

SITE PLAN REVIEW AGENDA

4/13/2022 - 9:00 A.M.

Conference Room #4

315 E. Acequia Avenue

ITEM NO: 1 Resubmit

SITE PLAN NO: SPR21155

PROJECT TITLE: Donut Shop

DESCRIPTION: Donut Sales Drive - Thru (C-N)

APPLICANT: Steve Sparshott

OWNER: TAING SIEN

APN: 091161009

091161047

091161052

LOCATION: 1526 N DINUBA BLVD

1538 N DINUBA BLVD

426 W SWEET AVE

420 W SWEET AVE

ITEM NO: 2 Resubmit

SITE PLAN NO: SPR21171

PROJECT TITLE: Pratt Family Ranch Tier III Res. Develop.

DESCRIPTION: Tier III Residential Development Proposal for the Pratt Family Ranch Area (D-MU)

APPLICANT: Ernie Escobedo

OWNER: GUNNING MICHAEL K & GLENDA M(TRS)(RE

APN: 078010028

078010029

078110023

LOCATION: 2100 W PRATT RD

ITEM NO: 3 Resubmit

SITE PLAN NO: SPR21230

PROJECT TITLE: Renovation of Amigo Row Building

DESCRIPTION: Amendments of CUP 2013-27 - Improvements to 514 E. Main St. (D-MU)

APPLICANT: Thom A Black

OWNER: CH-RADIANT CHURCH INC

APN: 094231027

LOCATION: 514 E MAIN ST UNIT A

ITEM NO: 4 Resubmit

SITE PLAN NO: SPR22047

PROJECT TITLE: Smokin' Barrel Firearms

DESCRIPTION: Proposed 27 Shooting Lanes, a Firearms Educations Classroom, Lounge with Outdoor Patio. (C-MU)

APPLICANT: Eric McConnaughey

OWNER: C R S FARMING LLC

APN: 078210023

LOCATION: Inside The Village at Willow Creek Sopping Center on North Demaree

AFTER REVIEW OF REGULAR AGENDA ITEMS, THE COMMITTEE WILL BE AVAILABLE TO REVIEW OFF-AGENDA ITEMS FOR INFORMAL REVIEW. THE COMMITTEE WILL BE AVAILABLE TO ANSWER QUESTIONS AT THAT TIME.

SITE PLAN REVIEW AGENDA

4/13/2022 - 9:00 A.M.

Conference Room #4

315 E. Acequia Avenue

ITEM NO: 5

SITE PLAN NO: SPR22056

PROJECT TITLE: Caldwell Place Professional Office

DESCRIPTION: Would like to be able to Sell Suite A Separate form Suite B. Existing Partners want to Buy Individually. (O-PA)

APPLICANT: Eddie Perez

OWNER: CALDWELL PLACE PARTNERS LLC

APN: 119420052

LOCATION: 3924 W CALDWELL AVE UN

ITEM NO: 6

SITE PLAN NO: SPR22057

PROJECT TITLE: Meat Locker Sol de Valle

DESCRIPTION: Meat Locker - Wholesale and Retail (C-S)

APPLICANT: Jorge Luis Magdaleno

OWNER: YAHNIAN DODD(TR)(M Y BYPASS TR)

APN: 094140019

LOCATION: 1241 N BEN MADDOX WAY

ITEM NO: 7

SITE PLAN NO: SPR22058

PROJECT TITLE: Home2 Suites By Hilton

DESCRIPTION: 91 Guestrooms, 4-story Hotel (BRP)

APPLICANT: Jacob Cornejo

OWNER: ROYE LINDA

APN: 081170028

LOCATION: SE Corner of Neeley St & Crowley Ave

ITEM NO: 8

SITE PLAN NO: SPR22059

PROJECT TITLE: VUSD, Transportation Administration Building

DESCRIPTION: New 7,952 sf Administration Office Building for Visalia Unified School District New Parking Lot for Office Staff and Various Site Work to Conform to ADA Standards. (QP)

APPLICANT: Gerry Lemus

OWNER: VISALIA UNIFIED SCHOOL DISTRICT

APN: 089030029

LOCATION: 2425 W HOUSTON AVE

ITEM NO: 9

SITE PLAN NO: SPR22060

PROJECT TITLE: Mission Oak Parcel Map

DESCRIPTION: Commercial Tentative Parcel Map to Divide Property for Current and Future Buildings. (O-PA)

APPLICANT: Jim Robinson

OWNER: COREVAL LLC

APN: 000014853

000014854

LOCATION: 5645 W DE LAS ROBLES
5646 W DE LAS ROBLES

AFTER REVIEW OF REGULAR AGENDA ITEMS, THE COMMITTEE WILL BE AVAILABLE TO REVIEW OFF-AGENDA ITEMS FOR INFORMAL REVIEW. THE COMMITTEE WILL BE AVAILABLE TO ANSWER QUESTIONS AT THAT TIME.

CITY OF VISALIA SITE PLAN REVIEW APPLICATION

- Additional information and assistance in filling out this application can be found at the City of Visalia website (www.visalia.city) or by calling (559) 713-4440-



This application MUST be filled out in its entirety and submitted with an acceptable site plan (see site plan minimum requirements & submittal details on Page 2). Failure to provide all requested information may result in rejection of your application and exclusion from the Site Plan Review agenda.

- Site Plan Review meetings are held on Wednesdays at 9am at City Hall East - 315 E Acequia Ave - Applicant(s) or Representative(s) must be present -

- Application submittal deadline is 4pm on Thursdays to be scheduled for the next available meeting -

GENERAL PROJECT INFORMATION

Project/Business Name: MARKET, COFFEE + PASTRY DRIVES-THRU Date: 5, APRIL '22

Project Description: RETAIL SPACE FOR A SPECIALTY MARKET + A DRIVES-THRU COFFEE + PASTRY FACILITY

Site Plan Review Resubmittal: Yes ☒ No ☐ If Resubmittal, Previous Site Plan Review Number: 2021-155

Property Owner: SIEN Y. TANG

Applicant(s) Name: TAE INC. ARCHITECTURE / PLANNING

Project Address/Location: 15720 N. DUNBAR BLVD.

Assessor Parcel Number: 091-161-052, 047+009

Parcel Size (Acreage or Square Feet): 0.06 AC Building or Suite Square Footage: BUILD'G. "A" 1490 BUILD'G. "B" 3070

Are There Any Proposed Building Modifications: Yes ☐ No ☒

Estimated Cost of Modifications to Building: \$ 1.2 MILLION

Describe All Proposed Building Modifications: PROPOSAL IS TO CONSTRUCT TWO NEW RETAIL BUILDINGS

--- THIS AREA FOR CITY STAFF USE ONLY ---

Date Received: _____

SPR Agenda: _____ Item No. _____

Zone: _____ SPR No. 21-155

Historic District: Yes ☐ No ☐

Flood Zone: X ☐ AE ☐ X/AE ☐

-- A SEPARATE, DETAILED OPERATIONAL STATEMENT IS HIGHLY RECOMMENDED FOR ALL SUBMITTALS --

Existing/Prior Building Use: SITE IS VACANT, LAST USE WAS RESIDENTIAL

Proposed Building Use: RETAIL STORE + COFFEE + PASTRY

Proposed Hours of Operation: _____

Days of Week In Operation (Circle): Su M T W Th F Sa SEE ATTACHED

Number of Employees Per Day: Existing _____ Proposed SEE ATTACHED

Number of Customers Per Day (Estimated): Existing _____ Proposed _____

Predicted Peak Operating Hour: _____

Describe Any Truck Delivery Schedule & Operations: _____

Please Identify Any Unique or Specific Traffic Patterns That Will Require Accommodations For Operations, Customers, or Employees

