLLEGE MAINTENANCE DEPARTMENT AND ALL UTILITY COMPANIES FOR VERIFICATION OF ALL UNDERGROUND UTILITIES.
11. ALL BURIED STEEL PIPE AND FERROUS METAL OBJECTS SHOULD BE PROVIDED WITH A PROTECTIVE COATING. COORDINATE w/ ARCHITECT AND ENGINEERS FOR THIS REQUIREMENT PER SOILS REPORT.
12. ALL ITEMS CALLING FOR SUBMITTAL SHALL BE APPROVED BY THE ARCHITECT PRIOR TO FABRICATION OR INSTALLATION.

APPLICABLE CODES

APPLICABLE CODE OF REGULATIONS C.C.R.

PART 1	2019 CALIFORNIA BUILDING STANDARDS ADMINISTRATIVE CODE,TITLE 24 C.C.R.
PART 2	2019 CALIFORNIA BUILDING CODE (CBC), TITLE 24 C.C.R. (BASED ON THE 2015 INTERNATIONAL EXISTING BUILDING CODE OF THE INTERNATIONAL CODE COUNCIL, WITH CALIFORNIA AMENDMENTS)
PART 3	2019 CALIFORNIA ELECTRICAL (CEC), TITLE 24 C.C.R. (2014 NATIONAL ELECTRICAL CODE OF THE NATIONAL FIRE PROTECTION ASSOCIATION, NFPA)
PART 4	2019 CALIFORNIA MECHANICAL CODE (CMC),TITLE 24 C.C.R. (2015 UNIFORM MECHANICAL CODE OF THE INTERNATIONAL ASSOCIATION OF PLUMBING AND MECHANICAL OFFICIALS, IAPMO)
PART 5	2019 CALIFORNIA PLUMBING CODE (CPC), TITLE 24 C.C.R. (2015 UNIFORM MECHANICAL CODE OF THE INTERNATIONAL ASSOCIATION OF PLUMBING AND MECHANICAL OFFICIALS, IAPMO)
PART 6	2019 CALIFORNIA ENERGY CODE, TITLE 24 C.C.R.
PART 8	2019 CALIFORNIA HISTORICAL CODE, TITLE 24 C.C.R.
PART 9	2019 CALIFORNIA FIRE CODE, TITLE 24 C.C.R. (2015 INTERNATIONAL FIRE CODE OF THE INTERNATIONAL CODE COUNCIL)
PART 10	2019 CALIFORNIA EXISTING BUILDING CODE, TITLE 24 C.C.R. (2015 INTERNATIONAL EXISTING BUILDING CODE OF THE INTERNATIONAL CODE COUNCIL, WITH AMENDMENTS)
PART 11	2019 CALIFORNIA GREEN BUILDING STANDARDS CODE (CALGreen Code), TITLE 24 C.C.R.
PART 12	2019 CALIFORNIA REFERENCED STANDARDS, TITLE 24 C.C.R.

DEFERRED APPROVAL

INSTALLATION OF DEFERRED APPROVAL ITEMS SHALL NOT BE STARTED UNTIL SHOP DRAWINGS, SPECIFICATIONS, AND ENGINEERING CALCULATIONS FOR THE ACTUAL SYSTEMS TO BE INSTALLED HAVE BEEN APPROVED BY CITY OF VISALIA. DEFERRED ITEMS ARE TO BE COMPLETED PRIOR TO OCCUPANCY OF BUILDING AFFECTED BY THE DEFERRED WORK. DEFERRED APPROVAL FOR THIS PROJECT ARE THE FOLLOWING ITEMS:

- **PRE-MANUFACTURED ROOF TRUSSES
- EXTERIOR BUILDING SIGNAGE
- **ELEVATOR
- FIRE ALARM SYSTEM
- *FIRE SPRINKLERS
- PRE-MANUFACTURED TRELLIS/PURGOLA SYSTEM

* = PLANS AND CALCULATIONS TO BE SUBMITTED DIRECTLY TO CITY OF FRESNO FIRE DEPARTMENT.

** = SHOP DRAWINGS AND CALCULATIONS TO BE SUBMITTED TO ARCH AND STRUCTURAL ENGINEER FOR REVIEW & ACCEPTANCE OF SUCH PRIOR TO SUBMITTAL TO CITY OF VISALIA. CONTRACTOR SHALL SUBMIT SHOP DRAWINGS/CALCULATIONS WITH AMPLE TIME TO ALLOW ARCH/ENGINEER OF RECORD AND CITY OF VISALIA REVIEW APPROVAL PROCESS PRIOR TO INSTALLATION/CONSTRUCTION OF ANY ELEMENTS RELATED TO DEFERRED APPROVAL ITEMS. ELEVATOR BASIS OF DESIGN: MANUF. THYSSENKRUPP ENDURA 35 II A–3,500 LBS. ELEVATOR W/ STANDARD FINISHES.
CONTACT: THOMAS FRANCO 510-755-0248,
EMAIL: tom.franco@tkelevator.com.

APPROVAL

Design Development Approval

I have reviewed this Schematic Design Phase submittal and find it in conformance with Horizon Hospitality, LLC. program, design criteria, objectives, and instructions given to Klassen Corporation. My signature below confirms Owner's approval of these Schematic Design Phase and authorizes Klassen Corporation to proceed with Construction Document Phase submittal.

Project Owner:

Raju Verma
Horizon Hospitality, LLC

Date

PROJECT DIRECTORY

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FAX: (559) 261-8580
brian@barcusinc.com

SEPARATE SUBMITTAL

THE FOLLOWING ITEMS ARE UNDER A SEPARATE PERMIT AND SHALL BE SUBMITTED TO CITY OF VISALIA BY THE APPROPRIATE SUBCONTRACTOR FOR REVIEW/APPROVAL AND ISSUANCE OF BUILDING PERMIT PRIOR TO COMMENCEMENT OF CONSTRUCTION:

- SWIMMING POOL & SPA
- SOLAR CARPORT STRUCTURE
- MONUMENT SIGNAGE

UTILITIES

WATER CITY OF VISALIA
ELECTRIC PG&E
SEWER CITY OF VISALIA
GAS PG&E

SCOPE OF WORK

CONSTRUCTION OF NEW 59,539 SF., 4-STORY HOTEL WITH PRE-MANUFACTURED TRELLIS, TRASH ENCLOSURE, FLAG POLE, AND PARKING LOT LIGHT STANDARDS.

PROJECT DATA

BUILDING AREA

GROUND FLOOR	15,889 S.F.
2ND FLOOR	14,550 S.F.
3RD FLOOR	14,550 S.F.
4TH FLOOR	14,550 S.F.
TOTAL	59,539 S.F.
MAX. BUILDING HEIGHT	XX'-X" FT.
BUILDING HEIGHT	58'-3" FT.

GUESTROOM MATRIX

	1ST FLOOR	2ND FLOOR	3RD FLOOR	4TH FLOOR	TOTAL
STUDIO KING	4	12	12	12	40
ACC. KING STUDIO	-	2	-	2	4
DBL. QUEEN STUDIO	12	13	14	13	52
ACC. DBL. QUEEN STUDIO	-	-	1	-	1
QUEEN SUITE	-	1	-	1	2
ACC. QUEEN SUITE	1	-	1	-	2
TOTAL:	17	28	28	28	101

SHEET INDEX

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CIVIL
C-1.0 COVER SHEET AND NOTES
C-2.0 PARTIAL GRADING PLAN
C-2.1 PARTIAL GRADING PLAN
C-2.2 DETAIL AND STANDARDS
C-2.3 EROSION CONTROL PLAN
C-2.4 BEST MANAGEMENT PRACTICES (BMPs)
C3.0 COVER SHEET AND NOTES
C-3.1 UTILITY PLAN
C-3.2 STANDARDS AND DETAILS

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A4.02 ACCESSIBLE KING GUESTROOM w/ ROLL-IN
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A4.04 STUDIO DOUBLE QUEEN GUESTROOM (A)
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A4.12 GUESTROOM BATHROOM
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A4.23 ENLARGED LOBBY AREA FURNITURE PLAN
A4.25 ENLARGED BOH & CORRIDOR UPPER FLOOR PLAN
A4.26 ENLARGED STAIR #1 PLANS
A4.27 ENLARGED STAIR #2 PLANS
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A5.02 EXTERIOR ELEVATIONS
A6.01 BUILDING SECTIONS
A6.02 BUILDING SECTIONS

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P0.2B PLUMBING SCHEDULES
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P2.7 PLUMBING 4TH FLOOR PLAN - WATER & GAS LAYOUT PART 1
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M2.6 MECHANICAL 3RD FLOOR PLAN - PART 2
M2.7 MECHANICAL 4TH FLOOR PLAN - PART 1
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ELECTRICAL cont.
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E4.3 ELECTRICAL LIGHTING PLAN - 2ND FLOOR PLAN PART 2
E4.4 ELECTRICAL LIGHTING PLAN - 3RD FLOOR PLAN PART 1
E4.5 ELECTRICAL LIGHTING PLAN - 3RD FLOOR PLAN PART 2
E4.6 ELECTRICAL LIGHTING PLAN - 4TH FLOOR PLAN PART 1
E4.7 ELECTRICAL LIGHTING PLAN - 4TH FLOOR PLAN PART 2
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L.02 IRRIGATION PLAN & NOTES
L.03 IRRIGATION LEGEND & DETAILS
L.04 IRRIGATION DETAILS
L.05 PLANTING PLAN, LEGEND & DETAILS
L.06 IRRIGATION SPECS
L.07 PLANTING SPECS

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LICENSED ARCHITECT
DON W. EVANS
C18212
REN 4-30-23
STATE OF CALIFORNIA

The above drawings and specifications and ideas, designs and arrangements represented thereby are and shall remain the property of the architect: and no part thereof shall be copied, disclosed to others or used in connection with any work or project other than the specific project for which they have been prepared and developed without the written consent of the architect. Visual contact with these drawings or specifications shall constitute conclusive evidence of acceptance of these restrictions.

Written dimensions on these drawings shall have precedence over scaled dimension: contractors shall verify and be responsible for, all dimensions and conditions on the job and this office must be notified of any variations from the dimensions and conditions shown by these drawings. Shop details must be submitted to this office for approval before proceeding with fabrication.

Towneplace Suites by Marriott
HORIZON HOSPITALITY, LLC.
W. Cypress Ave. - Visalia, CA 93277

TOWNEPLACE SUITES® BY MARRIOTT

MARK	ISSUED FOR	DATE

Project No. : 05-1-21017

COVER SHEET

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EAST ELEVATION

1/8" = 1'-0"

NORTH ELEVATION

1/8" = 1'-0"

EXTERIOR ELEVATIONS

GRAPHIC SCALE

0 8 16 24

KEYNOTES

KEY NO.	DESCRIPTION

EXTERIOR FINISH LEGEND

AS-1 **THREE COAT STUCCO SYSTEM w/ ELASTOMERIC ACRYLIC FINISH**
OMEGA PRODUCTS
PAINTED BENJAMIN MOORE
COLOR: MANOR BLUE (1627)
TEXTURE FINISH: TBD

AS-2 **THREE COAT STUCCO SYSTEM w/ ELASTOMERIC ACRYLIC FINISH**
OMEGA PRODUCTS
PAINTED BENJAMIN MOORE
COLOR: NOVEMBER RAIN (2142-60)
TEXTURE FINISH: TBD

AS-3 **THREE COAT STUCCO SYSTEM w/ ELASTOMERIC ACRYLIC FINISH**
OMEGA PRODUCTS
PAINTED SHERWIN WILLIAMS
COLOR: BLACK BEAM (SW6006)
TEXTURE FINISH: TBD

FCP-1 **FIBER CEMENT PANEL**
NICHIHA
ROUGH SAWN SERIES AWP 3030
COLOR: SMOKE
NOTE: VERTICAL INSTALLATION

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SON W. EVANG 04-30-22

The above drawings and specifications and ideas, designs and arrangements represented thereby are and shall remain the property of the architect and no part thereof shall be copied, disclosed to others or used in connection with any work or project other than the specific project for which they have been prepared and developed without the written consent of the architect. Visual contact with these drawings or specifications shall constitute conclusive evidence of acceptance of these restrictions.

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Towneplace Suites by Marriott

HORIZON HOSPITALITY, LLC.

W. Cypress Ave. - Visalia, CA 93277

TOWNEPLACE SUITES® BY MARRIOTT

MARK	ISSUED FOR	DATE

Project No. : 05-1-21017

EXTERIOR ELEVATIONS

A5.01

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WEST ELEVATION

1/8" = 1'-0"

SOUTH ELEVATION

1/8" = 1'-0"

GRAPHIC SCALE

0 8 16 24

EXTERIOR ELEVATIONS

KEYNOTES

KEY NO.	DESCRIPTION

EXTERIOR FINISH LEGEND

AS-1 **THREE COAT STUCCO SYSTEM w/ ELASTOMERIC ACRYLIC FINISH**
OMEGA PRODUCTS
PAINTED BENJAMIN MOORE
COLOR: MANOR BLUE (1627)
TEXTURE FINISH: TBD

AS-2 **THREE COAT STUCCO SYSTEM w/ ELASTOMERIC ACRYLIC FINISH**
OMEGA PRODUCTS
PAINTED BENJAMIN MOORE
COLOR: NOVEMBER RAIN (2142-60)
TEXTURE FINISH: TBD

AS-3 **THREE COAT STUCCO SYSTEM w/ ELASTOMERIC ACRYLIC FINISH**
OMEGA PRODUCTS
PAINTED SHERWIN WILLIAMS
COLOR: BLACK BEAM (SW6006)
TEXTURE FINISH: TBD

FCP-1 **FIBER CEMENT PANEL**
NICHIHA
ROUGH SAWN SERIES AWP 3030
COLOR: SMOKE
NOTE: VERTICAL INSTALLATION

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C18212
SIGN 4-30-22
STATE OF CALIFORNIA

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Written dimensions on these drawings shall have precedence over scaled dimension. contractors shall verify and be responsible for, all dimensions and conditions on the job and this office must be notified of any variations from the dimensions and conditions shown by these drawings. Shop details must be submitted to this office for approval before proceeding with fabrication.

TOWNEPLACE SUITES® BY MARRIOTT

Towneplace Suites by Marriott
HORIZON HOSPITALITY, LLC.
W. Cypress Ave. - Visalia, CA 93277

MARK	ISSUED FOR	DATE

Project No. : 05-1-21017

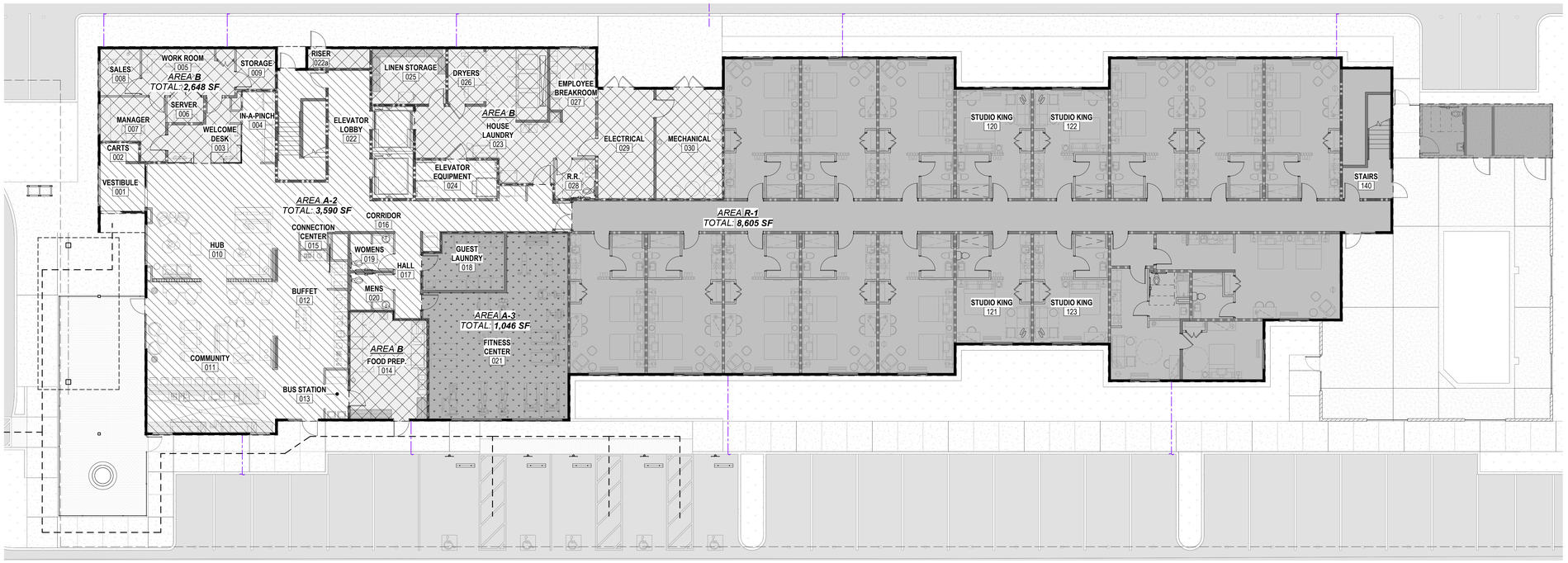
EXTERIOR ELEVATIONS

A5.02

5/2/2022 8:18:51 AM

Exhibit “C”

Floor Plans



BUILDING CODE ANALYSIS PLAN - 1ST FLOOR

1" = 10'-0"

GRAPHIC SCALE

0 10 20 30

CODE ANALYSIS BLDG. DATA

CONSTRUCTION TYPE:	III-B
OCCUPANCY TYPE:	MIXED OCCUPANCY, SEPARATED (R-1,A-2,A-3,B)R-1=HOTEL A-2 = LOUNGE, PANTRY & DINNING A-3 = FLEX, FITNESS B = STAFF AREA, LAUNDRY & UTILITY R-1 = PRIMARY OCCUPANCY
FIRE SPRINKLERED:	YES AS REQUIRED PER **2019 CBC 903.2.8** FOR R GROUPS, FULLY SPRINKLERED (TYPE 903.3.1.1)
ALLOWABLE BUILDING HEIGHT & STORIES:	55'-0" / 4 STORIES PRIMARY GROUP R1, **2019 CBC TABLE 504.3 & TABLE 504.4**
ACTUAL BUILDING HEIGHT & STORIES:	53'-6" / 4 STORIES **CBC HEIGHT BUILDING DEFINITION:** VERTICAL DISTANCE FROM GRADE PLAN TO THE AVERAGE HT. OF HIGHEST ROOF SURFACE. **2019 CBC 504.3**. EXCEPTION; NOT USED FOR HABITATION.
HEIGHT INCREASE:	NOT USED