(Provide Separate Attachment if Necessary): NONE

Describe Any Special Events Planned for the Facility: N/A

OPERATIONS & TRAFFIC INFORMATION

Page 1 of 2 - Application continues on back of this page

SUBMIT APPLICATION TO: CITY OF VISALIA COMMUNITY DEVELOPMENT DEPT - 315 E ACEQUIA AVE - VISALIA CA 93291
IF ANY QUESTIONS, PLEASE CALL THE CITY OF VISALIA AT (559) 713-4440

SITE PLAN MINIMUM REQUIREMENTS

- Submit a digital copy of the site plan(s) and completed application on a flash drive or equivalent (PDF format preferred, hard paper copies not accepted).
- Digital copies must be clear, legible, and on a layout sized appropriately to convey all necessary project information.
- Site plan shall provide for and indicate all of the following:
- North arrow
 - All existing & proposed site features
 - Site dimensions, including building
 - Existing and proposed fencing at site
 - Public improvements (curbs, sidewalks, utility poles, hydrants, street lights, etc.)
 - Existing & proposed structures
 - Adjacent street names
 - Refuse enclosures & containers
 - Valley oak trees (show drip line)
 - Existing & proposed landscaping
 - Parking stalls (include ADA)
 - Loading/unloading areas
 - Accessible path of travel from right of way
 - Accessible path of travel from ADA stall
 - Location and width of drive approaches to site
 - Tentative maps shall adhere to requirements of Visalia Municipal Code Section 16

Applicant Information (Final comments will be mailed to the name and address provided below)

Name: TAE INC. ARCHITECTURE/PNG Signature of Owner or Authorized Agent* [Signature] Date 3/25/22

Address: P.O. Box 1177 Owner [Signature]

City, State, Zip TULARE, CA. 93275 Authorized Agent* _____ Date _____

Phone: 559.688.2071

Email: info@t2einc.com

* If signed by an authorized agent, the "Agency Authorization" information below must be completed for this application to be considered acceptable.

AGENCY AUTHORIZATION

OWNER:

I, SIEN TAING, declare as follows; I am the owner of certain real property bearing assessor's parcel number (APN):

091.161.052,047+009

AGENT:

I designate TAE INC. to act as my duly authorized agent for all purposes necessary to file an application for, and obtain a permit to PROCESS SITE PLAN REVIEW relative to the property mentioned herein.

I declare under penalty of perjury the foregoing is true and correct.

Executed this 25 day of MARCH, 2022

OWNER	Signatures	AGENT
<u>[Signature]</u> <small>Signature of Owner</small>		 <small>Signature of Agent</small>
<u>3831 BUENA VISTA AVE</u> <small>Owner Mailing Address</small>		<u>P.O. Box 1177</u> <small>Agent Mailing Address</small>
<u>VISALIA, CA. 93291</u> <small>Owner Phone Number</small>		<u>TULARE, CA. 93275</u> <small>Agent Phone Number</small>
<u>559.936.3465</u> <small>Owner Phone Number</small>		<u>559.688.2071</u> <small>Agent Phone Number</small>

First Step Market

Hours:

8:00am - 9:00pm Mon - Sat

9:00am - 7:00pm Sun

First Step Market is a specialty produce market. We plan to sell staple foods and other cooking ingredients. Our focus will be on fresh produce, dairy products, grains, fresh meat/poultry, seasoning and to-go prepared food. No alcohol or tobacco.

The type of equipment used for this operation are produce stands/fridge, walk-in cooler with display swing doors, meat/poultry display case, grill top and cooktop combo, cook hood, mop sink, commercial sink, display rack and checkout registers.

We expect 75 customers a day. Peak hours from 4pm - 7pm. All customers will be walk-in with no delivery service.

Based on the customer count, we will have 2-3 employees throughout the day.

Vendor deliveries will be once a week.

The current use of the site was 2 residential homes and 1 1,500 sq ft candle store.

Ace Coffee & Pastry

Hours:

5:00am - 5:00pm Mon - Fri

5:00am - 5:00pm Sat

6:00am - 4:00pm Sun

Ace will serve hot & cold coffee in different blends. Ace will also serve fresh baked croissants in different varieties—including muffins and danish.

Equipment needed are ovens, cook hood, coffee brewers, blenders, prep-counter, mop sink, commercial sink, glass display cases and checkout counter.

Expected customer count is 100 a day. Peak hours from 6:00am - 11:00am.

Based on the customer count, we will have 2-3 employees throughout the day.

Vendor deliveries will be once a week.

The current use of the site was 2 residential homes and 1 1,500 sq ft candle store.

CITY OF VISALIA SITE PLAN REVIEW APPLICATION

- Additional information and assistance in filling out this application can be found at the City of Visalia website (www.visalia.city) or by calling (559) 713-4440-



This application MUST be filled out in its entirety and submitted with an acceptable site plan (see site plan minimum requirements & submittal details on Page 2). Failure to provide all requested information may result in rejection of your application and exclusion from the Site Plan Review agenda.

- Site Plan Review meetings are held on Wednesdays at 9am at City Hall East - 315 E Acequia Ave - Applicant(s) or Representative(s) must be present -
- Application submittal deadline is 4pm on Thursdays to be scheduled for the next available meeting -

GENERAL PROJECT INFORMATION

Project/Business Name: Pratt Family Ranch Tier III Residential Development Date: ~~XXXXX~~ 04/07/2022

Project Description: Tier III residential development proposal for the Pratt Family Ranch Area

Site Plan Review Resubmittal: Yes ☐ No ☒ If Resubmittal, Previous Site Plan Review Number: _____

Property Owner: Michael K and Glenda M Gunning Trust

Applicant(s) Name: D.R. Horton CA-3, INC.

Project Address/Location: Southwest of Avenue 320 and Mooney Boulevard

Assessor Parcel Number: 078-110-23 078-010-029 078-010-028

Parcel Size (Acreage or Square Feet): 46 Acres Building or Suite Square Footage: 296 Lots

Are There Any Proposed Building Modifications: Yes ☐ No ☒

Estimated Cost of Modifications to Building: \$ N/A

Describe All Proposed Building Modifications: N/A

--- THIS AREA FOR CITY STAFF USE ONLY ---

Date Received: 04/07/2022

SPR Agenda: 04/13/2022 Item No. _____

Zone: _____ SPR No. 21-171

Historic District: Yes ☐ No ☐

Flood Zone: X ☐ AE ☐ X/AE ☐

OPERATIONS & TRAFFIC INFORMATION

--- A SEPARATE, DETAILED OPERATIONAL STATEMENT IS HIGHLY RECOMMENDED FOR ALL SUBMITTALS ---

Existing/Prior Building Use: The properties are primarily vacant with the exception of an abandoned SFR an existing SFR

Proposed Building Use: The project proposes a single family subdivision

Proposed Hours of Operation: _____

Days of Week In Operation (Circle): Su M T W Th F Sa

Number of Employees Per Day: Existing N/A Proposed _____

Number of Customers Per Day (Estimated): Existing N/A Proposed _____

Predicted Peak Operating Hour: N/A

Describe Any Truck Delivery Schedule & Operations: N/A

Please Identify Any Unique or Specific Traffic Patterns That Will Require Accommodations For Operations, Customers, or Employees

(Provide Separate Attachment if Necessary): Nearby Arterials and Collectors will transport the majority of traffic