ALLOWABLE AREA PER OCCUPANCY: CBC TABLE 506.2	R-1	B	A-2	A-3
	48,000 SF (SM)	57,000 SF (SM)	28,500 SF (SM)	28,500 SF (SM)

ACTUAL AREA:	**TOTAL:**	R-1	B	A-2	A-3
GROUND FLOOR	15,889 SF	8,605 SF	2,648 SF	3,590 SF	1,046 SF
2nd FLOOR	14,550 SF	14,550 SF	-	-	-
3rd FLOOR	14,550 SF	14,550 SF	-	-	-
4th FLOOR	14,550 SF	14,550 SF	-	-	-
TOTAL:	59,539 SF	52,255 SF	2,648 SF	3,590 SF	1,046 SF

SUM OF THE RATIOS MIXED OCCUPANCY, MULTISTORY BUILDING: 2019 CBC 506.2.4	OCCUPANCY USE (ACTUAL SF / ALLOWABLE SF)	RATIO
GROUND FLOOR	B 2,648 SF / 57,000 SF	.05
	A-2 3,590 SF / 28,500 SF	.20
	A-3 1,046 SF / 28,500 SF	.06
	R-1 8,605 SF / 48,000 SF	.32
	TOTAL GROUND RATIO	.63 < 1.0 = OK **CBC 508.4.2**
2nd FLOOR	R-1 14,550 SF / 48,000 SF	.44 < 1.0 = OK **CBC 508.4.2**
3rd FLOOR	R-1 14,550 SF / 48,000 SF	.44 < 1.0 = OK **CBC 508.4.2**
4th FLOOR	R-1 14,550 SF / 48,000 SF	.44 < 1.0 = OK **CBC 508.4.2**
TOTAL	1.95 < 2.0 = OK **CBC 506.2.4**	
FRONTAGE INCREASE:	NO	
REQUIRED SEPARATION OF OCCUPANCIES: CBC TABLE 508.4	R-1 TO A = 1 HR SPRINKLERED	
	R-1 TO B = 1 HR SPRINKLERED	
	B TO A = 1 HR SPRINKLERED	
	A TO A = NOT REQUIRED	

FIRE SEPARATION NOTES:

- 1-HR SEPARATION FIRE PARTITIONS REQUIRED AT ALL GUEST ROOMS PER **2019 CBC 420.2**
- 1-HR HORIZONTAL SEPARATION BETWEEN FLOORS REQUIRED PER **2019 CBC 420.3**, **2019 CBC 711.2.4.3**, **2019 CBC 508.4**
- CORRIDOR TO HAVE 1-HR, FIRE PARTITIONS PER 2019 CBC 1020.1
- 2-HR FIRE BARRIER REQUIRED AT STAIRWELLS PER **2019 CBC 1023.2**
- 2-HR FIRE BARRIER REQUIRED AT ELEVATOR SHAFT ENCLOSURE PER **2019 CBC 713.14**
- 2-HR FIRE BARRIER REQUIRED AT LAUNDRY SHAFT PER **2019 CBC 713.13**

CODE COMPLIANCE NOTES

FIRE PROTECTION FEATURES
EACH BUILDING SHALL BE EQUIPPED THROUGHOUT WITH A SUPERVISED AUTOMATIC FIRE SPRINKLER SYSTEM DESIGNED AND INSTALLED AS PER THE REQUIREMENTS OF NFPA 13 AND MARRIOTT'S STANDARDS. THE SYSTEM SHALL BE FULLY AUTOMATIC AND MONITORED.

IN BUILDINGS REQUIRED TO HAVE STANDPIPES, NOT LESS THAN ONE STANDPIPE SHALL BE PROVIDED FOR USE DURING CONSTRUCTION (**2019 CBC 3311**)

THIS PROJECT SHALL BE EQUIPPED WITH FIRE AND SMOKE ALARM SYSTEMS (**2019 CBC 907.2.8**)

EMERGENCY WARNING SYSTEMS SHALL ACTIVATE A MEANS OF WARNING THE HEARING IMPAIRED AND SHALL COMPLY WITH NFPA 72 AS AMENDED IN CHAPTER 35 (**2019 CBC 907.5**)

PORTABLE FIRE EXTINGUISHERS SHALL BE INSTALLED IN THE BUILDING IN ACCORDANCE WITH **2019 CBC 906**.

ACCESSIBLE FACILITIES
THESE FACILITIES MUST BE DESIGNED TO COMPLY WITH ALL THE REQUIREMENTS OF THE AMERICANS WITH DISABILITY ACT, AS WELL AS LOCAL AND STATE ACCESSIBILITY REGULATIONS.

SOUND TRANSMISSION (**2019 CBC 1206**)
PER ACOUSTICAL REPORT. COMPLY WITH NOTES AND DETAILS ON SHEET A1.03.

FIRE BLOCKING AND DRAFTSTOPPING
FIRE BLOCKING SHALL BE PROVIDED PER **2019 CBC 718.2**.

FIRE SPRINKLERS PER **2019 CBC 903.3.1.1** SHALL BE REQUIRED IN CONCEALED FLOOR AND ATTIC SPACE UNLESS DRAFTSTOPPING IS PROVIDED PER FOLLOWING REQUIREMENTS.

NFPA 12, 8.16.1.2.6 CONCEALED SPACES SHALL BE COMPARTMENTALIZED INTO VOLUMES NOT TO EXCEED 160 CUBIC FEET ½" GYP BOARD OR ANY MATERIAL LISTED IN **2019 CBC 718.3.1** AS FIRE BLOCKING MATERIAL

OCCUPANCY LEGEND

A-2 A-3 S-2

B R-1

WALL LEGEND

1. **EXTERIOR - *2 HOUR FIRE RATED WALL:*** 2x6 OR 3x6 WOOD STUDS PER STRUCTURAL w/ (2) LAYERS 5/8" TYPE 'X' GYP. BD. ON INTERIOR SIDE (1) LAYER TO BE MOISTURE RESISTANT. (3) COAT STUCCO w/ ELASTOMERIC ACRYLIC FINISH OVER PLYWOOD SHEAR WALL ON EXTERIOR SIDE. PROVIDE R-19 BATT INSULATION **(SEE DETAIL 3 / AG.03) (CBC 2019 TABLE 721.1(2); WALL ASSEMBLY ITEM #15-1.6)**
   NOTE:
   1. ALL STUDS & PLYWOOD SHEATHING TO BE FIRE TREATED.
   2. REFER TO EXTERIOR ELEVATIONS FOR EXTERIOR FINISHES & DESIGNATIONS

2. **INTERIOR - *2 HOUR FIRE RATED WALL:*** 2x6 OR 3x6 WOOD STUDS PER STRUCTURAL, w/ (2) LAYERS OF 5/8" TYPE 'X' GYP. BD. OVER RESILIENT CHANNELS (OVER PLYWOOD SHEAR, PER STRUCTURAL) (FLOOR SIDE) & (2) LAYERS OF 5/8" TYPE 'X' GYP. BD. (SHAFT SIDE). PROVIDE 2" THICK MINERAL WOOL INSULATION FULL HT. AT SHAFT WALL CONT. ALL FLOORS **(SEE DETAIL 6 / AG.03)(U.L. NO. U334)**

3. **INTERIOR - *1 HOUR FIRE RATED WALL:*** 2x6 OR 3x6 WOOD STUDS PER STRUCTURAL, w/ 5/8" TYPE 'X' GYP. BD. OVER RESILIENT CHANNELS (GUESTROOM SIDE) & 5/8" TYPE 'X' GYP. BD. OVER PLY. SHEAR (CORRIDOR SIDE). PROVIDE SOUND BATT. INSULATION FULL HT TO UNDERSIDE OF FLOOR/ROOF ABOVE **(SEE DETAIL 5 / AG.03)(U.L. NO. U311)**

4. **INTERIOR - *GUEST ROOM 1 HOUR FIRE RATED DEMISING WALL:*** 2x6 WOOD STUDS w/ 5/8" TYPE 'X' GYP. BD. OVER PLY SHEAR (PER STRUCTURAL PLANS WHERE OCCURS)(ONE SIDE) & 5/8" TYPE 'X' GYP. BD OVER RESILIENT CHANNELS (ONE SIDE). PROVIDE SOUND BATT INSULATION FULL HT. TO UNDERSIDE OF FLOOR/ROOF ABOVE **(SEE DETAIL 4 / AG.03)(U.L. NO. U311)**

5. **INTERIOR - *NON-RATED WALL:*** 2x6 WOOD STUDS w/ 5/8" TYPE 'X' GYP. BD. BOTH SIDES. PROVIDE SOUND BATT INSULATION. VERIFY w/ PLANS IF WALLS ARE REQUIRED TO BE FULL HT. **(SEE DETAIL 10 / AG.03)(U.L. NO. U305)**

6. **INTERIOR - *NON-RATED WALL:*** 2x4 WOOD STUDS, U.O.N. w/ 5/8" TYPE 'X' GYP. BD. BOTH SIDES (GYP. BD. NOT REQUIRED AT FURRING SIDE). PROVIDE R-13 SOUND BATT INSULATION. VERIFY w/ PLANS IF WALLS ARE REQUIRED TO BE FULL HT.

7. **INTERIOR - *2 HOUR FIRE RATED SHAFT WALL:*** 6" CH METAL STUDS @ 24" o/c, 1" TH. GYPSUM LINER PANEL - SHAFT SIDE, 3/4" TH. GYP. BD. - FINISH SIDE. w/ 3" INSULATION. **(SEE DETAIL 11 / AG.03)** (**U.L. NO. U415C**).

8. **6" CMU WALL(8x8x16):** REFER TO STRUCTURAL

NOTES:

1. **RATED CONSTRUCTION MARKING & IDENTIFICATION PER CBC 703.7:**
   A. BE LOCATED WITHIN 15 FEET OF THE END OF EACH WALL AND AT INTERVALS NOT EXCEEDING 30 FEET MEASURED HORIZONTALLY ALONG THE WALL OR PARTITION, ABOVE CEILING LINE.
   B. INCLUDE LETTERING NOT LESS THAN 3 INCHES IN HEIGHT WITH A MINIMUM 3/8" STROKE IN A CONTRASTING COLOR INCORPORATING THE SUGGESTED WORDING, "**FIRE AND/OR SMOKE BARRIER - PROTECT ALL OPENINGS**".
2. AT RESTROOM, SINKS & WET AREAS PROVIDE A MOISTURE RESISTANT GYP. BD. @ 4' HT. MIN.

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Written dimensions on these drawings shall have precedence over scaled dimension. contractors shall verify and be responsible for, all dimensions and conditions on the job and this office must be notified of any variations from the dimensions and conditions shown by these drawings. Shop details must be submitted to this office for approval before proceeding with fabrication.

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W. Cypress Ave. - Visalia, CA 93277

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MARK	ISSUED FOR	DATE

Project No. : 05-1-21017

BUILDING CODE ANALYSIS - 1ST FLOOR

AG.01

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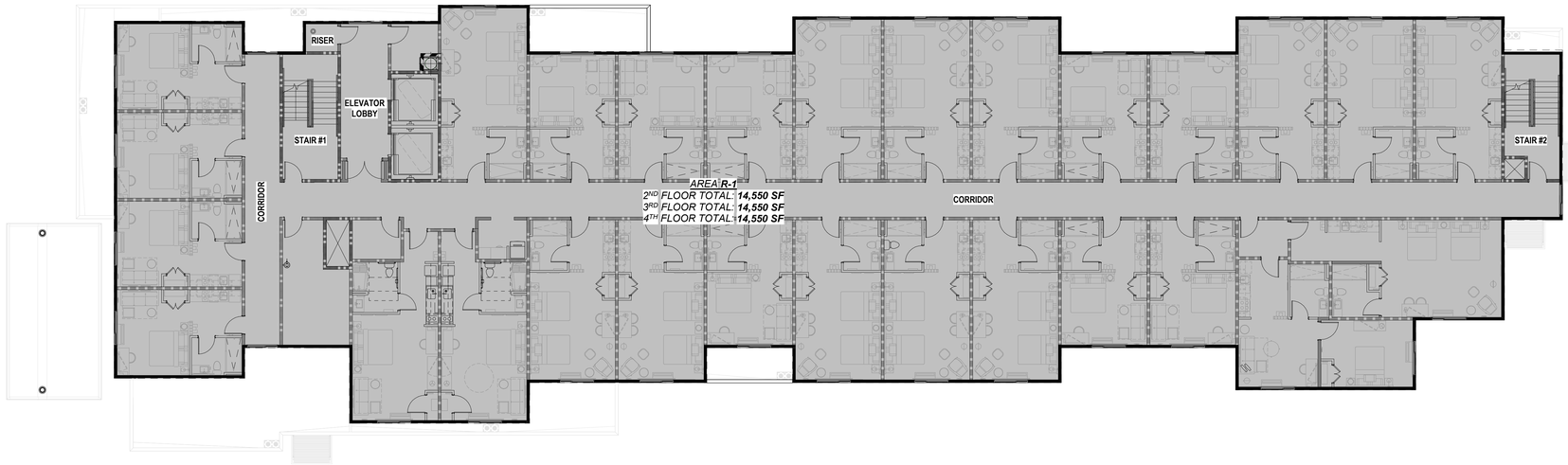

BUILDING CODE ANALYSIS PLAN - UPPER FLOORS

1" = 10'-0"

GRAPHIC SCALE

0 10 20 30

CODE ANALYSIS BLDG. DATA

CONSTRUCTION TYPE:	III-B
OCCUPANCY TYPE:	MIXED OCCUPANCY, SEPARATED (R-1,A-2,A-3,B)/R-1=HOTEL A-2 = LOUNGE, PANTRY & DINNING A-3 = FLEX, FITNESS B = STAFF AREA, LAUNDRY & UTILITY R-1 = PRIMARY OCCUPANCY
FIRE SPRINKLERED:	YES AS REQUIRED PER **2019 CBC 903.2.8** FOR R GROUPS, FULLY SPRINKLERED (TYPE 903.3.1.1)
ALLOWABLE BUILDING HEIGHT & STORIES:	55'-0" / 4 STORIES PRIMARY GROUP R1: **2019 CBC TABLE 504.3 & TABLE 504.4**
ACTUAL BUILDING HEIGHT & STORIES:	53'-6" / 4 STORIES **CBC HEIGHT BUILDING DEFINITION:** VERTICAL DISTANCE FROM GRADE PLAN TO THE AVERAGE HT. OF HIGHEST ROOF SURFACE. **2019 CBC 504.3**. EXCEPTION; NOT USED FOR HABITATION.
HEIGHT INCREASE:	NOT USED

ALLOWABLE AREA PER OCCUPANCY: CBC TABLE 506.2	R-1	B	A-2	A-3
	48,000 SF (SM)	57,000 SF (SM)	28,500 SF (SM)	28,500 SF (SM)

ACTUAL AREA:	**TOTAL:**	R-1	B	A-2	A-3
GROUND FLOOR	15,889 SF	8,605 SF	2,648 SF	3,590 SF	1,046 SF
2nd FLOOR	14,550 SF	14,550 SF	-	-	-
3rd FLOOR	14,550 SF	14,550 SF	-	-	-
4th FLOOR	14,550 SF	14,550 SF	-	-	-
TOTAL:	59,539 SF	52,255 SF	2,648 SF	3,590 SF	1,046 SF

SUM OF THE RATIOS MIXED OCCUPANCY, MULTISTORY BUILDING: 2019 CBC 506.2.4	OCCUPANCY USE (ACTUAL SF / ALLOWABLE SF)	RATIO
GROUND FLOOR	B 2,648 SF / 57,000 SF	.05
	A-2 3,590 SF / 28,500 SF	.20
	A-3 1,046 SF / 28,500 SF	.06
	R-1 8,605 SF / 48,000 SF	.32
	TOTAL GROUND RATIO	.63 < 1.0 = OK **CBC 508.4.2**
2nd FLOOR	R-1 14,550 SF / 48,000 SF	.44 < 1.0 = OK **CBC 508.4.2**
3rd FLOOR	R-1 14,550 SF / 48,000 SF	.44 < 1.0 = OK **CBC 508.4.2**
4th FLOOR	R-1 14,550 SF / 48,000 SF	.44 < 1.0 = OK **CBC 508.4.2**
TOTAL	1.95 < 2.0 = OK **CBC 506.2.4**	

FRONTAGE INCREASE:	NO
REQUIRED SEPARATION OF OCCUPANCIES: CBC TABLE 508.4	R-1 TO A = 1 HR SPRINKLERED
	R-1 TO B = 1 HR SPRINKLERED
	B TO A = 1 HR SPRINKLERED
	A TO A = NOT REQUIRED

FIRE SEPARATION NOTES:

- 1-HR SEPARATION FIRE PARTITIONS REQUIRED AT ALL GUEST ROOMS PER **2019 CBC 420.2**
- 1-HR HORIZONTAL SEPARATION BETWEEN FLOORS REQUIRED PER **2019 CBC 420.3, 2019 CBC 711.2.4.3, 2019 CBC 508.4**
- CORRIDOR TO HAVE 1-HR, FIRE PARTITIONS PER 2019 CBC 1020.1
- 2-HR FIRE BARRIER REQUIRED AT STAIRWELLS PER **2019 CBC 1023.2**
- 2-HR FIRE BARRIER REQUIRED AT ELEVATOR SHAFT ENCLOSURE PER **2019 CBC 713.14**
- 2-HR FIRE BARRIER REQUIRED AT LAUNDRY SHAFT PER **2019 CBC 713.13**

CODE COMPLIANCE NOTES

FIRE PROTECTION FEATURES
EACH BUILDING SHALL BE EQUIPPED THROUGHOUT WITH A SUPERVISED AUTOMATIC FIRE SPRINKLER SYSTEM DESIGNED AND INSTALLED AS PER THE REQUIREMENTS OF NFPA 13 AND MARRIOTT'S STANDARDS. THE SYSTEM SHALL BE FULLY AUTOMATIC AND MONITORED.

IN BUILDINGS REQUIRED TO HAVE STANDPIPES, NOT LESS THAN ONE STANDPIPE SHALL BE PROVIDED FOR USE DURING CONSTRUCTION (**2019 CBC 3311**)

THIS PROJECT SHALL BE EQUIPPED WITH FIRE AND SMOKE ALARM SYSTEMS (**2019 CBC 907.2.8**)

EMERGENCY WARNING SYSTEMS SHALL ACTIVATE A MEANS OF WARNING THE HEARING IMPAIRED AND SHALL COMPLY WITH NFPA 72 AS AMENDED IN CHAPTER 35 (**2019 CBC 907.5**)

PORTABLE FIRE EXTINGUISHERS SHALL BE INSTALLED IN THE BUILDING IN ACCORDANCE WITH **2019 CBC 906**.

ACCESSIBLE FACILITIES
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SOUND TRANSMISSION (**2019 CBC 1206**)
PER ACOUSTICAL REPORT. COMPLY WITH NOTES AND DETAILS ON SHEET A1.03.