Describe Any Special Events Planned for the Facility: N/A

SITE PLAN MINIMUM REQUIREMENTS

SITE PLAN REQUIREMENTS

- ⇒ Submit a digital copy of the site plan(s) and completed application on a flash drive or equivalent (PDF format preferred, hard paper copies not accepted).
- ⇒ Digital copies must be clear, legible, and on a layout sized appropriately to convey all necessary project information.
- ⇒ Site plan shall provide for and indicate all of the following:

- North arrow	- Existing & proposed structures	- Loading/unloading areas
- All existing & proposed site features	- Adjacent street names	- Accessible path of travel from right of way
- Site dimensions, including building	- Refuse enclosures & containers	- Accessible path of travel from ADA stall
- Existing and proposed fencing at site	- Valley oak trees (show drip line)	- Location and width of drive approaches to site
- Public improvements (curbs, sidewalks, utility poles, hydrants, street lights, etc.)	- Existing & proposed landscaping	- Tentative maps shall adhere to requirements of Visalia Municipal Code Section 16
	- Parking stalls (include ADA)	

REQUIRED SIGNATURE

Applicant Information (Final comments will be mailed to the name and address provided below)

Name: <u>Ernie Escobedo</u>	Signature of Owner or Authorized Agent*	
Address: <u>601 Pollasky Avenue, Suite 301</u>	<u>Glenda Gunning</u>	<u>9/9/2021</u>
City, State, Zip: <u>Clovis, CA 93612</u>	Owner	Date
Phone: <u>559-449-2400</u>		
Email: <u>Ernie.Escobedo@qkinc.com</u>	Authorized Agent*	Date

* If signed by an authorized agent, the "Agency Authorization" information below must be completed for this application to be considered acceptable.

AGENCY AUTHORIZATION

AGENCY AUTHORIZATION FORM

OWNER:

I, Glenda Gunning, declare as follows; I am the owner of certain real property bearing assessor's parcel number (APN):

078-110-23 078-010-029 078-010-028

AGENT:

I designate Ernie Escobedo, to act as my duly authorized agent for all purposes necessary to file an application for, and obtain a permit to develop a residential community relative to the property mentioned herein.

I declare under penalty of perjury the foregoing is true and correct.

Executed this 9th day of September, 2021.

OWNER	AGENT
<div style="text-align: center;">Signatures</div>	
<div style="text-align: center;">Signatures</div>	
<div style="text-align: center;">Signature of Owner</div>	<div style="text-align: center;">Signature of Agent</div>
<div style="text-align: center;">1037 W. Sunnyside Avenue, Visalia, CA 93277</div>	<div style="text-align: center;">601 Pollasky Avenue, Suite 301, Clovis, CA 93612</div>
<div style="text-align: center;">Owner Mailing Address</div>	<div style="text-align: center;">Agent Mailing Address</div>
<div style="text-align: center;">559 799-7038</div>	
<div style="text-align: center;">Owner Phone Number</div>	<div style="text-align: center;">Agent Phone Number</div>

CALIFORNIA ACKNOWLEDGMENT

CIVIL CODE § 1189

A notary public or other officer completing this certificate verifies only the identity of the individual who signed the document to which this certificate is attached, and not the truthfulness, accuracy, or validity of that document.

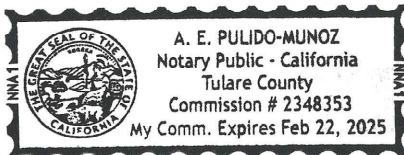
State of California

County of Tulare

On September 9, 2021 before me, A.E. Pulido-Munoz
Date Here Insert Name and Title of the Officer

personally appeared Blenda Cunnings
Name(s) of Signer(s)

who proved to me on the basis of satisfactory evidence to be the person(s) whose name(s) is/are subscribed to the within instrument and acknowledged to me that he/she/they executed the same in his/her/their authorized capacity(ies), and that by his/her/their signature(s) on the instrument the person(s), or the entity upon behalf of which the person(s) acted, executed the instrument.



I certify under PENALTY OF PERJURY under the laws of the State of California that the foregoing paragraph is true and correct.

WITNESS my hand and official seal.

Place Notary Seal and/or Stamp Above

Signature A.E. Pulido-Munoz
Signature of Notary Public

OPTIONAL

Completing this information can deter alteration of the document or fraudulent reattachment of this form to an unintended document.

Description of Attached Document

Title or Type of Document: _____

Document Date: _____ Number of Pages: _____

Signer(s) Other Than Named Above: _____

Capacity(ies) Claimed by Signer(s)

Signer's Name: _____

☐ Corporate Officer – Title(s): _____

☐ Partner – ☐ Limited ☐ General

☐ Individual ☐ Attorney in Fact

☐ Trustee ☐ Guardian or Conservator

☐ Other: _____

Signer is Representing: _____

Signer's Name: _____

☐ Corporate Officer – Title(s): _____

☐ Partner – ☐ Limited ☐ General

☐ Individual ☐ Attorney in Fact

☐ Trustee ☐ Guardian or Conservator

☐ Other: _____

Signer is Representing: _____



MEMO

Date: September 9, 2021
Project No.: 200180 / Pratt Family Ranch
To: Paul Bernal, City Planner, City of Visalia Planning Department
From: Trevor Stearns, Associate Planner, QK
Subject: Pratt Family Ranch Tier III Tentative Subdivision Map Project Description
cc: D.R. Horton
QK

Background

The following information pertains to the proposed Master Plan/Specific Plan, and Tentative Subdivision Map (Project) being filed with the City of Visalia (City) Planning Department. This Project Description describes the details of the proposal and expands on information not within the development application for the subdivision within the Tier III area. It should be noted that the term “Master Plan” is not specifically defined within the General Plan or within State Law. A Master Plan can dictate a variety of design attributes and provide guidance for overall development of an area. Based on the primary goal of the Project, which is to create a “legacy project,” it is recommended that the “Master Plan” for the Project should be developed as a Specific Plan.

The Project is located adjacent to the current City limits to north of the City. The Project is bounded by the Saint Johns River to the north and rural residential/uncultivated agricultural land to the east and west and single-family residential communities to the south. The total Project area within the Master Plan consists of APNs 078-110-023, 078-010-028 and APN 078-010-029. The Tier III portion of the Project area is approximately 46 acres. The Project area is primarily located southwest of the Avenue 320 and Mooney Boulevard intersection. The Project area consists of three General Plan land use designations: Residential Low Density, Residential Medium Density, and Open Space.

The City’s General Plan allows for the City Council to approve “master plans” for sites under a single ownership or unified control that include developable land within both multiple development tiers. There are development parameters that are specific to Tier 1 – 3. The aforementioned parcels are currently being proposed in a Specific Plan. The proposed project is a portion of the overall area within the proposed Specific Plan.²

Development of residential land in Tier I and Tier II may occur at any time. Development of Tier III land designated for residential uses will be permitted after the City has issued building permits for 12,800 housing units, starting from the 2010 Census date, resulting in a target population of 178,000. The Project is within Tier II and Tier III areas of the City of Visalia.¹

¹ According to the City’s General Plan Proposed Development Footprint by Tier.
<https://www.visalia.city/civicax/filebank/blobdload.aspx?BlobID=30474> Page 2-27.

² According to the City’s General Plan LU-P-22.
<https://www.visalia.city/civicax/filebank/blobdload.aspx?BlobID=30474> Page 2-31

**Tier III Tentative Subdivision Map (Map)**

The proposed Project would allow the applicant, D.R. Horton, the ability to construct a single-family residential community. The proposed Tentative Subdivision Map intends to create residential lots and the appurtenant infrastructure consistent with the General Plan designation of Residential Low Density and Residential Medium Density. Future zoning designations will be consistent with the aforementioned land use designations (Residential Low Density and Residential Medium Density), respectively R-1-5 and R-M-2. Future development of single-family homes will be consistent with these designations, with the exception of any deviations from the City's Municipal Code that will be incorporated into the Specific Plan. The Project will be evaluated by the City, through the scope of the Specific Plan, General Plan, Municipal Code, and subsequently through the building permit submittal.