FIRE BLOCKING AND DRAFTSTOPPING
FIRE BLOCKING SHALL BE PROVIDED PER **2019 CBC 718.2**.

FIRE SPRINKLERS PER **2019 CBC 903.3.1.1** SHALL BE REQUIRED IN CONCEALED FLOOR AND ATTIC SPACE UNLESS DRAFTSTOPPING IS PROVIDED PER FOLLOWING REQUIREMENTS.

NFPA 12, 8.16.1.2.6 CONCEALED SPACES SHALL BE COMPARTMENTALIZED INTO VOLUMES NOT TO EXCEED 160 CUBIC FEET ½" GYP BOARD OR ANY MATERIAL LISTED IN **2019 CBC 718.3.1** AS FIRE BLOCKING MATERIAL

OCCUPANCY LEGEND

A-2 A-3 S-2

B R-1

WALL LEGEND

1. **EXTERIOR - *2 HOUR FIRE RATED WALL:*** 2x6 OR 3x6 WOOD STUDS PER STRUCTURAL w/ (2) LAYERS 5/8" TYPE 'X' GYP. BD. ON INTERIOR SIDE (1) LAYER TO BE MOISTURE RESISTANT. (3) COAT STUCCO w/ ELASTOMERIC ACRYLIC FINISH OVER PLYWOOD SHEAR WALL ON EXTERIOR SIDE. PROVIDE R-19 BATT INSULATION **(SEE DETAIL 3 / AG.03) (CBC 2019 TABLE 721.1(2), WALL ASSEMBLY ITEM #15-1.6)**
   NOTE:
   1. ALL STUDS & PLYWOOD SHEATHING TO BE FIRE TREATED.
   2. REFER TO EXTERIOR ELEVATIONS FOR EXTERIOR FINISHES & DESIGNATIONS

2. **INTERIOR - *2 HOUR FIRE RATED WALL:*** 2x6 OR 3x6 WOOD STUDS PER STRUCTURAL, w/ (2) LAYERS OF 5/8" TYPE 'X' GYP. BD. OVER RESILIENT CHANNELS (OVER PLYWOOD SHEAR, PER STRUCTURAL) (FLOOR SIDE) & (2) LAYERS OF 5/8" TYPE 'X' GYP. BD. (SHAFT SIDE). PROVIDE 2" THICK MINERAL WOOL INSULATION FULL HT. AT SHAFT WALL CONT. ALL FLOORS **(SEE DETAIL 6 / AG.03)(U.L. NO. U334)**

3. **INTERIOR - *1 HOUR FIRE RATED WALL:*** 2x6 OR 3x6 WOOD STUDS PER STRUCTURAL, w/ 5/8" TYPE 'X' GYP. BD. OVER RESILIENT CHANNELS (GUESTROOM SIDE) & 5/8" TYPE 'X' GYP. BD. OVER PLY. SHEAR (CORRIDOR SIDE). PROVIDE SOUND BATT .INSULATION FULL HT TO UNDERSIDE OF FLOOR/ROOF ABOVE **(SEE DETAIL 5 / AG.03)(U.L. NO. U311)**

4. **INTERIOR - *GUEST ROOM 1 HOUR FIRE RATED DEMISING WALL:*** 2x6 WOOD STUDS w/ 5/8" TYPE 'X' GYP. BD. OVER PLY SHEAR (PER STRUCTURAL PLANS WHERE OCCURS)(ONE SIDE) & 5/8" TYPE 'X' GYP. BD OVER RESILIENT CHANNELS (ONE SIDE). PROVIDE SOUND BATT INSULATION FULL HT. TO UNDERSIDE OF FLOOR/ROOF ABOVE **(SEE DETAIL 4 / AG.03)(U.L. NO. U311)**

5. **INTERIOR - *NON-RATED WALL:*** 2x6 WOOD STUDS w/ 5/8" TYPE 'X' GYP. BD. BOTH SIDES. PROVIDE SOUND BATT INSULATION. VERIFY w/ PLANS IF WALLS ARE REQUIRED TO BE FULL HT. **(SEE DETAIL 10 / AG.03)(U.L. NO. U305)**

6. **INTERIOR - *NON-RATED WALL:*** 2x4 WOOD STUDS, U.O.N. w/ 5/8" TYPE 'X' GYP. BD. BOTH SIDES (GYP. BD. NOT REQUIRED AT FURRING SIDE). PROVIDE R-13 SOUND BATT INSULATION. VERIFY w/ PLANS IF WALLS ARE REQUIRED TO BE FULL HT.

7. **INTERIOR - *2 HOUR FIRE RATED SHAFT WALL:*** 6" CH METAL STUDS @ 24" o/c, 1" TH. GYPSUM LINER PANEL - SHAFT SIDE, 3/4" TH. GYP. BD. - FINISH SIDE, w/ 3" INSULATION. **(SEE DETAIL 11 / AG.03)** (**U.L. NO. U415C**).

8. **6" CMU WALL(8x8x16):** REFER TO STRUCTURAL

NOTES:

1. **RATED CONSTRUCTION MARKING & IDENTIFICATION PER CBC 703.7:**
   A. BE LOCATED WITHIN 15 FEET OF THE END OF EACH WALL AND AT INTERVALS NOT EXCEEDING 30 FEET MEASURED HORIZONTALLY ALONG THE WALL OR PARTITION, ABOVE CEILING LINE.
   B. INCLUDE LETTERING NOT LESS THAN 3 INCHES IN HEIGHT WITH A MINIMUM 3/8" STROKE IN A CONTRASTING COLOR INCORPORATING THE SUGGESTED WORDING, "**FIRE AND/OR SMOKE BARRIER - PROTECT ALL OPENINGS**".
2. AT RESTROOM, SINKS & WET AREAS PROVIDE A MOISTURE RESISTANT GYP. BD. @ 4' HT. MIN.

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Written dimensions on these drawings shall have precedence over scaled dimension. contractors shall verify and be responsible for, all dimensions and conditions on the job and this office must be notified of any variations from the dimensions and conditions shown by these drawings. Shop details must be submitted to this office for approval before proceeding with fabrication.

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HORIZON HOSPITALITY, LLC.
W. Cypress Ave. - Visalia, CA 93277

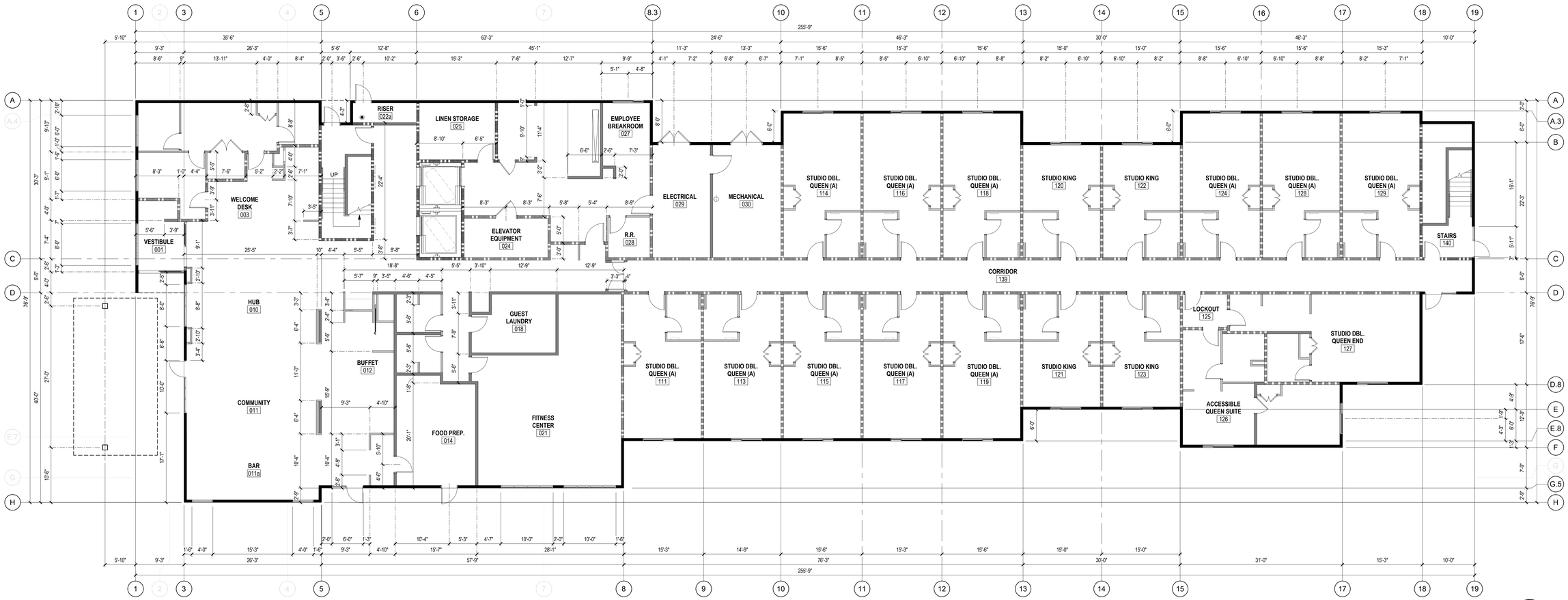
MARK	ISSUED FOR	DATE

Project No. : 05-1-21017

BUILDING CODE ANALYSIS - UPPER FLOORS

AG.02

5/2/2022 8:19:53 AM



1st FLOOR DIMENSION PLAN

1/8" = 1'-0"

GRAPHIC SCALE

0 8 16 24

REFERENCE NOTES

A. REFER TO **TOWNPLACE SUITES BY MARRIOTT PRODUCT MANUALS GEN. 5 REAL LIVING (GREY COLOR SCHEME)(ISSUE AUG. 2021)** FOR OPENINGS, EQUIPMENT, ELECTRICAL FIXTURES/LIGHTING, MILLWORK, TOILET ACCESSORIES, PLUMBING FIXTURES AND FINISH SPECIFICATIONS & **INTERIOR DESIGN SPECIFICATION MANUAL GEN. 5 REAL LIVING (GREYCOLOR SCHEME)(OCT. 2021)** FOR FURNITURE & ADDITIONAL FINISHES.

B. REFER TO **TOWNEPLACE SUITES BY MARRIOTT INTERIOR SIGNAGE SPECIFICATIONS (OCT. 2020)** FOR REQUIRED GRAPHICS.

C. REFER TO SHEETS **AG.03** FOR FIRE RATED WALL AND CEILING ASSEMBLY DETAILS.

D. REFER TO SHEETS **A4.01 THROUGH A4.12** FOR ADDITIONAL INFORMATION AND DIMENSIONS ON ENLARGED GUESTROOM PLANS.

E. REFER TO SHEETS **A4.20 THROUGH A4.27** FOR ADDITIONAL INFORMATION AND DIMENSIONS ON ENLARGED COMMON AREA PLANS.

F. REFER TO **SPECS. SECTION 14240** FOR ELEVATOR PLANNING REQUIREMENTS INCLUDING ELEVATOR TYPE, SIZE, QUANTITY, PERFORMANCE CRITERIA & FEATURES PER SPECIFIC PROJECT SIZE & LAYOUT.

GENERAL NOTES

1. CONTRACTOR TO VERIFY AND COORDINATE FINAL LOCATIONS & TYPE OF FIRE EXTINGUISHERS WITH LOCAL FIRE DEPARTMENT. SEE SHEET **AG.01 THROUGH AG.05** FOR ADDITIONAL INFORMATION ON FIRE EXTINGUISHER.

WALL LEGEND

1. **EXTERIOR - *2 HOUR FIRE RATED WALL:*** 2x6 OR 3x6 WOOD STUDS PER STRUCTURAL w/ (2) LAYERS 5/8" TYPE 'X' GYP. BD. ON INTERIOR SIDE (1) LAYER TO BE MOISTURE RESISTANT. (3) COAT STUCCO w/ ELASTOMERIC ACRYLIC FINISH OVER PLYWOOD SHEAR WALL ON EXTERIOR SIDE. PROVIDE R-19 BATT INSULATION **(SEE DETAIL 3 / AG.03) (CBC 2019 TABLE 721.1(2), WALL ASSEMBLY ITEM #15-1.6)**
   NOTE:
   1. ALL STUDS & PLYWOOD SHEATHING TO BE FIRE TREATED.
   2. REFER TO EXTERIOR ELEVATIONS FOR EXTERIOR FINISHES & DESIGNATIONS

2. **INTERIOR - *2 HOUR FIRE RATED WALL:*** 2x6 OR 3x6 WOOD STUDS PER STRUCTURAL, w/ (2) LAYERS OF 5/8" TYPE 'X' GYP. BD. OVER RESILIENT CHANNELS (OVER PLYWOOD SHEAR, PER STRUCTURAL) (FLOOR SIDE) & (2) LAYERS OF 5/8" TYPE 'X' GYP. BD. (SHAFT SIDE). PROVIDE 2" THICK MINERAL WOOL INSULATION FULL HT. AT SHAFT WALL CONT. ALL FLOORS **(SEE DETAIL 6 / AG.03)(U.L. NO. U334)**

3. **INTERIOR - *1 HOUR FIRE RATED WALL:*** 2x6 OR 3x6 WOOD STUDS PER STRUCTURAL, w/ 5/8" TYPE 'X' GYP. BD. OVER RESILIENT CHANNELS (GUESTROOM SIDE) & 5/8" TYPE 'X' GYP. BD. OVER PLY. SHEAR (CORRIDOR SIDE). PROVIDE SOUND BATT .INSULATION FULL HT TO UNDERSIDE OF FLOOR/ROOF ABOVE **(SEE DETAIL 5 / AG.03)(U.L. NO. U311)**

4. **INTERIOR - *GUEST ROOM 1 HOUR FIRE RATED DEMISING WALL:*** 2x6 WOOD STUDS w/ 5/8" TYPE 'X' GYP. BD. OVER PLY SHEAR (PER STRUCTURAL PLANS WHERE OCCURS)(ONE SIDE) & 5/8" TYPE 'X' GYP. BD OVER RESILIENT CHANNELS (ONE SIDE). PROVIDE SOUND BATT INSULATION FULL HT. TO UNDERSIDE OF FLOOR/ROOF ABOVE **(SEE DETAIL 4 / AG.03)(U.L. NO. U311)**

5. **INTERIOR - *NON-RATED WALL:*** 2x6 WOOD STUDS w/ 5/8" TYPE 'X' GYP. BD. BOTH SIDES. PROVIDE SOUND BATT INSULATION. VERIFY w/ PLANS IF WALLS ARE REQUIRED TO BE FULL HT. **(SEE DETAIL 10 / AG.03)(U.L NO. U305)**

6. **INTERIOR - *NON-RATED WALL:*** 2x4 WOOD STUDS, U.O.N. w/ 5/8" TYPE 'X' GYP. BD. BOTH SIDES (GYP. BD. NOT REQUIRED AT FURRING SIDE). PROVIDE R-13 SOUND BATT INSULATION. VERIFY w/ PLANS IF WALLS ARE REQUIRED TO BE FULL HT.

7. **INTERIOR - *2 HOUR FIRE RATED SHAFT WALL:*** 6" CH METAL STUDS @ 24" o/c, 1" TH. GYPSUM LINER PANEL - SHAFT SIDE, 3/4" TH. GYP. BD. - FINISH SIDE. w/ 3" INSULATION. **(SEE DETAIL 11 / AG.03) (U.L. NO. U415C)**.

8. **6" CMU WALL(8x8x16):** REFER TO STRUCTURAL

NOTES:

1. **RATED CONSTRUCTION MARKING & IDENTIFICATION PER CBC 703.7:**
   A. BE LOCATED WITHIN 15 FEET OF THE END OF EACH WALL AND AT INTERVALS NOT EXCEEDING 30 FEET MEASURED HORIZONTALLY ALONG THE WALL OR PARTITION, ABOVE CEILING LINE.
   B. INCLUDE LETTERING NOT LESS THAN 3 INCHES IN HEIGHT WITH A MINIMUM 3/8" STROKE IN A CONTRASTING COLOR INCORPORATING THE SUGGESTED WORDING, "**FIRE AND/OR SMOKE BARRIER - PROTECT ALL OPENINGS**".
2. AT RESTROOM, SINKS & WET AREAS PROVIDE A MOISTURE RESISTANT GYP. BD. @ 4' HT. MIN.

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Project No. : 05-1-21017

1st FLOOR DIMENSION PLAN

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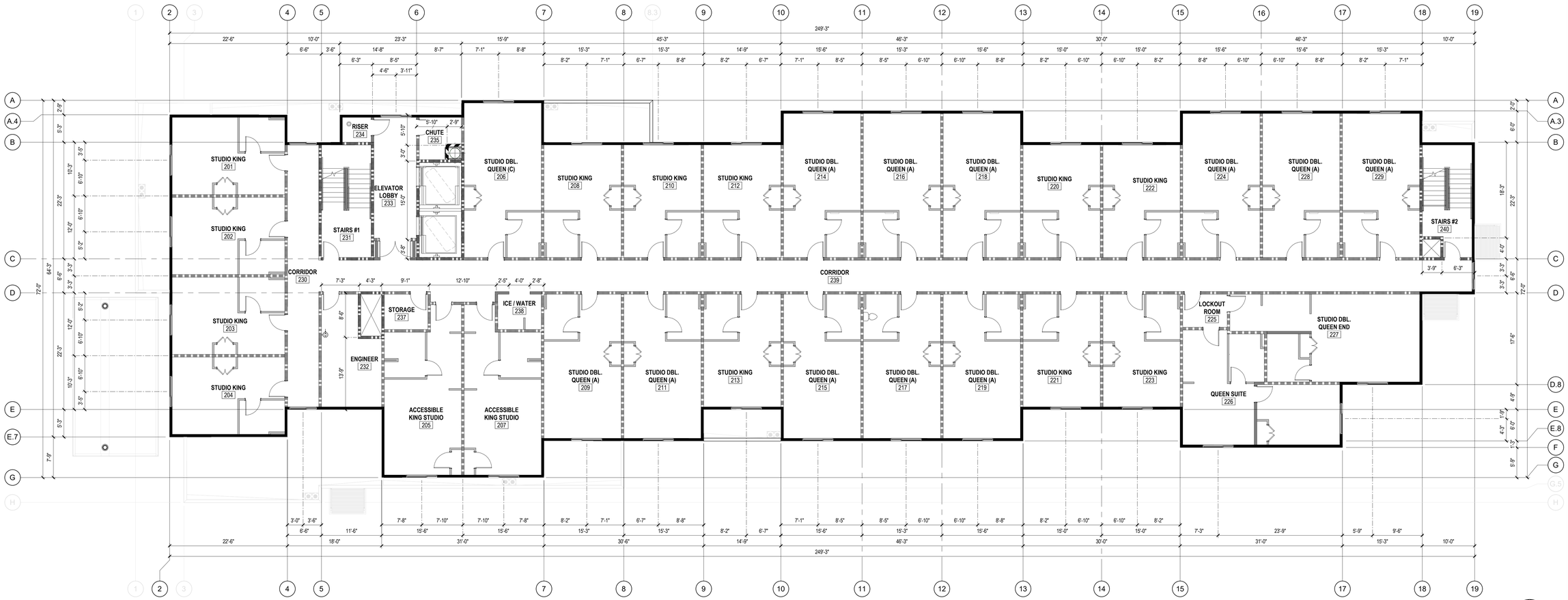

UPPER FLOORS DIMENSION PLAN

1/8" = 1'-0"

GRAPHIC SCALE

0 8 16 24

REFERENCE NOTES

GENERAL NOTES

WALL LEGEND

1. **EXTERIOR - *2 HOUR FIRE RATED WALL:*** 2x6 OR 3x6 WOOD STUDS PER STRUCTURAL w/ (2) LAYERS 5/8" TYPE 'X' GYP. BD. ON INTERIOR SIDE (1) LAYER TO BE MOISTURE RESISTANT. (3) COAT STUCCO w/ ELASTOMERIC ACRYLIC FINISH OVER PLYWOOD SHEAR WALL ON EXTERIOR SIDE. PROVIDE R-19 BATT INSULATION **(SEE DETAIL 3 / AG.03) (CBC 2019 TABLE 721.1(2), WALL ASSEMBLY ITEM #15-1.6)**
   NOTE:
   1. ALL STUDS & PLYWOOD SHEATHING TO BE FIRE TREATED.
   2. REFER TO EXTERIOR ELEVATIONS FOR EXTERIOR FINISHES & DESIGNATIONS

2. **INTERIOR - *2 HOUR FIRE RATED WALL:*** 2x6 OR 3x6 WOOD STUDS PER STRUCTURAL, w/ (2) LAYERS OF 5/8" TYPE 'X' GYP. BD. OVER RESILIENT CHANNELS (OVER PLYWOOD SHEAR, PER STRUCTURAL) (FLOOR SIDE) & (2) LAYERS OF 5/8" TYPE 'X' GYP. BD. (SHAFT SIDE). PROVIDE 2" THICK MINERAL WOOL INSULATION FULL HT. AT SHAFT WALL CONT. ALL FLOORS **(SEE DETAIL 6 / AG.03)(U.L. NO. U334)**

3. **INTERIOR - *1 HOUR FIRE RATED WALL:*** 2x6 OR 3x6 WOOD STUDS PER STRUCTURAL, w/ 5/8" TYPE 'X' GYP. BD. OVER RESILIENT CHANNELS (GUESTROOM SIDE) & 5/8" TYPE 'X' GYP. BD. OVER PLY. SHEAR (CORRIDOR SIDE). PROVIDE SOUND BATT .INSULATION FULL HT TO UNDERSIDE OF FLOOR/ROOF ABOVE **(SEE DETAIL 5 / AG.03)(U.L. NO. U311)**

4. **INTERIOR - *GUEST ROOM 1 HOUR FIRE RATED DEMISING WALL:*** 2x6 WOOD STUDS w/ 5/8" TYPE 'X' GYP. BD. OVER PLY SHEAR (PER STRUCTURAL PLANS WHERE OCCURS)(ONE SIDE) & 5/8" TYPE 'X' GYP. BD OVER RESILIENT CHANNELS (ONE SIDE). PROVIDE SOUND BATT INSULATION FULL HT. TO UNDERSIDE OF FLOOR/ROOF ABOVE **(SEE DETAIL 4 / AG.03)(U.L. NO. U311)**

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8. **6" CMU WALL(8x8x16):** REFER TO STRUCTURAL

NOTES:

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Project No. : 05-1-21017

UPPER FLOORS DIMENSION PLAN

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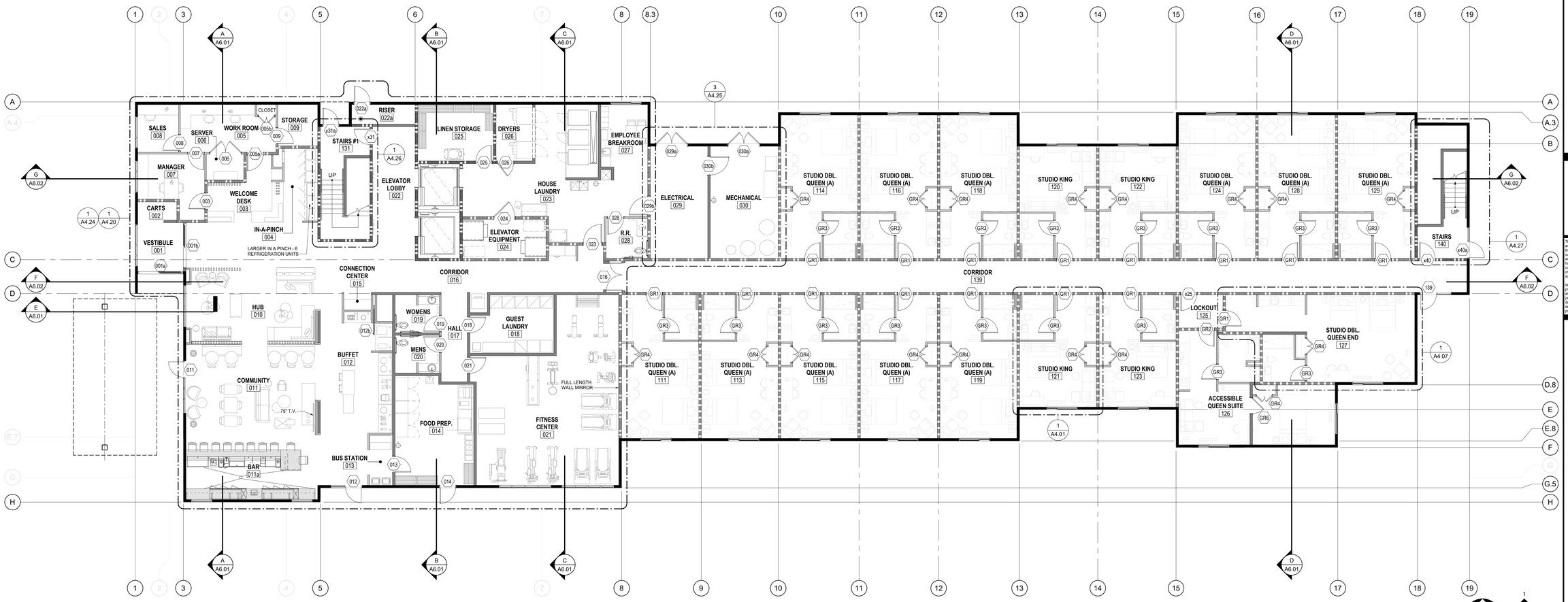

1st FLOOR PLAN

1/8" = 1'-0"

GRAPHIC SCALE

0 8 16 24

INTERIOR ELEVATION KEY

REFERENCE NOTES

A. REFER TO **TOWNPLACE SUITES BY MARRIOTT PRODUCT MANUALS GEN. 5 REAL LIVING (GREY COLOR SCHEME)(ISSUE AUG. 2021)** FOR OPENINGS, EQUIPMENT, ELECTRICAL FIXTURES/LIGHTING, MILLWORK, TOILET ACCESSORIES, PLUMBING FIXTURES AND FINISH SPECIFICATIONS & **INTERIOR DESIGN SPECIFICATION MANUAL GEN. 5 REAL LIVING (GREYCOLOR SCHEME)(OCT. 2021)** FOR FURNITURE & ADDITIONAL FINISHES.

B. REFER TO **TOWNEPLACE SUITES BY MARRIOTT INTERIOR SIGNAGE SPECIFICATIONS (OCT. 2020)** FOR REQUIRED GRAPHICS.

C. REFER TO SHEETS **AG.03** FOR FIRE RATED WALL AND CEILING ASSEMBLY DETAILS.

D. REFER TO SHEETS **A4.01 THROUGH A4.12** FOR ADDITIONAL INFORMATION AND DIMENSIONS ON ENLARGED GUESTROOM PLANS.

E. REFER TO SHEETS **A4.20 THROUGH A4.27** FOR ADDITIONAL INFORMATION AND DIMENSIONS ON ENLARGED COMMON AREA PLANS.

F. REFER TO **SPECS. SECTION 14240** FOR ELEVATOR PLANNING REQUIREMENTS INCLUDING ELEVATOR TYPE, SIZE, QUANTITY, PERFORMANCE CRITERIA & FEATURES PER SPECIFIC PROJECT SIZE & LAYOUT.

GENERAL NOTES

1. CONTRACTOR TO VERIFY AND COORDINATE FINAL LOCATIONS & TYPE OF FIRE EXTINGUISHERS WITH LOCAL FIRE DEPARTMENT. SEE SHEET **AG.01 THROUGH AG.05** FOR ADDITIONAL INFORMATION ON FIRE EXTINGUISHER.

SIGNAGE LEGEND

S1 EXIT (SIGN PER DETAIL)

S2 EXIT ROUTE (SIGN PER DETAIL **4 / A9.00**)

S3 EXIT STAIR DOWN (SIGN PER DETAIL)

S4 UNISEX TOILET ROOM (SIGN PER DETAIL **9 / A9.00**)

S5 MEN'S TOILET ROOM (SIGN PER DETAIL)

S6 WOMEN'S TOILET ROOM (SIGN PER DETAIL)

S7 FLOOR LEVEL SIGNAGE (SIGN PER DETAIL **1 / A9.00**)

S8 FLOOR LEVEL SIGNAGE - LEFT (SIGN PER DETAIL)

S9 FLOOR LEVEL SIGNAGE - RIGHT (SIGN PER DETAIL)

S10 FLOOR LEVEL SIGNAGE - BOTH DIRECTIONS (SIGN PER DETAIL)

S11 OCCUPANT LOAD SIGNAGE (SIGN PER DETAIL)

S12 ASSISTED LISTENING SIGNAGE (SIGN PER DETAIL **18 / A9.00**)

S13 ROOF ACCESS (SIGN PER DETAIL**12 / A9.00**)

S14 NOT AN EXIT (SIGN PER DETAIL)

S15 AUTOMATIC SPRINKLER RISER SIGNAGE

NOTE:
REFER TO **RESIDENCE INN BY MARRIOTT** INTERIOR SIGNAGE SPECS **10425** FOR SIGNAGE STANDARDS

WALL LEGEND

1. **EXTERIOR - *2 HOUR FIRE RATED WALL:*** 2x6 OR 3x6 WOOD STUDS PER STRUCTURAL w/ (2) LAYERS 5/8" TYPE 'X' GYP. BD. ON INTERIOR SIDE (1) LAYER TO BE MOISTURE RESISTANT. (3) COAT STUCCO w/ ELASTOMERIC ACRYLIC FINISH OVER PLYWOOD SHEAR WALL ON EXTERIOR SIDE. PROVIDE R-19 BATT INSULATION **(SEE DETAIL 3 / AG.03) (CBC 2019 TABLE 721.1(2), WALL ASSEMBLY ITEM #15-1.6)**
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3. **INTERIOR - *1 HOUR FIRE RATED WALL:*** 2x6 OR 3x6 WOOD STUDS PER STRUCTURAL, w/ 5/8" TYPE 'X' GYP. BD. OVER RESILIENT CHANNELS (GUESTROOM SIDE) & 5/8" TYPE 'X' GYP. BD. OVER PLY. SHEAR (CORRIDOR SIDE). PROVIDE SOUND BATT .INSULATION FULL HT TO UNDERSIDE OF FLOOR/ROOF ABOVE **(SEE DETAIL 5 / AG.03)(U.L. NO. U311)**

4. **INTERIOR - *GUEST ROOM 1 HOUR FIRE RATED DEMISING WALL:*** 2x6 WOOD STUDS w/ 5/8" TYPE 'X' GYP. BD. OVER PLY SHEAR (PER STRUCTURAL PLANS WHERE OCCURS)(ONE SIDE) & 5/8" TYPE 'X' GYP. BD OVER RESILIENT CHANNELS (ONE SIDE). PROVIDE SOUND BATT INSULATION FULL HT. TO UNDERSIDE OF FLOOR/ROOF ABOVE **(SEE DETAIL 4 / AG.03)(U.L. NO. U311)**

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8. **6" CMU WALL(8x8x16):** REFER TO STRUCTURAL

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Project No. : 05-1-21017

1st FLOOR PLAN

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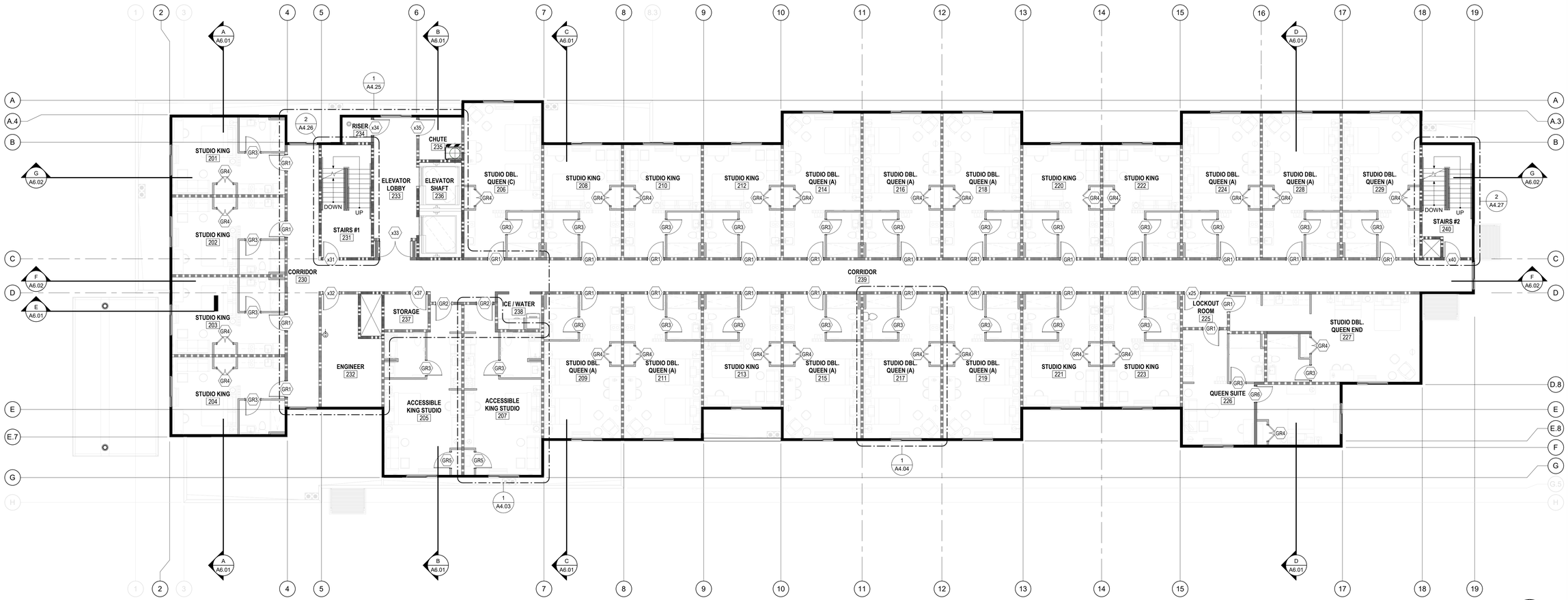

2nd FLOOR PLAN

1/8" = 1'-0"

GRAPHIC SCALE

0 8 16 24

REFERENCE NOTES

GENERAL NOTES

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1. **EXTERIOR - *2 HOUR FIRE RATED WALL:*** 2x6 OR 3x6 WOOD STUDS PER STRUCTURAL w/ (2) LAYERS 5/8" TYPE 'X' GYP. BD. ON INTERIOR SIDE (1) LAYER TO BE MOISTURE RESISTANT. (3) COAT STUCCO w/ ELASTOMERIC ACRYLIC FINISH OVER PLYWOOD SHEAR WALL ON EXTERIOR SIDE. PROVIDE R-19 BATT INSULATION **(SEE DETAIL 3 / AG.03) (CBC 2019 TABLE 721.1(2), WALL ASSEMBLY ITEM #15-1.6)**
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Project No. : 05-1-21017

2nd FLOOR PLAN

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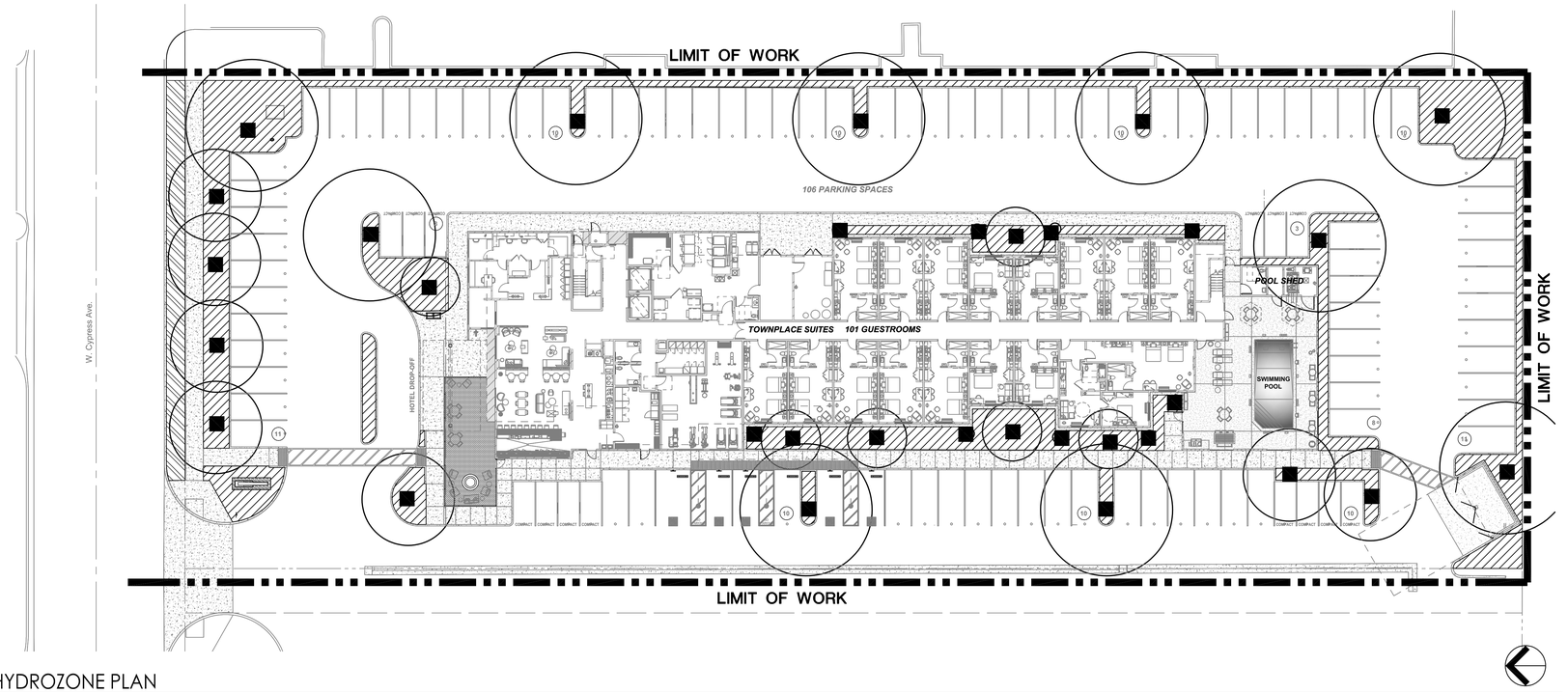
Exhibit “D”

Landscape Plans



HYDROZONE PLAN

SCALE: 1" = 20' - 0"

HYDROZONE SUMMARY

HYDROZONE #	SYMBOL	DESCRIPTION
A	■	HYDROZONE A-825 SF (8%) TREES IRRIGATED WITH DEEP ROOT BUBBLERS
B	▨	HYDROZONE B- 7443 SF (90%) SHRUBS AND ANNUAL COLOR WITH DRIP IRRIGATION
C	▩	HYDROZONE D- 386 SF (2%) SWIMMING POOL
		TOTAL LANDSCAPE AREA - 8,268 SF

WATER EFFICIENT LANDSCAPE WORKSHEET

This worksheet is filled out by the project applicant and it is a required element of the Landscape Documentation Package.