As proposed, the Map consists of approximately 46-acres of gross area. As mentioned previously, the Project consists of two proposed residential land use designation that require differing lot types in order to meet their respective densities. The map in Tier III will consist of 296 lots. As shown in the attached Map, the area encompasses in Sheet 4, 5 and the eastern portion of sheet 2, primarily consist of lots that are sized at 38 feet by 72 feet. The Residential Medium Density area is 19.90 acres and consists of 206 lots. The density is 10.35 units per gross acre. This can be inferred because Section 17.12.060 of the City's Municipal Code, requires that one dwelling unit be allocated per site ². In addition, the Project consists of 17.97 acres of Residential Low Density. As illustrated in the Map, Sheets 2 and 3 consist of lots 50 feet by 100 feet. The total lot count for the Residential Low-Density area is 90 and is 5.01 dwelling units per gross acre. Furthermore, the Project consists of 1.06 gross acres of private park space, 1.14 gross acres of dog park, 2.25 gross acres of trails and landscaping, and 3.58 gross acres of rights-of-way. This brings the overall total to approximately 46 acres.

The City's General Plan specifies that Residential Medium Density is 10 to 15 dwelling units per gross acre and Residential Low-Density is 2 to 10 dwelling units per gross acre.

Circulation

The Tentative Subdivision Map proposes primary accesses from Pratt Road, via the local street access through the Tier II development proposal, which allows access from the City's major circulation network to the overall project. The Project is adjacent to the proposed Mooney Boulevard alignment (proposed 2-lane arterial street) to the east. In addition, Avenue 320 provides direct access to the Low and Medium residential areas. Tier III also proposes to continue a portion of Mooney Boulevard north following the new alignment that will straddle the eastern property line. The addition of the proposed traffic circle in the Tier II proposal will aide in traffic calming along Mooney Boulevard. A reduction in traffic speeds is imperative to public safety. Amenities include: the exterior, interior trails network and centralized park. Additionally, the Project will allow access from Mooney Boulevard to the east and Avenue 320 to the north, into the gated community, so it will not be for public use.

The City's General Plan illustrates Mooney Boulevard traveling north, without meandering, and intersecting with Avenue 320. As mentioned previously, the Tier II proposal has proposed to shift Mooney Boulevard to the east, starting from the traffic circle, until it meets the easternmost property line, then continues parallel with the property line until it reaches Avenue 320. As mentioned

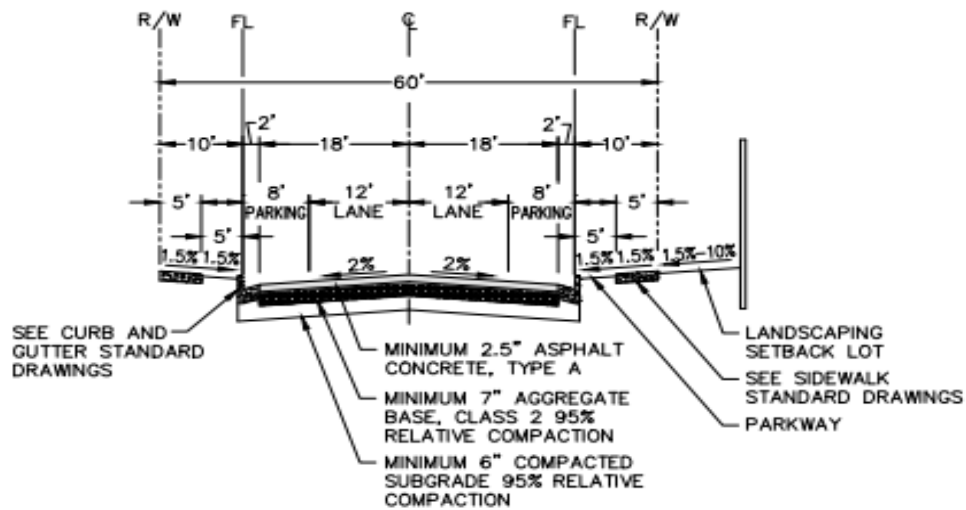
² City of Visalia Zoning Ordinance <https://www.visalia.city/civicax/filebank/blobdload.aspx?BlobID=35210>



previously, the City has designated this extent of Mooney Boulevard as a 2-lane, Arterial street (Table 4-5 of the General Plan Planned Circulation Systems Improvements³. Mooney Boulevard will assume the width of a 2-lane collector, since the City does not have a street standard for a “2-lane arterial”. Therefore, the Project proposes to construct 84 feet of right-of-way width to accommodate the City’s General Plan. Avenue 320 will be constructed in accordance with its General Plan designation and corresponding City Standard P-5 Engineering Drawing (2-lane ½ arterial street). All interior streets, excluding the gated community will be built in accordance with the City’s Standard P-1 Engineering Drawing. In order to reach, the required density of the Residential Medium Density land use designation, the standard local street width was reduced to 42 feet of width. This is comprised of 10 feet of sidewalk, 4 feet of sidewalk, and 28 feet of asphalt pavement.


The project proposes to have all entrances to the subdivision built to a local street standard. The proposed street layout is designed to provide maximum connectivity to existing and proposed access points. This configuration allows better connectivity between developments and encourages future expansion. No specific architectural style or elevation is proposed at this time; however, it is anticipated that the proposed subdivision will match the neighboring subdivision for continuity and be consistent with the proposed Specific Plan.

³ City of Visalia Circulation Element Table 4-5
<https://www.visalia.city/civicax/filebank/blobdload.aspx?BlobID=30476> Page 4-15.



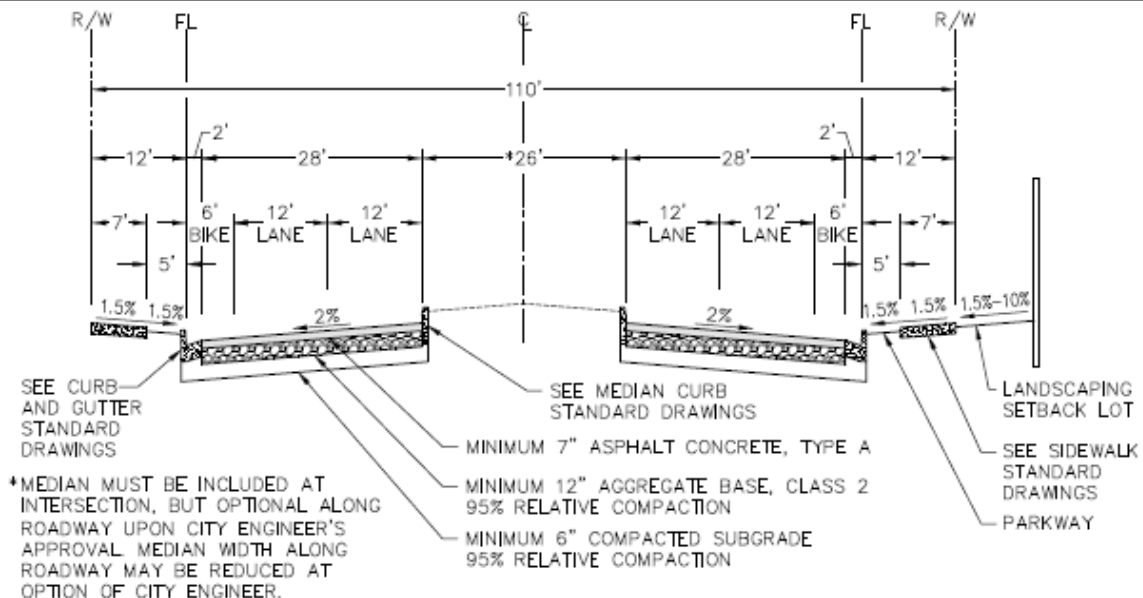
NOTES:

1. DESIGN CRITERION: TRAFFIC INDEX SHALL BE 5.5.
2. STRUCTURAL SECTIONS SHALL BE DETERMINED BASED ON T.I. AND R-VALUES AS TABULATED IN THE STREET SECTIONS REQUIREMENTS STANDARD DRAWING.
3. ASPHALT CONCRETE SHALL BE TYPE A, WITH 3/4" AGGREGATE GRADATION AND PG 64-10 LIQUID ASPHALT BINDER PER CITY OF VISALIA STANDARD SPECIFICATIONS.
4. TACK COAT IS REQUIRED AND SHALL BE APPLIED PER CITY STANDARD SPECIFICATIONS.
5. ASPHALT CONCRETE REQUIREMENTS SHALL BE AS STATED IN THE CITY OF VISALIA STANDARD SPECIFICATIONS.
6. ASPHALT CONCRETE SHALL BE PLACED ONLY WHEN THE ATMOSPHERIC TEMPERATURE IS 50° F AND RISING.
7. WITH ADDITIONAL LANDSCAPE EASEMENTS, SIDEWALK MAY BE LOCATED OUTSIDE RIGHT OF WAY TO PROVIDE ADDITIONAL PARKWAY.
8. A FOOTING EASEMENT WILL BE REQUIRED AS NEEDED FOR BLOCK WALL FOOTINGS THAT EXTEND INTO PRIVATE PROPERTY.
9. STREET TREES ARE REQUIRED IN ADDITION TO THE ON-SITE LANDSCAPE REQUIREMENT.
10. FOR PARTIAL WIDTH STREETS A MINIMUM OF 30 FT OF PAVEMENT AND 8 FT SHOULDERS ARE REQUIRED.
11. SOIL ADJACENT TO CONCRETE CURB AND SIDEWALK SHALL BE GRADED 3" BELOW TOP OF CURB TO ALLOW ROOM FOR MULCH.

APPROVED BY:  CITY ENGINEER R.P.E. 81734 09/16/16 DATE	CITY OF VISALIA DESIGN & IMPROVEMENT STANDARDS		
2 LANE LOCAL – RESIDENTIAL		REVISIONS 09/15/16 BK 2016	P-1



MEMO



NOTES:

1. DESIGN CRITERION: TRAFFIC INDEX SHALL BE 11.
2. STRUCTURAL SECTIONS SHALL BE DETERMINED BASED ON T.I. AND R-VALUES AS TABULATED IN THE STREET SECTIONS REQUIREMENTS STANDARD DRAWING.
3. ASPHALT CONCRETE SHALL BE TYPE A, WITH 3/4" AGGREGATE GRADATION AND PG 64-10 LIQUID ASPHALT BINDER PER CITY OF VISALIA STANDARD SPECIFICATIONS.
4. TACK COAT IS REQUIRED AND SHALL BE APPLIED PER CITY STANDARD SPECIFICATIONS.
5. ASPHALT CONCRETE REQUIREMENTS SHALL BE AS STATED IN THE CITY OF VISALIA STANDARD SPECIFICATIONS.
6. ASPHALT CONCRETE SHALL BE PLACED ONLY WHEN THE ATMOSPHERIC TEMPERATURE IS 50° F AND RISING.
7. WITH ADDITIONAL LANDSCAPE EASEMENTS, SIDEWALK MAY BE LOCATED OUTSIDE RIGHT OF WAY TO PROVIDE ADDITIONAL PARKWAY.
8. A FOOTING EASEMENT WILL BE REQUIRED AS NEEDED FOR BLOCK WALL FOOTINGS THAT EXTEND INTO PRIVATE PROPERTY.
9. STREET TREES ARE REQUIRED IN ADDITION TO THE ON-SITE LANDSCAPE REQUIREMENT.
10. FOR PARTIAL WIDTH STREETS A MINIMUM OF 30 FT OF PAVEMENT AND 8 FT SHOULDERS ARE REQUIRED.
11. MEDIAN BREAK LOCATIONS AND U-TURN MOVEMENT LOCATIONS ARE SUBJECT TO APPROVAL OF THE CITY ENGINEER.
12. UNIMPROVED MEDIAN SHALL BE LEFT WITH NATIVE SOILS 3" BELOW THE TOP OF CURB.
13. SOIL ADJACENT TO CONCRETE CURB AND SIDEWALK SHALL BE GRADED 3" BELOW TOP OF CURB TO ALLOW ROOM FOR MULCH.

APPROVED BY:

Mark M.

09/16/16

CITY OF VISALIA
DESIGN & IMPROVEMENT STANDARDS



Figure 1-2
City of Visalia Standard Drawing: Collector Street Cross Section



Utilities

The Project is within proximity of wet utilities (Sewer and Storm drain). Upon reorganization the subdivision will be served by the City of Visalia for Sewer and Storm drainage. The Project will be able to connect to the existing Sewer lateral and Storm drain lateral ,which is stubbed in the Riverway Avenue and Mooney Boulevard intersection. Size and design of the Sewer and Storm drain pipes that will connect to the main laterals will be determined per City's review.

Annexation

The Project will propose the reorganization of the Project area into the City of Visalia's jurisdiction, upon the availability of land that can be annexed per the City's policies regarding residential developments in Tiers II and III. This portion of the collective "Project" will consider any necessary detachments that are subject to the property, currently within the County of Tulare, and subsequent annexation into the City of Visalia.

TS

PRATT FAMILY RANCH TIER 3

BEING A PORTION OF THE EAST HALF OF THE NORTHEAST QUARTER OF SECTION 13, TOWNSHIP 18 SOUTH, RANGE 24 EAST, AND THE WEST HALF OF THE NORTHWEST QUARTER OF SECTION 18, TOWNSHIP 18 SOUTH, RANGE 25 EAST, MOUNT DIABLO BASE AND MERIDIAN, IN THE CITY OF VISALIA, COUNTY OF TULARE, STATE OF CALIFORNIA, ACCORDING TO THE OFFICIAL PLAT OF THE SURVEY OF SAID LAND ON FILE IN THE BUREAU OF LAND MANAGEMENT AT THE DATE OF THE ISSUANCE OF THE PATENT THEREOF.