Reference Evapotranspiration (ETo) 50.7

Hydrozone # /Planting Description[a]	Plant Factor (PF)	Irrigation Method[b]	Irrigation Efficiency (IE)[c]	ETAF (PF/IE)	Landscape Area (sq.ft.)	ETAF x Area	Estimated Total Water Use (ETWU)[d]
Regular Landscape Areas							
TREES	0.30	drip	0.81	0.37	825	306	9,605
SHRUBS	0.30	drip	0.81	0.37	7,443	2,757	86,653
				Totals	8,268	3,062	96,258
Special Landscape Areas							
POOL				1.00	386	386	12,134
				Totals	386	386	12,134
						ETWU Total	108,391
						Maximum Allowed Water Allowance (MAWA)[e]	129,087

[a] Hydrozone #/Planting Description
E.g.
1.) high water use
2.) low water use
3.) moderate water use

[b] Irrigation Method
overhead spray
or drip

[c] Irrigation Efficiency
0.75 for spray head
0.81 for drip

***[d] ETWU* (Annual Gallons Required)**
Eto x 0.62 x ETAF x Area

[e] MAWA (Annual Gallons Allowed)
(Eto) (.062) [(ETAF x LA) + ((1-ETAF) x SLA)]

ETAF CALCULATION

Regular Landscape Areas

Total ETAF X Area	3,062
Total Area	8,268
Average ETAF	**0.37**

All Landscape Areas

Total ETAF X Area	3,448
Total Area	8,654
Sitewide ETAF	**0.40**

Average ETAF for Regular Landscape Areas must be 0.55 or below for residential areas, and 0.45 or below for non-residential areas.

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LICENSED ARCHITECT JAMIE NICOLE MILLER C38732 REN 3-31-22 STATE OF CALIFORNIA

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Know what's below. Call before you dig.

REGISTERED LANDSCAPE ARCHITECT MEGAN E. RIOS No. 5369 Signature SEPTEMBER 30, 2022 Expiration Date Date STATE OF CALIFORNIA

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LANDSCAPE ARCHITECTURE & DESIGN
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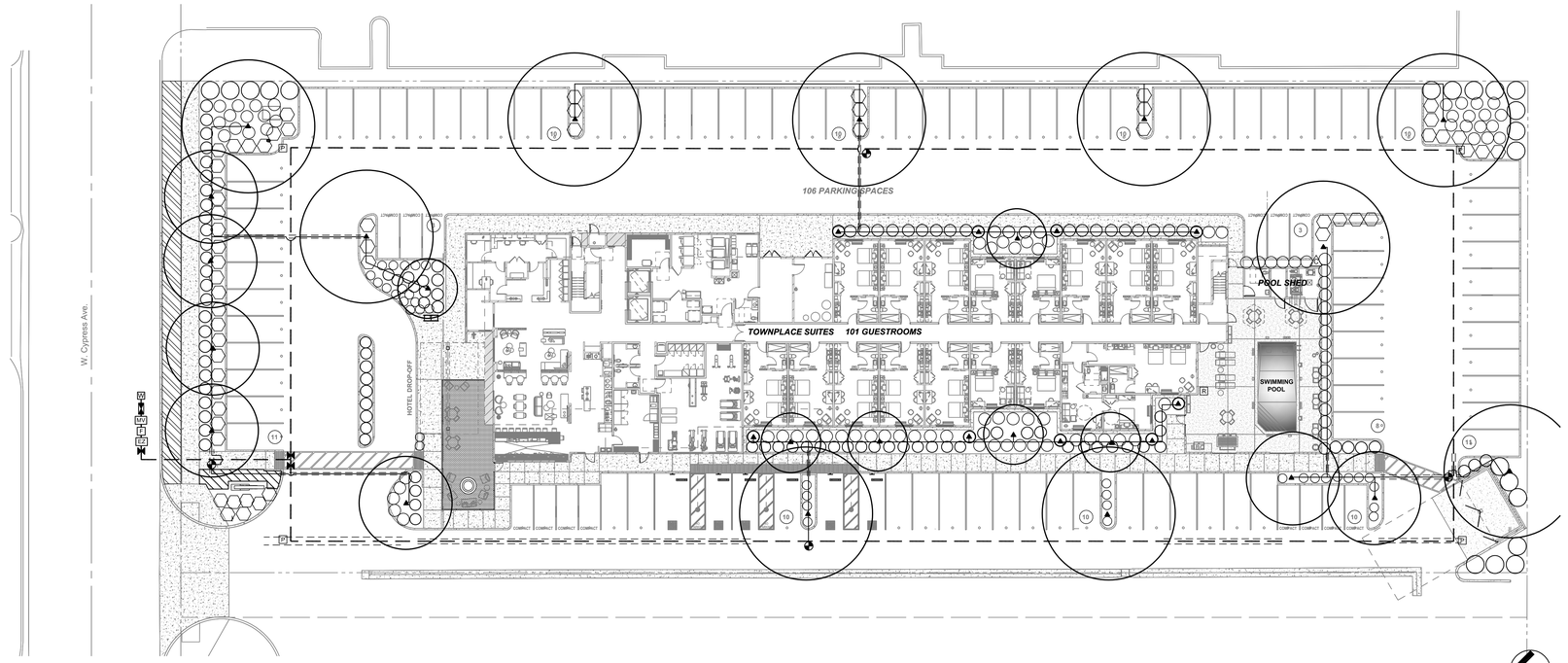
BAKERSFIELD, CALIFORNIA
93309
P: 661.835.9259
megan@riosdesign.com

Project No.: 05-1-20501

HYDROZONE PLAN

L.01

RDS #21-641 APN: 087-450-022 APRIL 28, 2022



IRRIGATION PLAN

SCALE: 1" = 20' - 0"

IRRIGATION PLAN NOTES

CONTRACTOR SHALL PROVIDE ALL LABOR, MATERIALS, AND EQUIPMENT NECESSARY TO FURNISH AND INSTALL THE IRRIGATION SYSTEM AS SHOWN ON THE DRAWINGS, AS DESCRIBED IN THE SPECIFICATIONS, AND IN ACCORDANCE WITH APPLICABLE CODES AND ORDINANCES.

DESIGN REFLECTS COMPLIANCE WITH CALIFORNIA STATE ASSEMBLY BILL 325 (AB 325) AND THE STATE'S MODEL ORDINANCE AND/OR THE LOCAL GOVERNING AGENCY'S ADOPTED WATER EFFICIENT LANDSCAPE ORDINANCE.

DRAWINGS ARE DIAGRAMMATIC. CONTRACTOR SHALL BE RESPONSIBLE FOR ADJUSTMENTS NECESSARY TO CONFORM TO ACTUAL FIELD CONDITIONS.

CONTRACTOR SHALL FLUSH ALL LINES AND ADJUST ALL HEADS FOR OPTIMUM PERFORMANCE IN ACCORDANCE WITH THE SPECIFICATIONS AND TO PREVENT OVERSPRAY ONTO HARDSCAPE AREAS OR STRUCTURAL ELEMENTS. THIS SHALL INCLUDE SELECTING THE BEST DEGREE OF ARC TO FIT ACTUAL SITE CONDITIONS AND TO THROTTLE THE FLOW CONTROL AT EACH VALVE TO OBTAIN THE OPTIMUM OPERATING PRESSURE FOR EACH SYSTEM. COSTS INCURRED DUE TO ANY ADJUSTMENTS FOR 100% COVERAGE, INCLUDING THOSE REQUESTED BY THE CITY/OWNER'S AUTHORIZED REPRESENTATIVE SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.

SYSTEM DESIGN IS BASED ON A MINIMUM OPERATING PRESSURE (P.S.I.) AND A MAXIMUM DEMAND (G.P.M.) AS SHOWN AT EACH POINT OF CONNECTION ON THE DRAWINGS. CONTRACTOR SHALL VERIFY PRESSURE AND DEMAND AT EACH POINT OF CONNECTION PRIOR TO COMMENCING INSTALLATION AND SUBMIT SUCH IN WRITING TO THE CITY/OWNER'S AUTHORIZED REPRESENTATIVE. IF ANY DISCREPANCIES EXIST, THEY SHOULD BE BROUGHT TO THE IMMEDIATE ATTENTION OF THE CITY/OWNER'S AUTHORIZED REPRESENTATIVE.

EQUIPMENT SHOWN IN HARDSCAPE AREAS ARE FOR DESIGN CLARIFICATION ONLY AND SHALL BE INSTALLED WHENEVER POSSIBLE WITHIN PLANTED AREAS A REASONABLE, REACHABLE DISTANCE FROM HARDSCAPE OR TURF AREAS

UNLESS OTHERWISE NOTED ON THE DRAWINGS, CONTRACTOR SHALL INSTALL WIRE AND PIPE UNDER HARDSCAPE AREAS IN P.V.C. SCHEDULE 40 SLEEVES PLACED PRIOR TO INSTALLING HARDSCAPE IN ACCORDANCE WITH APPLICABLE CODES.

WHEREVER POSSIBLE, CONTROL WIRES SHALL OCCUPY THE SAME TRENCH AS PIPES.

EACH CONTROLLER SHALL HAVE ITS OWN INDEPENDENT GROUND WIRE.

SPLICING OF 24 VOLT WIRES WILL NOT BE PERMITTED EXCEPT IN VALVE BOXES. CONTRACTOR TO LEAVE A 24" COIL OF EXCESS WIRE AT EACH SPLICE AND EVERY 100' ON CENTER ALONG WIRE RUN. TAPE WIRE BUNDLES 10' ON CENTER. NO TAPING WILL BE PERMITTED INSIDE SLEEVES.

WIRE CONNECTORS SHALL BE SCOTCH DBY OR APPROVED EQUAL.

CONTROL VALVES SHALL BE SIZED AS DESIGNATED ON THE DRAWINGS AND SHALL BE INSTALLED IN VALVE BOXES AS INDICATED IN THE DETAILS. BOXES SHALL BE SET FLUSH WITH THE FINISH GRADE OR SURFACE AND PERMANENTLY MARKED WITH THE LETTERS R.C.V.

FINAL LOCATION FOR BACKFLOW PREVENTION DEVICES SHALL BE APPROVED BY THE CITY'S/OWNER'S AUTHORIZED REPRESENTATIVE PRIOR TO INSTALLING. CONTRACTOR SHALL NOTIFY ALL LOCAL JURISDICTIONS FOR INSPECTION AND TESTING OF INSTALLED BACKFLOW PREVENTION DEVICE.

CONTRACTOR SHALL INSTALL ANTI-DRAIN CHECK VALVES AS NECESSARY TO PREVENT LOW HEAD DRAINAGE.

ALL IRRIGATION HEADS ADJACENT TO HARDSCAPE SHALL BE POP-UP STYLE.

IRRIGATION HEADS SHALL BE SET PERPENDICULAR TO FINISH GRADE OF THE AREA TO BE IRRIGATED UNLESS OTHEWISE DESIGNATED ON THE PLANS.

BUBBLERS SHALL BE LOCATED ON THE UPHILL SIDE OF TREES.

Controller : A — **IRRIGATION CONTROLLER RUN TIMES**

PLANT TYPE / SPRINKLER TYPE	Eto	AKc	PR RATE	IE	RUN TIME (HOURS)	QUANTITY	RUN TIME (HOURS)
Days Per Week: 3	7.9						
Shrub and Ground Covers:							
Tree Bubblers	7.90	0.30	1.82	0.70	0.14	5	**0.72**
Drip	7.90	0.30	0.49	0.90	0.42	17	**7.11**
							0.00
							0.00
					TOTAL RUN TIME IN HOURS FOR DRIP & BUBBLERS ONLY:		7.11
					TOTAL RUN TIME IN HOURS ALL SPRAY ZONES:		0.72
					TOTAL RUN TIME IN HOURS:		7.83

Irrigation Pressure Calculation

Project Name: HGI Visalia 18-457 — **Static Pressure: 55.00**

Aug-5-19 — **Max. GPM Demand: 38.00**

Units	Size	Type	Description	GPM	Unit PSI Loss
1	2"	Disc	Water Meter	38.00	01.20
1	2"	Reduc.	Pressure BFP	38.00	09.00
1	1-1/2"	Globe	Master Valve	38.00	03.20
1	1 1/2"	PVC	FLOW SENSOR	38.00	00.18
520	2"	Sch. 40	Main Line	38.00	05.45
47	2"	Sch. 40	Lateral Line	38.00	00.49
Misc			Fittings Allowance		01.19
				Component Losses:	**20.71**

Station #:5

System Location: Highest GPM

Min. Req'r by Head: 10.00

17.0' Elevation Loss: 07.36

Total Pressure Req'r: 38.07

Residual Pressure: 16.93

Set Pressure Regulating Valve at: **29.67 PSI**

VALVE IDENTIFICATION KEY

VALVE STATION NUMBER — VALVE G.P.M. — VALVE SIZE — SYSTEM DESCRIPTION

1 | 10 | 1" | DRIP

IRRIGATION CALLOUT LEGEND BLOCK

POINT-OF-CONNECTION # A

WATER METER- 2"
STATIC WATER PRESSURE- 60 PSI
BACKFLOW PREVENTER- 2" RP BFP
CONTROLLER- 24 STATIONS
MAXIMUM FLOW DEMAND- 100 GPM

811 Know what's below. Call before you dig.

REGISTERED LANDSCAPE ARCHITECT — MEGAN E. RIOS No. 6142 — Signature — SEPTEMBER 30, 2022 Expiration Date — Date — STATE OF CALIFORNIA

RIOS DESIGN STUDIO
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RDS #21-641 APN: 087-450-022 APRIL 28, 2022

Klassen corporation
Architecture Construction
2021 Westwind Drive
Bakersfield, CA 93301
(661) 324-3000
(661) 324-3900 Fax
www.klassencorp.com

LICENSED ARCHITECT — MARIE NICOLE KLASSEN — C38732 — REN 9-30-22 — STATE OF CALIFORNIA

The above drawings and specifications and ideas, designs and arrangements represented thereby are and shall remain the property of the architect and no part thereof shall be copied, disclosed to others or used in connection with any work or project other than the specific project for which they have been prepared and developed without the written consent of the architect. Visual contact with these drawings or specifications shall constitute conclusive evidence of acceptance of these restrictions.

Written dimensions on these drawings shall have precedence over scaled dimension; contractors shall verify and be responsible for, all dimensions and conditions on the job and this office must be notified of any variations from the dimensions and conditions shown by these drawings. Shop details must be submitted to this office for approval before proceeding with fabrication.

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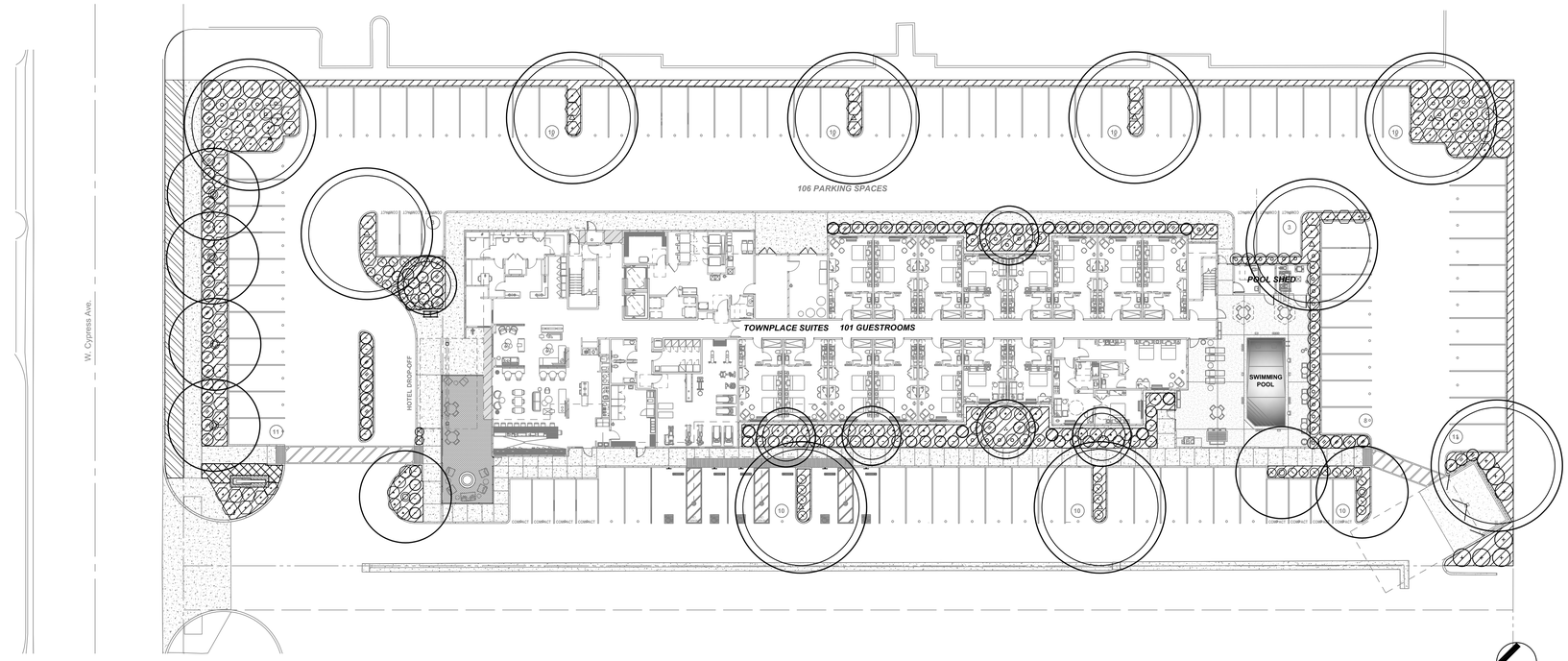
MARK	ISSUED FOR	DATE

Project No. : 05-1-20501

IRRIGATION PLAN & NOTES

L.02



PLANTING PLAN

SCALE: 1" = 20' - 0"

PLANTING LEGEND-

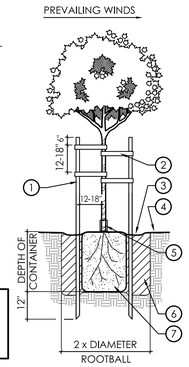
TREES SYMBOL		BOTANICAL NAME	COMMON NAME	SIZE	QTY.	WULCOS
	CER OKL	CERCIS CANADENISIS 'OKLAHOMA'	WESTERN REDBUD	24" BOX STD. FORM	6	L
	CUP TT	CUPRESSUS SEMPERVIRENS 'TINY TOWER'	DWARF ITALIAN CYPRESS	15 BOX COL. FORM	9	L
	LAU NOB	LAURUS NOBILIS	SWEET BAY	24" BOX STD. FORM	9	L
	PIS CHI	PISTACIA CHINENSIS 'KEITH DAVEY'	CHINESE PISTACHE	24" BOX STD. FORM	9	L

	ANNUAL COLOR	4" POTS OF COLOR TO BE DETERMINED BY HOTEL MANAGER	136SF
	EX. LANDSCAPE	EXISTING LANDSCAPE & IRRIGATION TO REMAIN	846 SF
	COBBLE	4" -6" DIA. GRAY RIVER ROCK COBBLE OVER SOIL SEPARATOR	35 SF
	WOOD MULCH	3" THK.WALK ON WOOD MULCH LAYER	8268 SF

ANY TREE WITHIN 6' OF CONCRETE SHALL HAVE A 6' LONG ROOT BARRIER CENTERED ON TREE TRUNK.
TREES SHALL BE INSTALLED A MINIMUM OF 5' FROM DRIVE APPROACHES, SEWER LINES, AND WATER LINES.
TREES SHALL BE INSTALLED A MINIMUM OF 10' FROM FIRE HYDRANTS AND LIGHT POLES.