IN THE CITY OF VISALIA, COUNTY OF TULARE, STATE OF CALIFORNIA.
CONSISTING OF FIVE (5) SHEETS

PROJECT SITE INFORMATION

APNs:
078-010-028, 078-010-029, 078-110-023

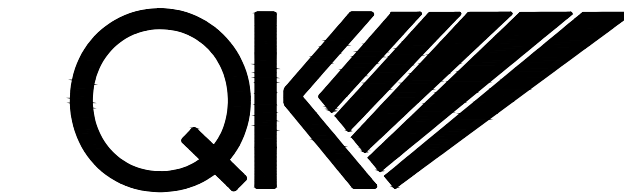
ADDRESS:
2100 PRATT ROAD
VISALIA, CA 93291
RECORD OWNERSHIP:
MICHAEL K. AND GLENDA M. GUNNING
1037 W. SUNNYSIDE AVENUE
VISALIA, CA 93277

SUBDIVIDER:
D.R. HORTON & SONS, INC.
419 W. MURRAY AVENUE
VISALIA, CA 93291
(559) 636-9850

UTILITIES

SOUTHERN CALIFORNIA EDISON:
MISAEI IBARRA
2425 S. BLACKSTONE STREET, TULARE, CA 93274
O: 559-684-3532
C: 559-801-1272
misaei.ibarra@sce.com

AT&T:
ERIN PECTOL
217 W. ACQUA AVENUE, VISALIA, CA 93291
O: 559-739-6649
C: 559-737-1637
ep8545@att.com

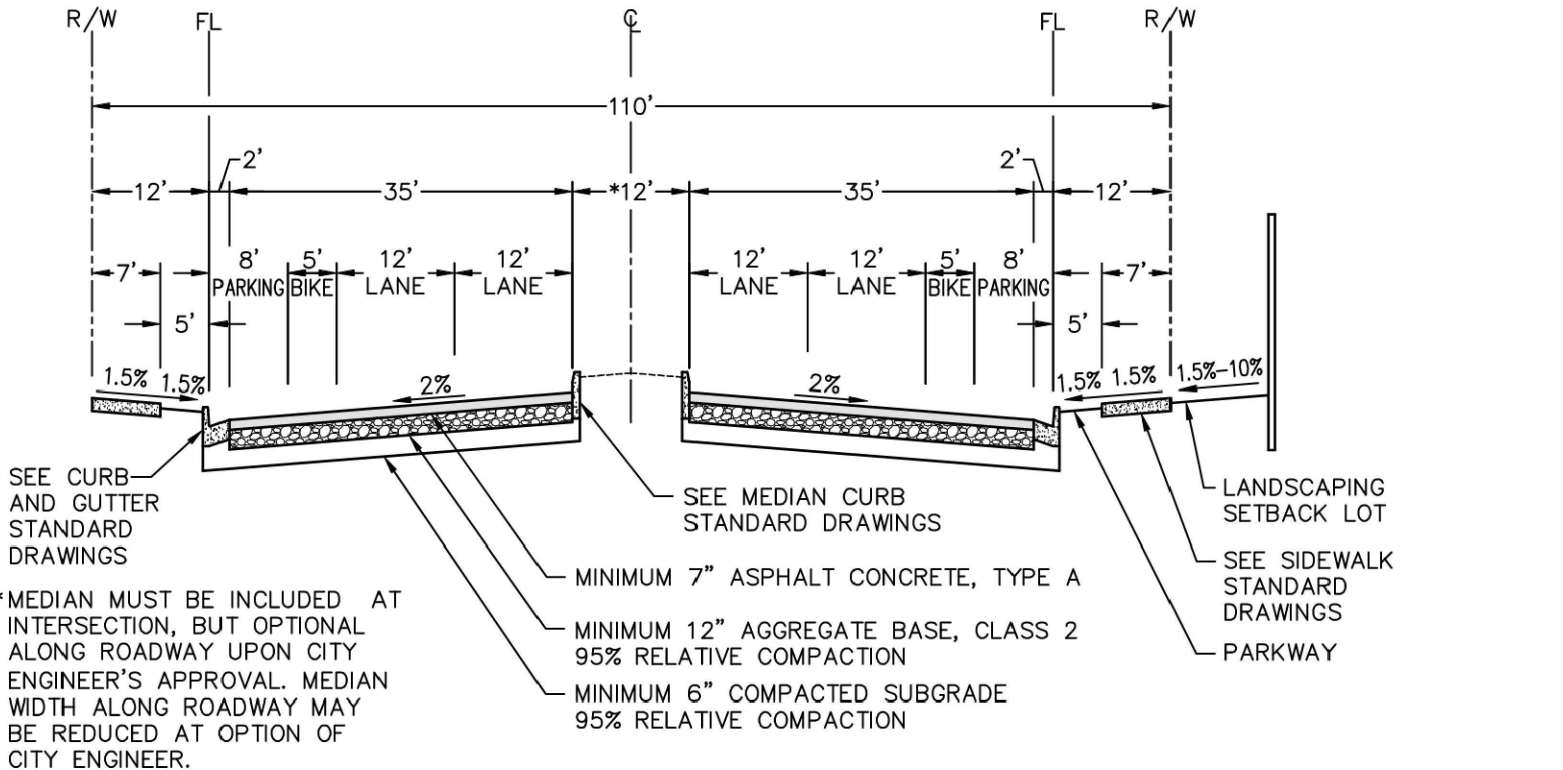


901 EAST MAIN STREET
VISALIA, CA 93292
© COPYRIGHT BY QUAD KNOPS, INC. UNAUTHORIZED USE PROHIBITED.

TEL: (559) 733-0440
WWW.QKINC.COM

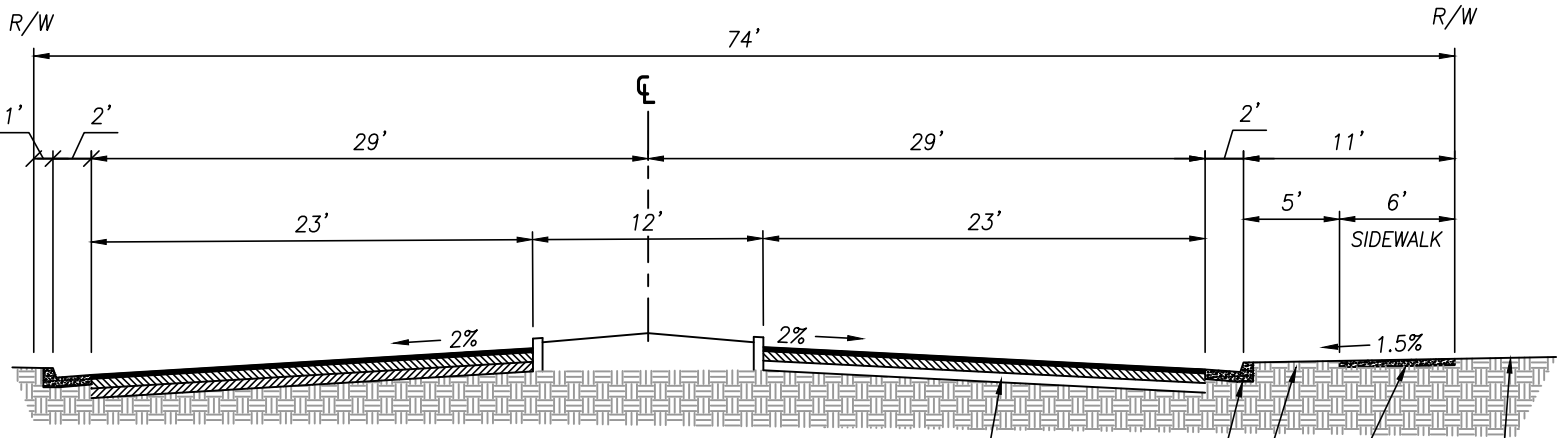
SOUTHERN CALIFORNIA GAS COMPANY:
JUAN MEJORADO
404 N. TIPTON STREET, VISALIA, CA 93292
559-739-2317
JMMejorado@scgasc.com

COMCAST:
MICHAEL CORRAL
1031 N. PLAZA DRIVE, VISALIA, CA 93291
O: 559-735-2104
C: 559-217-9003
Michael.Corral@comcast.com



PRATT ROAD COLLECTOR

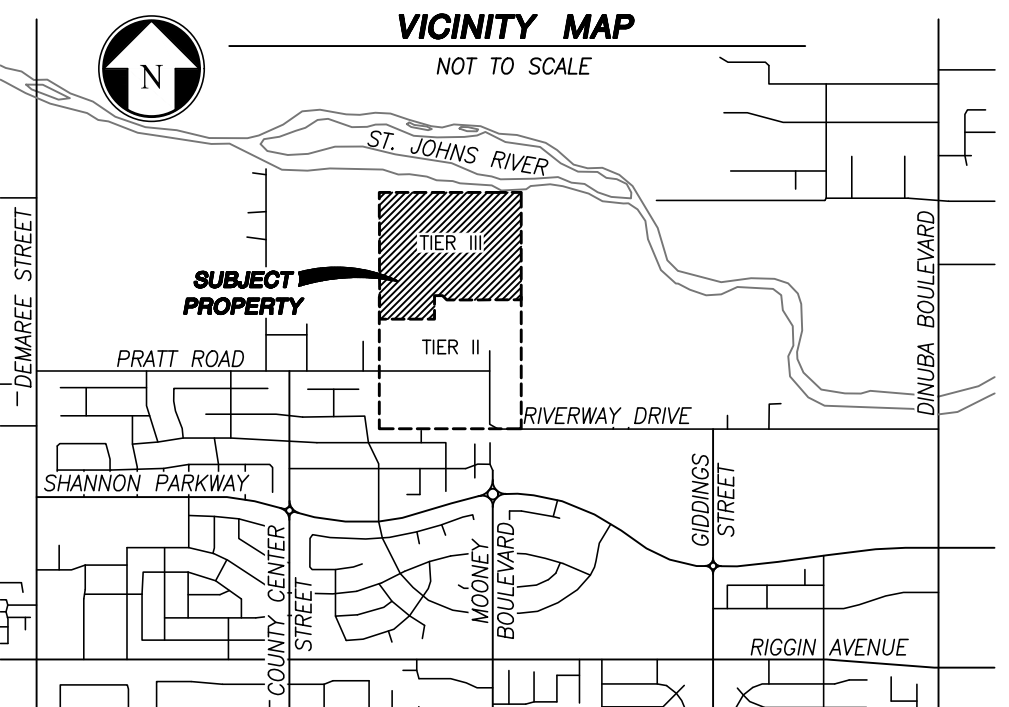
4 LANE COLLECTOR - P-5
NOT TO SCALE



MOONEY BOULEVARD COLLECTOR

SCALE: 1" = 10'
2 LANE COLLECTOR - P-3
CONSTRUCT CITY STANDARD STREET, TYP.

TYPICAL STREET CROSS SECTIONS: SEE SHEET 2



VICINITY MAP

NOT TO SCALE

- LEGEND**
- CENTERLINE
 - PROPERTY LINE
 - RIGHT OF WAY LINE
 - SECTION LINE
 - EXISTING RIGHT OF WAY
 - EXISTING LOT LINES
 - PUBLIC UTILITY EASEMENT
 - EXISTING EDGE OF PAVEMENT/ROAD
 - EXISTING CONTOUR LINE
 - FEMA BFE CONTOUR
 - EXISTING OVERHEAD ELECTRICAL
 - SHEET INDEX LINE
 - EXISTING BARBED WIRE FENCE
 - EXISTING POST
 - EXISTING POWER POLE
 - EXISTING VENT PIPE
 - EXISTING RISER

ABBREVIATIONS

D.N. DENOTES RECORD DOCUMENT NUMBER, TULARE COUNTY RECORDS
O.R. OFFICIAL RECORDS TULARE COUNTY
P.U.E. PUBLIC UTILITY EASEMENT
R/W RIGHT OF WAY
R. RADIUS

TOPOGRAPHIC SURVEY

TOPOGRAPHIC INFORMATION SHOWN ON THIS MAP WAS COLLECTED AND PROVIDED BY QK IN JANUARY 2018, JUNE 2020, AND AUGUST 2020.

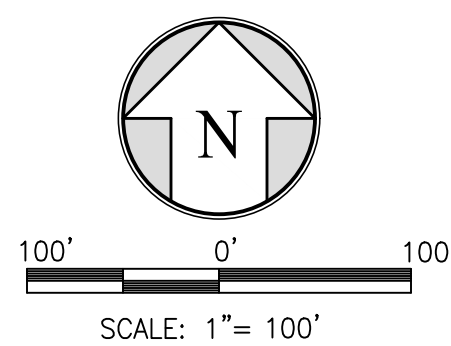
FLOOD NOTE

THE SUBJECT SITE IS WITHIN FLOOD ZONES AE AND X AS SHOWN ON FEMA FIRM PANEL 06107C0930E, EFFECTIVE 6/16/2009.

ACREAGE AND LAND USE

	NO. OF UNITS	GROSS ACRES	GROSS DENSITY UNITS/ACRE	PROPOSED ZONE
50' x 100' LOTS AND PUBLIC STREETS:	90	15.46	5.83	R-1-5
38' x 72' LOTS AND PRIVATE STREETS:	206	23.03	8.94	R-M-2
HOA PARK (PRIVATE):	N/A	1.03	N/A	QP
HOA PARKING STALLS:	N/A	0.22	N/A	QP
PARK (PUBLIC):	N/A	1.14	N/A	QP
TRAIL/LANDSCAPE - LOTS K THRU Q:	N/A	1.32	N/A	VARIOUS
AVENUE 320 AND MOONEY BLVD ROW:	N/A	3.93	N/A	N/A
TOTALS:	296	46.13		

*NOTE: LOTS 248-254, 262-268, 293-306, AND 324-337 OF PROPOSED ZONE R-1-5 HAVE A DEPTH OF 99' (39 TOTAL)
*NOTE: LOTS 389-410 AND 364-385 OF PROPOSED ZONE R-M-2 HAVE A DEPTH OF 68.75' (42 TOTAL)



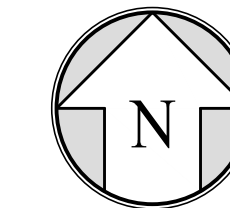
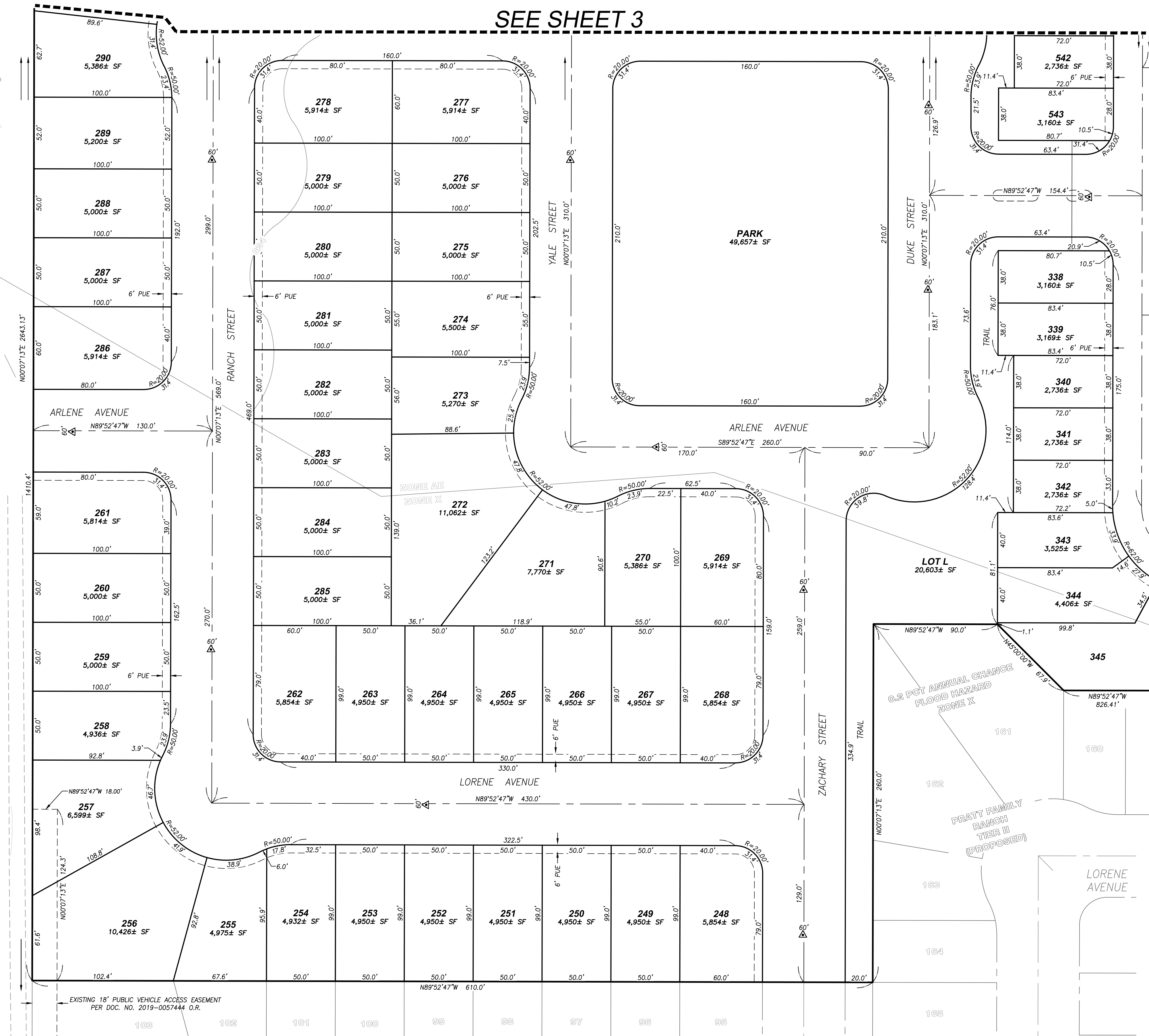
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IN THE CITY OF VISALIA, COUNTY OF TULARE, STATE OF CALIFORNIA.