PLANTING LEGEND- HOTEL

TREES SYMBOL	BOTANICAL NAME	COMMON NAME	SIZE	QTY.	WULCOS
ABE GRA	ABELIA X GRANDIFLORA 'CONFETTI'	GLOSSY ABELIA	1 GALLON	40	M
ANI FLA	ANIGOZANTHUS FLAVIDUS 'CORAL PINK'	PINK KANGAROO PAW	5 GALLON	40	L
DIE BIC	DIETES BICOLOR	FORTNIGHT LILY	1 GALLON	54	L
MYO PAR	MYOPORUM PARVIFOLIUM	MYOPORUM	1 GALLON	57	L
NAN FLI	NANDINA DOMESTICA 'FLIRT'	HEAVENLY BAMBOO	1 GALLON	37	L
RHA UMB	RHAPIOLEPIS UMBELLATA 'MINOR'	YEDDO HAWTHORNE	5 GALLON	42	L
WES WG	WESTRINGA 'WYNYABBIE GEM'	COAST ROSEMARY	5 GALLON	20	L

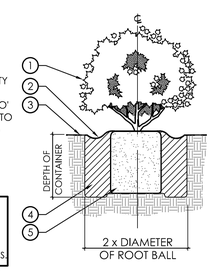


1. 2" DIA. MIN. x 10' DOUGLAS FIR LODGE POLE STAKES, BOTH SIDES
2. CINCH TIE, ARBOR TIE, OR APPROVED EQUAL
3. A SHALLOW BASIN 2" DEEP SHALL BE FORMED AROUND BALL BELOW FINISH GRADE. TREES PLANTED IN TURF AREAS SHALL NOT HAVE BASINS.
4. FINISH GRADE
5. TREES INSTALLED WITHIN TURF AREAS SHALL BE INSTALLED WITH 'ARBOR-GARD' OR APPROVED EQUAL AT BASE OF TRUNK.
6. BACKFILL IN ACCORDANCE WITH PROJECT AGRICULTURAL SUITABILITY SOILS REPORT. THOROUGHLY MIX 'AquaSmart PRO' MOISTURE RETENTION PRODUCT INTO BACKFILL MIX. REFER TO PLANTING NOTES FOR AMOUNT TO USE FOR EACH PLANT CONTAINER SIZE.
7. ROOTBALL

NOTES:
1. CROWN OF ROOTBALL TO BE 1" ABOVE FINISH GRADE.
2. FOR ADDITIONAL INFORMATION REFER TO PLANTING NOTES AND SPECIFICATIONS.

A TREE PLANTING (DOUBLE STAKE -15 GAL. & 24" BOX)

SCALE: NOT TO SCALE



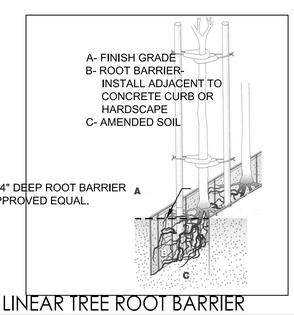
1. SHRUB AS SPECIFIED ON PLANTING PLAN
2. A SHALLOW BASIN 2" DEEP SHALL BE FORMED AROUND ROOTBALL BELOW FINISH GRADE
3. FINISH GRADE
4. BACKFILL IN ACCORDANCE WITH PROJECT AGRICULTURAL SUITABILITY SOILS REPORT. THOROUGHLY MIX 'AquaSmart PRO' MOISTURE RETENTION PRODUCT INTO BACKFILL MIX. REFER TO PLANTING NOTES FOR AMOUNT TO USE FOR EACH PLANT CONTAINER SIZE.
5. ROOTBALL

NOTES:
1. CROWN OF ROOTBALL TO BE 1/2"-1" ABOVE FINISH GRADE.
2. FOR ADDITIONAL INFORMATION REFER TO PLANTING NOTES AND SPECIFICATIONS.

B SHRUB PLANTING

SCALE: NOT TO SCALE

NOTES
1. CONNECT DEEP ROOT PANELS TOGETHER.
PLACE MATERIAL IN TRENCH, CENTERED ON THE TREES INDICATED ON PLAN. ROOT BARRIER TO EXTEND ABOVE FINISH GRADE BUT SHALL REMAIN AT OR BELOW HARDSCAPE SURFACE.



C LINEAR TREE ROOT BARRIER

NOT TO SCALE

SITE SHADE CALCULATIONS

A=TOTAL TREE CANOPY S.F.
B= PARKING AREA S.F. (39,440 SF)

LAU NOB 615 SF X 7 = 4,305 SF
PIS CHI 1385 SF X 10 = 13,850 SF
TOTAL CANOPY = 18,155 SF

A = 18,155 SF / B 39,440 SF = 46%

STALL TO TREE RATIO:
TOTAL STALLS = 107
107 / 6 =17.8 OR 17 TREES;
21 TREES DESIGNED;
LAU NOB & PIS CH

Klassen corporation
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Bakersfield, CA 93301
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(661) 324-3900 Fax
www.klassencorp.com

LICENSED ARCHITECT MARC NICOLE MEYER C38732 REN 9-30-22 STATE OF CALIFORNIA

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REGISTERED LANDSCAPE ARCHITECT MEGAN E. RIOS No. 5190 Signature SEPTEMBER 30, 2022 Expiration Date Date STATE OF CALIFORNIA

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megan@riosdesign.com

MARK	ISSUED FOR	DATE

Project No. : 05-1-20501

PLANTING PLAN, LEGEND & DETAILS

L.05

RDS #21-641 APN: 087-450-022 APRIL 28, 2022

City of Visalia

315 E. Acequia Ave., Visalia, CA 93291

Site Plan Review

February 9, 2022

Site Plan Review No. 22-013:

Pursuant to Zoning Ordinance Chapter 17.28 the Site Plan Review process has found that your application complies with the general plan, municipal code, policies, and improvement standards of the city. A copy of each Departments/Divisions comments that were discussed with you at the Site Plan Review meeting are attached to this document.

Based upon Zoning Ordinance Section 17.28.070, this is your Site Plan Review determination. However, your project requires discretionary action as stated on the attached Site Plan Review comments. You may now proceed with filing discretionary applications to the Planning Division.

This is your Site Plan Review Permit; your Site Plan Review became effective **January 26, 2022**. A site plan review permit shall lapse and become null and void one year following the date of approval unless, prior to the expiration of one year, a building permit is issued by the building official, and construction is commenced and diligently pursued toward completion.

If you have any questions regarding this action, please call the Community Development Department at (559) 713-4359.

Respectfully,

Paul Bernal
Community Development Director
315 E. Acequia Ave.
Visalia, CA 93291

Attachment(s):

- Site Plan Review Comments

City of Visalia

315 E. Acequia Ave., Visalia, CA 93291

Planning Division

Tel: (559) 713-4359; Fax: (559) 713-4814

MEETING DATE	January 26, 2022
SITE PLAN NO.	2022-013
PARCEL MAP NO.	
SUBDIVISION	
LOT LINE ADJUSTMENT NO.	

Enclosed for your review are the comments and decisions of the Site Plan Review committee. Please review all comments since they may impact your project.

☐ **RESUBMIT** Major changes to your plans are required. Prior to accepting construction drawings for building permit, your project must return to the Site Plan Review Committee for review of the revised plans.

☐ During site plan design/policy concerns were identified, schedule a meeting with

☐ Planning ☐ Engineering prior to resubmittal plans for Site Plan Review.

☐ Solid Waste ☐ Parks and Recreation ☐ Fire Dept.

☒ **REVISE AND PROCEED** (see below)

☐ A revised plan addressing the Committee comments and revisions must be submitted for Off-Agenda Review and approval prior to submitting for building permits or discretionary actions.

☐ Submit plans for a building permit between the hours of 9:00 a.m. and 4:00 p.m., Monday through Friday.

☒ Your plans must be reviewed by:

☐ CITY COUNCIL ☐ REDEVELOPMENT

☒ PLANNING COMMISSION ☐ PARK/RECREATION

☒ CUP

☐ HISTORIC PRESERVATION ☐ OTHER – Parcel Map

☐ **ADDITIONAL COMMENTS:**

If you have any questions or comments, please call the Site Plan Review Hotline at (559) 713-4440

Site Plan Review Committee

SITE PLAN REVIEW COMMENTS

Rafael Garcia, Planning Division, 559-713-4031
Date: January 26, 2022

SITE PLAN NO:	2022-013
PROJECT:	TownPlace Suites by Marriot
DESCRIPTION:	FOUR-STORY HOTEL BUILDING WITH ONSITE PARKING
APPLICANT:	JACOB CORNEJO
PROP. OWNER:	TC INVESTMENTS
LOCATION:	W. CYPRESS AVENUE
APN:	000014685
GENERAL PLAN:	CMU
ZONING:	C-MU (Commercial Mixed Use)

Planning Division Recommendation:

☒ Revise and Proceed
☐ Resubmit

Rule 9510 – This project is subject to the Rule 9510 requirements of the San Joaquin Valley Air Pollution Control District – see District web-site for information.

Project Requirements

- Conditional Use Permit required for hotel in C-MU Zone.
- Building Permit
- Additional Information as required for CUP application submittal

PROJECT SPECIFIC INFORMATION: January 26, 2022

1. Conditional Use Permit submittal is required for hotel in C-MU Zone as required by Title 17.
2. Provide complete architectural plan set as part of CUP submittal.
3. The applicant shall clarify the purpose of the HUB space and COMMUNITY space as shown as part of the 1st level floor plan. This may impact parking requirements.
4. Parking shall comply with the following:

- Motels, hotels. One parking space for each guest room. Further, there shall be one parking space for each two employees per shift regularly employed by the motel, or any independent business located within the motel structure. If the motel provides an area for the consumption of food or beverages or provides meeting or assembly halls the following requirements must be met. **Demonstrate compliance with parking as part of the plans.**

Number of Motel Rooms	*Parking Requirements*
3-10	One parking space for each 100 square feet of area used for the consumption of food or beverages and one parking space for each 35 square feet of meeting or assembly hall space.
11-40	One parking space for every 200 square feet of area used for the consumption of food or beverages and one parking space for each 70 square feet of meeting hall or assembly hall space.
41-75	One parking space for each 300 square feet of area designated for the consumption of food or beverages and one parking space for each 150 square feet of meeting or assembly hall space.
76 or more	One parking space for each 400 square feet of area set aside for the consumption of food or beverages and one parking space for each 300 square feet of meeting or assembly hall area.

5. Shared access agreement shall be required for shared driveway.

6. Meet all other codes and ordinances.

17.19.060 Development standards in the C-MU zones outside the downtown area.

The following development standards shall apply to property located in the C-MU zone and located outside the Downtown Area, which is defined as the area that is south of Murray Avenue, west of Ben Maddox Way, north of Mineral King Avenue, and east of Conyer Street:

A. Minimum site area: five (5) acres.
B. Maximum building height: fifty (50) feet.
C. Minimum required yards (building setbacks):
1. Front: fifteen (15) feet;
2. Rear: zero (0) feet;
3. Rear yards abutting an R-1 or R-M zone district: fifteen (15) feet;
4. Side: zero (0) feet;
5. Side yards abutting an R-1 or R-M zone district: fifteen (15) feet;
6. Street side yard on corner lot: ten (10) feet.
D. Minimum required landscaped yard (setback) areas:
1. Front: fifteen (15) feet;
2. Rear: five (5) feet;
3. Rear yards abutting an R-1 or R-M zone district: five (5) feet;
4. Side: five (5) feet (except where a building is located on side property line);
5. Side yards abutting an R-1 or R-M zone district: five (5) feet;
6. Street side on corner lot: ten (10) feet.
E. The provisions of Chapter 17.58 shall also be met, if applicable. (Ord. 2017-01 (part), 2017)

Parking:

1. Provide parking spaces based Zoning Ordinance Section 17.34.020
2. 30% of the required parking stalls may be compact and shall be evenly distributed in the lot.
3. Provide handicapped space(s).
4. An 80 sq. ft. minimum landscape well is required every 10 contiguous parking.
5. A planter is required every other row. (5-9 feet in width containing trees on twenty (20) foot centers.
6. No repair work or vehicle servicing allowed in a parking area.
7. It is highly recommended that bicycle rack(s) be provided on site plan.
8. No parking shall be permitted in a required front/rear/side yard.
9. Design/locate parking lot lighting to deflect any glare away from abutting residential areas.
10. Parking lot to be screened from view by a 3-foot tall solid wall or shrubs when located adjacent to a public street or when across from residential property.
11. Front carport area to have a 3 to 6-foot tall screening wall.
12. Provide shopping cart storage areas on site plan.
13. Provide transit facilities on site plan.
14. Provide shared parking/access agreements
15. Provide off-street loading facility.
16. The project should provide preferential parking spaces for carpools and vanpools to decrease the number of single occupant vehicle work trips. The preferential treatment could include covered parking spaces or close-in parking spaces, or designated free parking, or a guaranteed space for the vehicle.
17. Provide a "No Parking" (dead-head) stall at the end of the parking row (for rows over 6 stalls deep with no outlet) to allow vehicles to turn around rather than backing out if no stalls are available.

Fencing and Screening:

1. Provide screening for roof mounted equipment (Zoning Ordinance Section 17.30.130.F).
2. Provide second-story screening for all windows that may intrude into adjacent residential properties. Details and cross-sections will be required to be reviewed and approved prior to issuance of building permits (Zoning Ordinance Section 17.30.130.F).

3. Provide screened trash enclosure with solid screening gates (Zoning Ordinance Section 17.30.130.F).
4. Provide solid screening of all outdoor storage areas. Outdoor storage to be screened from public view with solid material (Zoning Ordinance Section 17.30.130.F).
5. Outdoor retail sales prohibited.
6. Cross Sections need to be provided for site Plan Review if there is greater than an 18-inch difference between the elevation of the subject site and the adjacent properties, and the sections would be required for the public hearing process also.
7. All outdoor storage areas are to be identified on the site plan and they are to be shown with screening (fencing). No materials may be stored above the storage area fence heights (Zoning Ordinance Section 17.30.130.F).
8. If there is an anticipated grade difference of more than 12-inches between this site and the adjacent sites, a cross section of the difference and the walls must be provided as a part of the Subdivision and/or CUP application package.
9. NOTE: The maximum height of block walls and fences is 7-feet in the appropriate areas; this height is measured on the tallest side of the fence. If the height difference is such that the fence on the inside of the project site is not of sufficient height, the fence height should be discussed with Planning Staff prior to the filing of applications to determine if an Exception to fence/wall height should also be submitted.

Landscaping:

1. The City has adopted the State Water Efficient Landscape Ordinance. The ordinance applies to projects installing 2,500 square feet or more of landscaping. It requires that landscaping and irrigation plans be certified by a qualified entity (i.e., Landscape Architect) as meeting the State water conservation requirements. The City's implementation of this new State law will be accomplished by self-certification of the final landscape and irrigation plans by a California licensed landscape architect or other qualified entity with sections signed by appropriately licensed or certified persons as required by the ordinance. **NOTE: Prior to a final for the project, a signed Certificate of Compliance for the MWELO standards is required indicating that the landscaping has been installed to MWELO standards.**
2. Provide street trees at an average of 20-feet on center along street frontages. All trees to be 15-gallon minimum size (Zoning Ordinance Section 17.30.015-2).
3. All landscape areas to be protected with 6-inch concrete curbs (Zoning Ordinance Section 17.30.130.F).
4. All parking lots to be designed to provide a tree canopy to provide shade in the hot seasons and sunlight in the winter months.
5. Provide a detailed landscape and irrigation plan as a part of the building permit package (Zoning Ordinance Section 17.34.040).
6. An 80 sq. ft. minimum landscape well is required every 10 contiguous parking stalls (Zoning Ordinance Section 17.30.130.C).
7. Provide a detailed landscape and irrigation plan for review prior to issuance of building permits. Please review Zoning Ordinance section 17.30.130-C for current landscaping and irrigation requirements.
8. Provide a conceptual landscape plan for resubmittal or planning commission review.
9. Locate existing oak trees on site and provide protection for all oak trees greater than 2" diameter (see Oak Tree Preservation Ordinance).
10. Maintenance of landscaped areas. - A landscaped area provided in compliance with the regulations prescribed in this title or as a condition of a use permit or variance shall be planted with materials suitable for screening or ornamenting the site, whichever is appropriate, and plant materials shall be maintained and replaced as needed, to screen or ornament the site. (Prior code § 7484)

Lighting:

1. All lighting is to be designed and installed so as to prevent any significant direct or indirect light or glare from falling upon any adjacent residential property. This will need to be demonstrated in the building plans and prior to final on the site.
2. Parking lot and drive aisle lighting adjacent to residential units or designated property should consider the use of 15-foot high light poles, with the light element to be completely recessed into the can. A reduction in the height of the light pole will assist in the reduction/elimination of direct and indirect light and glare which may adversely impact adjacent residential areas.
3. Building and security lights need to be shielded so that the light element is not visible from the adjacent residential properties, if any new lights are added or existing lights relocated.
4. NOTE: Failure to meet these lighting standards in the field will result in no occupancy for the building until the standards are met.

In no case shall more than 0.5 lumens be exceeded at any property line, and in cases where the adjacent residential unit is very close to the property line, 0.5 lumens may not be acceptable.

NOTE: Staff recommendations contained in this document are not to be considered support for a particular action or project unless otherwise stated in the comments. The comments found on this document pertain to the site plan submitted for review on the above referenced date. Any changes made to the plan submitted must be submitted for additional review.

Signature RB

City of Visalia

1/27/2022, 12:25:38 PM

Parcels

1:1,128

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0 0.01 0.03 0.06 km

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See web site for licence constraints | Nearmap US

BUILDING/DEVELOPMENT PLAN REQUIREMENTS
ENGINEERING DIVISION

☒	**Ather Razaq**	**713-4268**
☐	**Adrian Rubalcaba**	**713-4271**

ITEM NO: 4 DATE: JANUARY 26, 2022

SITE PLAN NO.:	**22-013**
PROJECT TITLE:	**TOWNEPLACE SUITES BY MARRIOTT**
DESCRIPTION:	**101 GUESTROOMS, 4 STORY HOTEL (AE)**
APPLICANT:	**JACOB CORNEJO**
PROP OWNER:	**TC INVESTMENTS VISALIA LLC**
LOCATION:	**WEST CYPRESS AVE**
APN:	**000-014-685**

SITE PLAN REVIEW COMMENTS

☒REQUIREMENTS (indicated by checked boxes)

☐Install curb return with ramp, with radius;

☐Install curb; ☐gutter

☐Drive approach size: ☒Use radius return;

☐Sidewalk: width; ☐ parkway width at

☒Repair and/or replace any sidewalk across the public street frontage(s) of the subject site that has become uneven, cracked or damaged and may constitute a tripping hazard.

☒Replace any curb and gutter across the public street frontage(s) of the subject site that has become uneven and has created areas where water can stand.

☐Right-of-way dedication required. A title report is required for verification of ownership. ***If necessary***

☐Deed required prior to issuing building permit;

☒City Encroachment Permit Required. ***For work within public right-of-way***
Insurance certificate with general & auto liability ($1 million each) and workers compensation ($1 million), valid business license, and appropriate contractor's license must be on file with the City, and valid Underground Service Alert # provided prior to issuing the permit. Contact Rafael Magallan, 713-4414.

☐CalTrans Encroachment Permit required. ☐ CalTrans comments required prior to issuing building permit. Contacts: David Deel (Planning) 488-4088;

☐Landscape & Lighting District/Home Owners Association required prior to approval of Final Map. Landscape & Lighting District will maintain common area landscaping, street lights, street trees and local streets as applicable. Submit completed Landscape and Lighting District application and filing fee a min. of 75 days before approval of Final Map.

☐Landscape & irrigation improvement plans to be submitted for each phase. Landscape plans will need to comply with the City's street tree ordinance. The locations of street trees near intersections will need to comply with Plate SD-1 of the City improvement standards. A street tree and landscape master plan for all phases of the subdivision will need to be submitted with the initial phase to assist City staff in the formation of the landscape and lighting assessment district.

☒Grading & Drainage plan required. If the project is phased, then a master plan is required for the entire project area that shall include pipe network sizing and grades and street grades. ☒ Prepared by registered civil engineer or project architect. ☒ All elevations shall be based on the City's benchmark network. Storm run-off from the project shall be handled as follows: a) ☒ directed to the City's existing storm drainage system; b) ☐ directed to a permanent on-site basin; or c) ☐ directed to a temporary on-site basin is required until a connection with adequate capacity is available to the City's storm drainage system. On-site basin: : maximum side slopes, perimeter fencing required, provide access ramp to bottom for maintenance.

☐Grading permit is required for clearing and earthwork performed prior to issuance of the building permit.

☐Show finish elevations. (Minimum slopes: A.C. pavement = 1%, Concrete pavement = 0.25%. Curb & Gutter =.020%, V-gutter = 0.25%)

☒Show adjacent property grade elevations. A retaining wall will be required for grade differences greater than 0.5 feet at the property line.

☐All public streets within the project limits and across the project frontage shall be improved to their full width, subject to available right of way, in accordance with City policies, standards and specifications.

☐Traffic indexes per city standards:

☐Install street striping as required by the City Engineer.
☒Install landscape curbing (typical at parking lot planters).
☒Minimum paving section for parking: 2" asphalt concrete paving over 4" Class 2 Agg. Base, or 4" concrete pavement over 2" sand.
☒Design Paving section to traffic index of 5.0 min. for solid waste truck travel path.
☐Provide "R" value tests: each at
☐Written comments required from ditch company Contacts: James Silva 747-1177 for Modoc, Persian, Watson, Oakes, Flemming, Evans Ditch and Peoples Ditch; Jerry Hill 686-3425 for Tulare Irrigation Canal, Packwood and Cameron Creeks; Bruce George 747-5601 for Mill Creek and St. John's River.
☐Access required on ditch bank, 15' minimum ☐ Provide wide riparian dedication from top of bank.
☒Show Oak trees with drip lines and adjacent grade elevations. ☒ Protect Oak trees during construction in accordance with City requirements.
☒A permit is required to remove oak trees. Contact Joel Hooyer at 713-4295 for an Oak tree evaluation or permit to remove. ☐ A pre-construction conference is required.
☐Relocate existing utility poles and/or facilities.
☒Underground all existing overhead utilities within the project limits. Existing overhead electrical lines over 50kV shall be exempt from undergrounding.
☐Subject to existing Reimbursement Agreement to reimburse prior developer:
☒ Fugitive dust will be controlled in accordance with the applicable rules of San Joaquin Valley Air District's Regulation VIII. Copies of any required permits will be provided to the City.
☒ If the project requires discretionary approval from the City, it may be subject to the San Joaquin Valley Air District's Rule 9510 Indirect Source Review per the rule's applicability criteria. A copy of the approved AIA application will be provided to the City.
☒If the project meets the one acre of disturbance criteria of the State's Storm Water Program, then coverage under General Permit Order 2009-0009-DWQ is required and a Storm Water Pollution Prevention Plan (SWPPP) is needed. A copy of the approved permit and the SWPPP will be provided to the City.

☐Comply with prior comments. ☐Resubmit with additional information. ☐Redesign required.

Additional Comments:

1. Project to be in full compliance with ADA requirements for accessibility, including accessibility to the public right of way.

2. All parking to be designed and built per City standards.

3. Trash enclosure location shall be approved by the Solid Waste division.

4. Development impact fees will apply.

SUMMARY OF APPLICABLE DEVELOPMENT IMPACT FEES

Site Plan No: **22-013**
Date: **01/26/2022**

Summary of applicable Development Impact Fees to be collected at the time of building permit:

(Preliminary estimate only! Final fees will be based on the development fee schedule in effect at the time of building permit issuance.)

(Fee Schedule Date:**1/1/2022**)
(Project type for fee rates:**Retail/Hotel**)

☐ Existing uses may qualify for credits on Development Impact Fees.

FEE ITEM	FEE RATE
☒ Groundwater Overdraft Mitigation Fee	**$1,366 per acre**
☒ Transportation Impact Fee	**$2,728 per room**
☒ Trunk Line Capacity Fee	**$78 per room**
	Sewer Treatment Plant Fee:
	$327 per room (assuming no dining)
☒ Sewer Front Foot Fee	**$46.00 per LF of frontage**
☒ Storm Drain Acq/Dev Fee	**$6,865 per acre**
☐ Park Acq/Dev Fee	
☐ Northeast Specific Plan Fees	
☒ Waterways Acquisition Fee	**$5,042 per acre**
☒ Public Safety Impact Fee: Police	**$9,154 per acre**
☒ Public Safety Impact Fee: Fire	**$2,002 per acre**
☒ Public Facility Impact Fee	**$123 per room**
☐ Parking In-Lieu	

Reimbursement:

1.) No reimbursement shall be made except as provided in a written reimbursement agreement between the City and the developer entered into prior to commencement of construction of the subject facilities.
2.) Reimbursement is available for the development of arterial/collector streets as shown in the City's Circulation Element and funded in the City's transportation impact fee program. The developer will be reimbursed for construction costs and right of way dedications as outlined in Municipal Code Section 16.44. Reimbursement unit costs will be subject to those unit costs utilized as the basis for the transportation impact fee.
3.) Reimbursement is available for the construction of storm drain trunk lines and sanitary sewer trunk lines shown in the City's Storm Water Master Plan and Sanitary Sewer System Master Plan. The developer will be reimbursed for construction costs associated with the installation of these trunk lines.

Ather Razaq

Ather Razaq

SPR 22013
4 STORY HOTEL
0000014685

City of Visalia

Building: Site Plan Review Comments

NOTE: These are general comments and DO NOT constitute a complete plan check for your specific project Please refer to the applicable California Code & local ordinance for additional requirements.

- [x] A building permit will be required. *For information call (559) 713-4444*
- [x] Submit 1 digital set of professionally prepared plans and 1 set of calculations. (Small Tenant Improvements)
- [ ] Submit 1 digital set of plans prepared by an architect or engineer. Must comply with 2016 California Building Cod Sec. 2308 for conventional light-frame construction or submit 1 digital set of engineered calculations.
- [ ] Indicate abandoned wells, septic systems and excavations on construction plans.

You are responsible to ensure compliance with the following checked items:

- [x] Meet State and Federal requirements for accessibility for persons with disabilities.
- [ ] A path of travel, parking and common area must comply with requirements for access for persons with disabilities.
- [ ] All accessible units required to be adaptable for persons with disabilities.
- [x] Maintain sound transmission control between units minimum of 50 STC.
- [x] Maintain fire-resistive requirements ~~at property lines~~. 1-HR BETWEEN UNITS (VERT. & HORIZ.)
- [ ] A demolition permit & deposit is required. *For information call (559) 713-4444*
- [ ] Obtain required permits from San Joaquin Valley Air Pollution Board. *For information call (661) 392-5500*
- [x] Plans must be approved by the Tulare County Health Department. *For information call (559) 624-8011*
- [ ] Project is located in flood zone AE * [ ] Hazardous materials report. MEET FEMA FLOOD REQUIREMENTS
- [ ] Arrange for an on-site inspection. (Fee for inspection $157.00) *For information call (559) 713-4444*
- [x] School Development fees. Commercial $0.66 per square foot & Self-Storage $.23 per sf. Residential.
- [ ] Park Development fee $_____, per unit collected with building permits.
- [ ] Additional address may be required for each structure located on the site. *For information call (559) 713-4320*
- [ ] Acceptable as submitted
- [ ] No comments at this time

Additional comments: PROVIDE INGROUND GREASE INTERCEPTOR AND TYPE I HOOD OVER COOKING EQUIPMENT. PROVIDE AN ACCESSIBLE ROUTE TO THE TRASH ENCLOSURE. PROVIDE FUTURE EV CHARGING PARKING. BUILDING SHALL BE EQUIPPED WITH TYPE 13 FIRE SPRINKLER SYSTEM FIRE PUMP MY BE REQUIRED. BASED ON AVAILABLE PRESSURE. PROVIDE MOBILITY AND GUEST ROOMS WITH COMMUNICATION FEATURES. ROOMS SHALL BE DISPERSED AMONG VARIOUS CLASSES.

VAL GARCIA 1/25/22

	Site Plan Comments Visalia Fire Department Corbin Reed, Fire Marshal 420 N. Burke Visalia CA 93292 559-713-4272 office prevention.division@visalia.city	Date January 24, 2022 Item # 4 Site Plan # 22013 APN: 00014685

- The Site Plan Review comments are issued as **general overview** of your project. With further details, additional requirements will be enforced at the Plan Review stage. Please refer to the 2019 California Fire Code (CFC), 2019 California Building Codes (CBC) and City of Visalia Municipal Codes.

- Construction and demolition sites prior to and during construction shall comply with the following:
  - **Water supply** for fire protection, either temporary or permanent, shall be made available as soon as combustible materials arrive on the site. 2019 CFC §3312
  - Provide an all-weather, 20 feet width **construction access road** capable of holding a 75,000 pound fire apparatus. Fire apparatus access shall be provided within 100 feet of temporary or permanent fire department connections. 2019 CFC §3310

- **Address numbers** must be placed on the exterior of the building in such a position as to be clearly and plainly visible from the street. Numbers will be at least four inches (4") high and shall be of a color to contrast with their background. If multiple addresses are served by a common driveway, the range of numbers shall be posted at the roadway/driveway. 2019 CFC 505.1

- All hardware on **exit doors, illuminated exit signs and emergency lighting** shall comply with the 2019 California Fire Code. This includes all locks, latches, bolt locks, panic hardware, fire exit hardware and gates.

- **Commercial dumpsters** with 1.5 cubic yards or more shall not be stored or placed within 5 feet of combustible walls, openings, or a combustible roof eave line except when protected by a fire sprinkler system. 2019 CFC 304.3.3

- A **Knox Box key lock system** is required. Where access to or within a structure or area is restricted because of secured openings (doors and/or gates), a key box is to be installed in an approved location. Go to knoxbox.com to order and please allow adequate time for shipping and installation. 2019 CFC 506.1

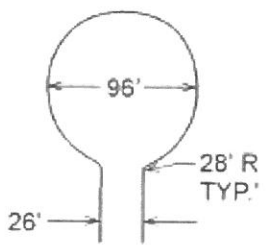
- Where a portion of any building is more than 400 feet from a hydrant on a fire apparatus access road, **on-site fire hydrant(s)** shall be provided. 2019 CFC 507.5.1, App B and C

- Due to insufficient building information, the number and distance between **fire hydrants** cannot be determined by the Site Plan Review process. The number of fire hydrants and distance between required fire hydrants shall be determined by utilizing type of construction and square footage in accordance with 2019 CFC §507, App B and C.

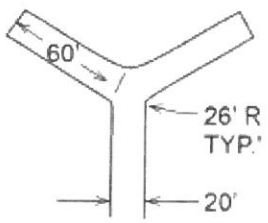
To determine **fire hydrant** location(s) and distribution the following information should be provided to the Site Plan Review committee: Type of construction_____ Square footage _____

- Buildings or portions of buildings with a vertical distance between the grade plan and the highest roof surface that exceed 30 feet shall provide an approved **fire apparatus access road** capable of accommodating fire department aerial apparatus.
    - Access roads shall have a minimum unobstructed width of 26 feet, exclusive of shoulders.
    - Access routes shall be located within a minimum of 15 feet and maximum of 30 feet from the building, and shall be positioned parallel to one entire side of the building.
    - Overhead utility and power lines shall not be located over the aerial fire apparatus access road or between the aerial fire apparatus road and the building.

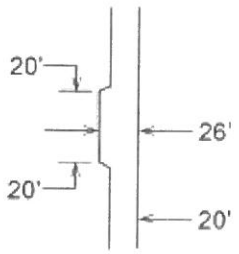
- Fire apparatus access roads in excess of 150 feet that dead end shall be provided with a **turnaround**. Fire apparatus access roads with a length of 151-500 feet shall be a minimum of 20 feet in width. Length of 501-750 feet shall be 26 feet in width. 2019 CFC Table D103.4



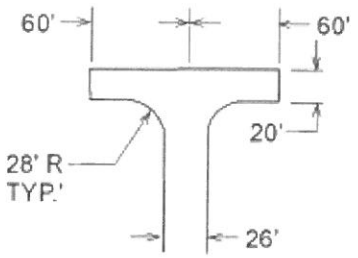
96' DIAMETER CUL-DE-SAC



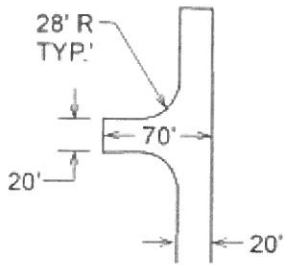
60' "Y"



MINIMUM CLEARANCE AROUND A FIRE HYDRANT



120' HAMMERHEAD



ACCEPTABLE ALTERNATIVE TO 120' HAMMERHEAD

- An **automatic fire sprinkler system** will be required for this building. Also, a fire hydrant is required within 50 feet of the Fire Department Connection (FDC). Where an existing building is retrofitted with a sprinkler system (NFPA 13 or NFPA 13R) a fire hydrant shall be provided within 75 feet of the FDC. An additional 25 feet of distance between a fire hydrant and FDC may be granted when a fire sprinkler Density is designed with an additional 25%. 2019 CFC §912 and VMC 8.20.010 subsection C103.4

- Locking **fire department connection (FDC) caps** are required. The caps shall be ordered using an approved Knox Authorization Order Form. Go to knoxbox.com to order and please allow adequate time for shipping and installation. 2019 CFC 912.4.1

- Commercial cooking appliances and domestic cooking appliances used for commercial purposes that produce grease laden vapors shall be provided with a **Type 1 Hood**, in accordance with the California Mechanical Code, and an automatic fire extinguishing system. 2019 CFC 904.12 & 609.2

- Comply with Section 510 of the California Fire Code for emergency responder radio coverage.

Corbin Reed
Fire Marshal

City of Visalia
Police Department
303 S. Johnson St.
Visalia, CA 93292
(559) 713-4370

Date: 1/26/22
Item: 4
Site Plan: 22-013
Name: Nate Henry

SITE PLAN REVIEW COMMENTS

☐ No Comment at this time

☐ Request opportunity to comment or make recommendations as to safety issues as plans are developed.

☐ Public Safety Impact Fee:
Ordinance No. 2001-11 Chapter 16.48 of Title 16 of the Visalia Municipal Code
Effective date – August 17, 2001

Impact fees shall be imposed by the City pursuant to this Ordinance as a condition of or in conjunction with the approval of a development project. "New Development or Development Project" means any new building, structure or improvement of any parcels of land, upon which no like building, structure of improvement previously existed. *Refer to Engineering Site Plan comments for fee estimation.

☐ Not enough information provided. Please provide additional information pertaining to:

☐ Territorial Reinforcement: Define property lines (private/public space).

☐ Access Controlled / Restricted etc.:

☒ Lighting Concerns:
Proper lighting interior/exterior, including trash enclosure.

☐ Traffic Concerns:

☒ Surveillance/Issues:
Interior/exterior Surveillance

☒ Line of Sight Issues:
Low shrubs/vegetation

☐ Other Concerns:

SITE PLAN REVIEW COMMENTS

CITY OF VISALIA TRAFFIC SAFETY DIVISION

January 19, 2022

ITEM NO: 4
SITE PLAN NO: SPR22013
PROJECT TITLE: TownePlace Suites by Marriott
DESCRIPTION: 101 Guestrooms, 4-Story Hotel (C-MU
APPLICANT: Jacob Cornejo
OWNER: TC INVESTMENTS VISALIA LLC
APN: 000014685
LOCATION: West Cypress Avenue

THE TRAFFIC DIVISION WILL PROHIBIT ON-STREET PARKING AS DEEMED NECESSARY

☐ No Comments

☐ See Previous Site Plan Comments

☐ Install Street Light(s) per City Standards.

☐ Install Street Name Blades at Locations.

☐ Install Stop Signs at Locations.

☒ Construct parking per City Standards PK-1 through PK-4.

☒ Construct drive approach per City Standards.

☐ Traffic Impact Analysis required (CUP)

- ☐ Provide more traffic information such as . Depending on development size, characteristics, etc., a TIA may be required.

☐ Additional traffic information required (Non Discretionary)

- ☐ Trip Generation - Provide documentation as to concurrence with General Plan.
- ☐ Site Specific - Evaluate access points and provide documentation of conformance with COV standards. If noncomplying, provide explanation.
- ☐ Traffic Impact Fee (TIF) Program - Identify improvments needed in concurrence with TIF.

Additional Comments:

- VMT analysis may be required unless screened out.

Leslie Blair

Leslie Blair

22-013

CITY OF VISALIA
SOLID WASTE DIVISION
336 N. BEN MADDOX
VISALIA CA. 93291
713 - 4532
COMMERCIAL BIN SERVICE

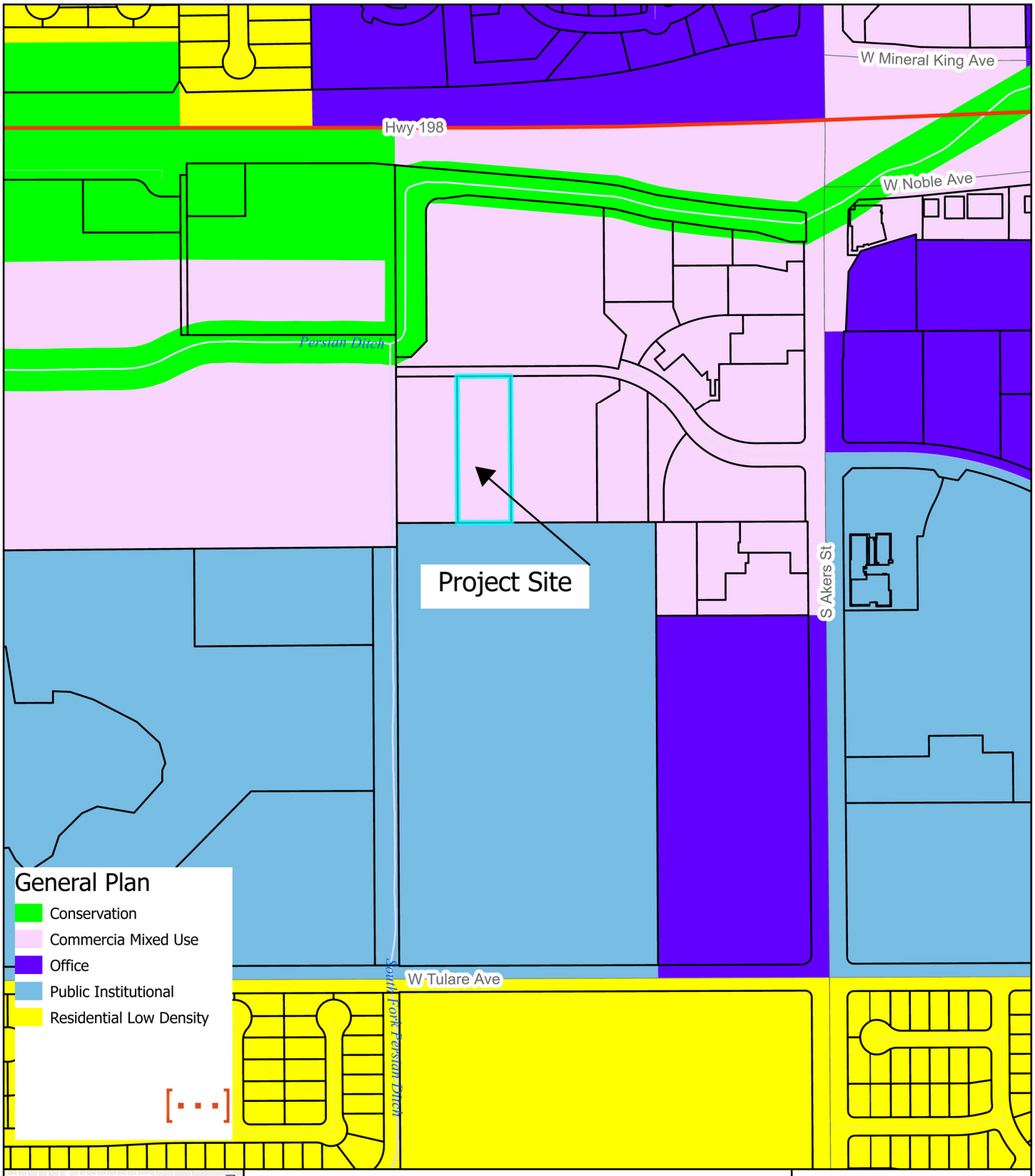
22013

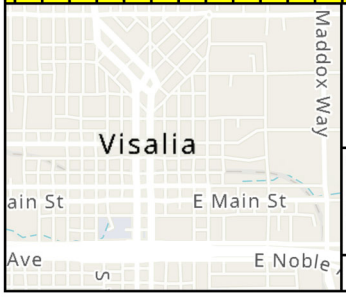
January 26, 2022

	No comments.
XX	See comments below
	Revisions required prior to submitting final plans. See comments below.
	Resubmittal required. See comments below.
XX	Customer responsible for all cardboard and other bulky recyclables to be broken down before disposing of in recycle containers
XX	ALL refuse enclosures must be R-3 OR R-4
XX	Customer must provide combination or keys for access to locked gates/bins
	Type of refuse service not indicated.
XX	Location of bin enclosure not acceptable. See comments below.
	Bin enclosure not to city standards double.
	Inadequate number of bins to provide sufficient service. See comments below.
	Drive approach too narrow for refuse trucks access. See comments below.
	Area not adequate for allowing refuse truck turning radius of : Commercial 50 ft. outside 36 ft. inside; Residential 35 ft. outside, 20 ft. inside.
XX	Paved areas should be engineered to withstand a 55,000 lb. refuse truck.
XX	Bin enclosure gates are required
	Hammerhead turnaround must be built per city standards.
	Cul - de - sac must be built per city standards.
XX	Bin enclosures are for city refuse containers only. Grease drums or any other items are not allowed to be stored inside bin enclosures.
XX	Area in front of refuse enclosure must be marked off indicating no parking
XX	Enclosure will have to be designed and located for a STAB service (DIRECT ACCESS) with no less than 38' clear space in front of the bin, included the front concrete pad.
	Customer will be required to roll container out to curb for service.
XX	Must be a concrete slab in front of enclosure as per city standards, the width of the enclosure by ten(10) feet, minimum of six(6) inches in depth.
	Roll off compactor's must have a clearance of 3 feet from any wall on both sides and there must be a minimum of 53 feet clearance in front of the compactor to allow the truck enough room to provide service.
XX	City ordinance 8.28.120-130 (effective 07/19/18) requires contractor to contract with City for removal of construction debris unless transported in equipment owned by contractor or unless contracting with a franchise permittee for removal of debris utilizing roll-off boxes.
Comment	City standard (R3/R4) double enclosure must set for STAB load services. Customer to rotate the enclosure to provide 38' of clear space in front. Solid waste services to include trash, recycle, and organic collection services, per State of California's mandatory recycling laws (AB-341 & AB-1826). Enclosure gates are required and must open 180 degrees and clear all curbing. Cain bolts must be included to secure gates when open. Customer is encouraged to contact Nathan Garza with City of Visalia Solid Waste Division at 559-713-4532 to schedule a waste assessment when ready to have bins assigned.

Jason Serpa, Solid Waste Manager, 559-713-4533
Edward Zuniga, Solid Waste Supervisor, 559-713-4338

Nathan Garza, Solid Waste,559-713-4532





General Plan Land Use Map

City of Visalia, Fresno County Dept. PWP, California State Parks, Esri, HERE, Garmin, SafeGraph, GeoTechnologies, Inc, METI/NASA, USGS, Bureau of Land Management, EPA, NPS, USDA, Esri, NASA, NGA, USGS, FEMA

2022

Coordinate System: WGS 1984 Web Mercator Auxiliary Sphere

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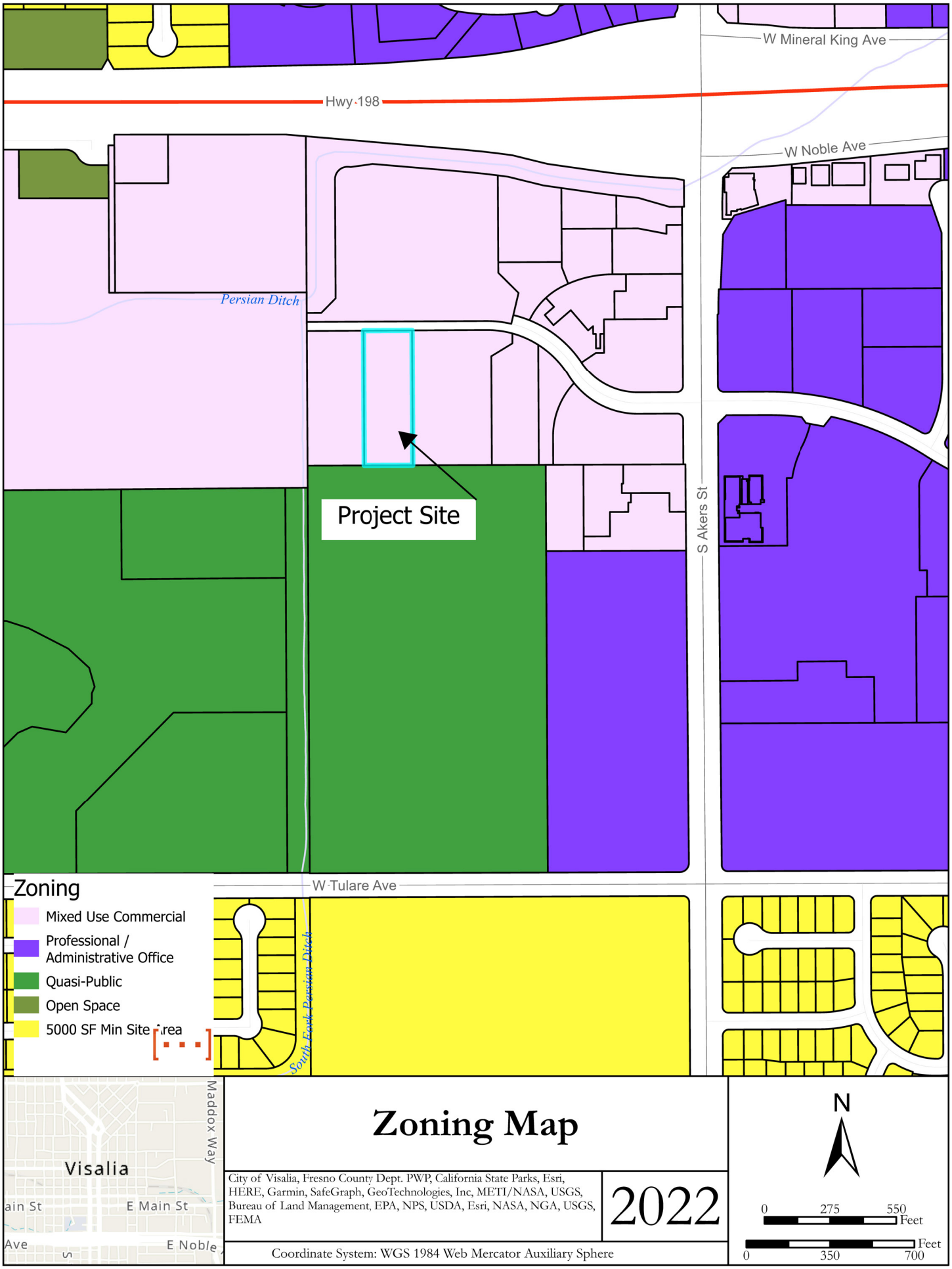
W Mineral King Ave
Hwy 198
W Noble Ave
Persian Ditch
Project Site
S Akers St
W Tulare Ave
South Fork Persian Ditch
Zoning
Mixed Use Commercial
Professional / Administrative Office
Quasi-Public
Open Space
5000 SF Min Site Area
Visalia
Maddox Way
E Main St
E Noble
Zoning Map
City of Visalia, Fresno County Dept. PWP, California State Parks, Esri, HERE, Garmin, SafeGraph, GeoTechnologies, Inc, METI/NASA, USGS, Bureau of Land Management, EPA, NPS, USDA, Esri, NASA, NGA, USGS, FEMA
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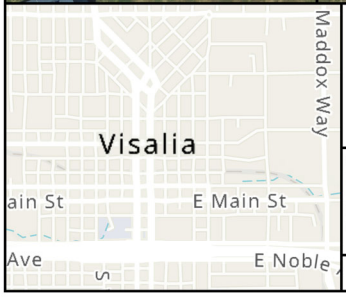

Aerial Map

City of Visalia, Fresno County Dept. PWP, California State Parks, Esri, HERE, Garmin, SafeGraph, GeoTechnologies, Inc, METI/NASA, USGS, Bureau of Land Management, EPA, NPS, USDA, Esri, NASA, NGA, USGS, FEMA

2022

Coordinate System: WGS 1984 Web Mercator Auxiliary Sphere

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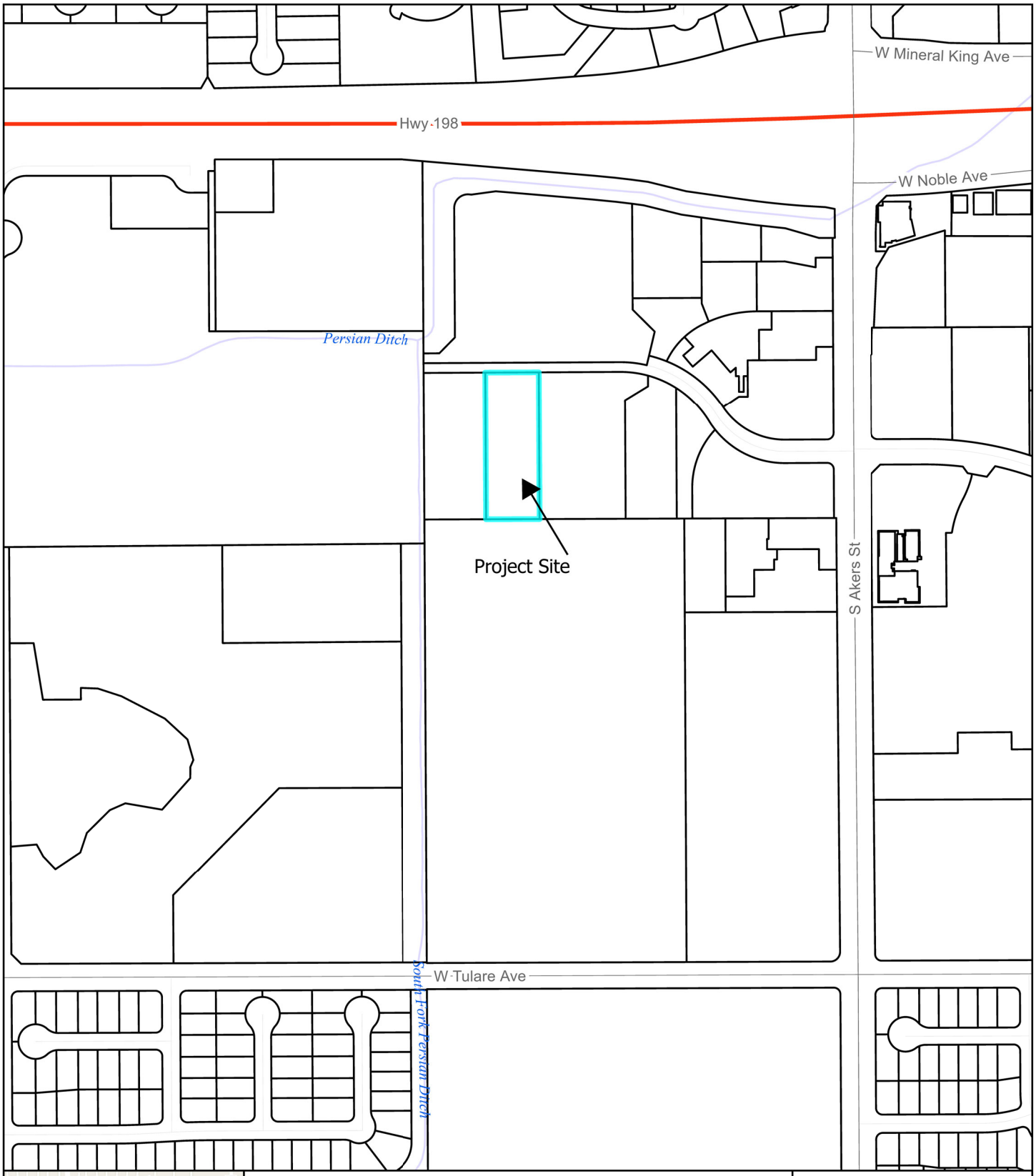
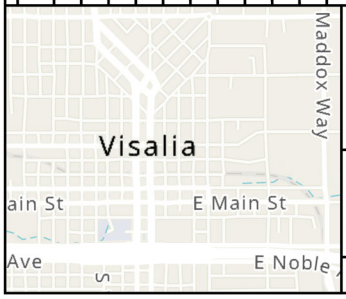
0 225 450 Feet





Vicinity Map

City of Visalia, Fresno County Dept. PWP, California State Parks, Esri, HERE, Garmin, SafeGraph, GeoTechnologies, Inc, METI/NASA, USGS, Bureau of Land Management, EPA, NPS, USDA, Esri, NASA, NGA, USGS, FEMA

2022

Coordinate System: WGS 1984 Web Mercator Auxiliary Sphere

N

0 275 550 Feet

0 350 700 Feet