SEE SHEET 3

SEE SHEET 5



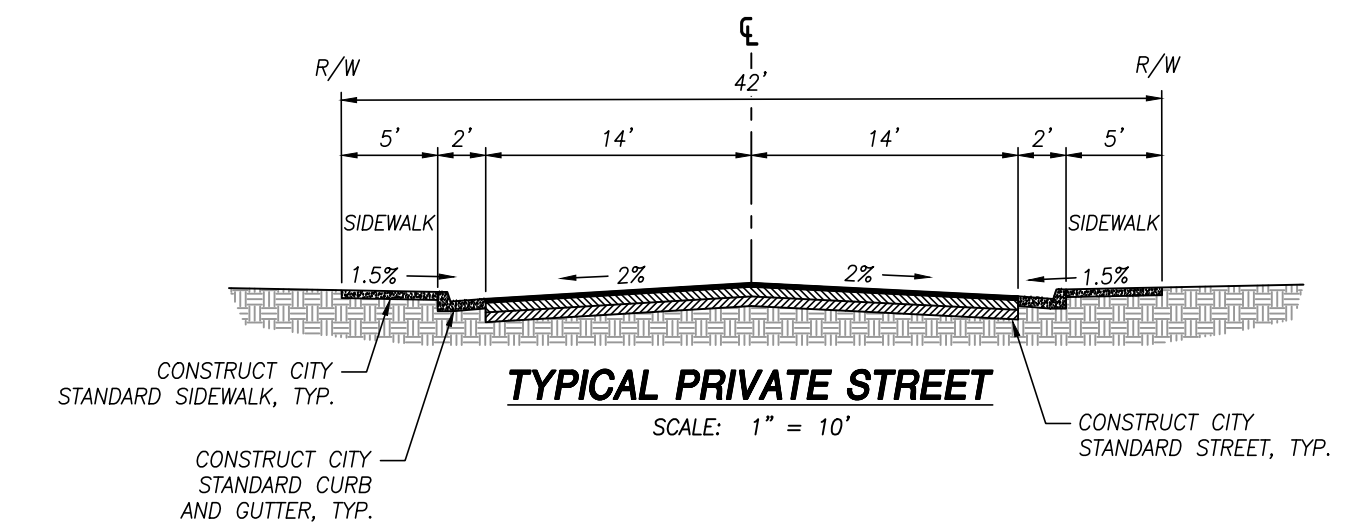
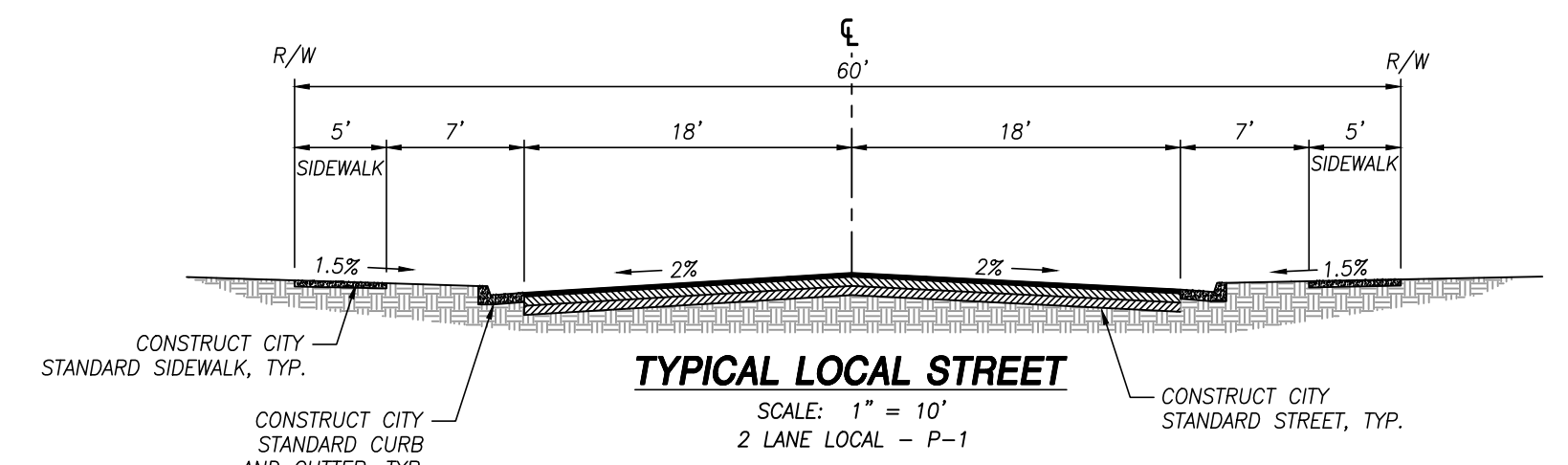
SCALE: 1" = 40'

LEGEND

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- EXISTING CONTOUR LINE
- EXISTING OVERHEAD ELECTRICAL
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- EXISTING POST
- EXISTING POWER POLE
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ABBREVIATIONS

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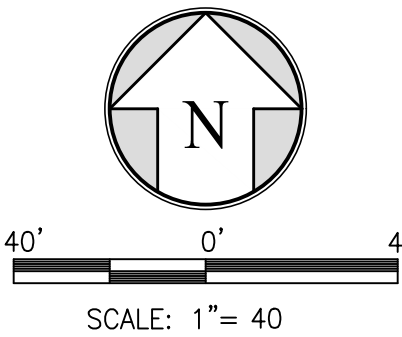
IN THE CITY OF VISALIA, COUNTY OF TULARE, STATE OF CALIFORNIA.

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LEGAL DESCRIPTION

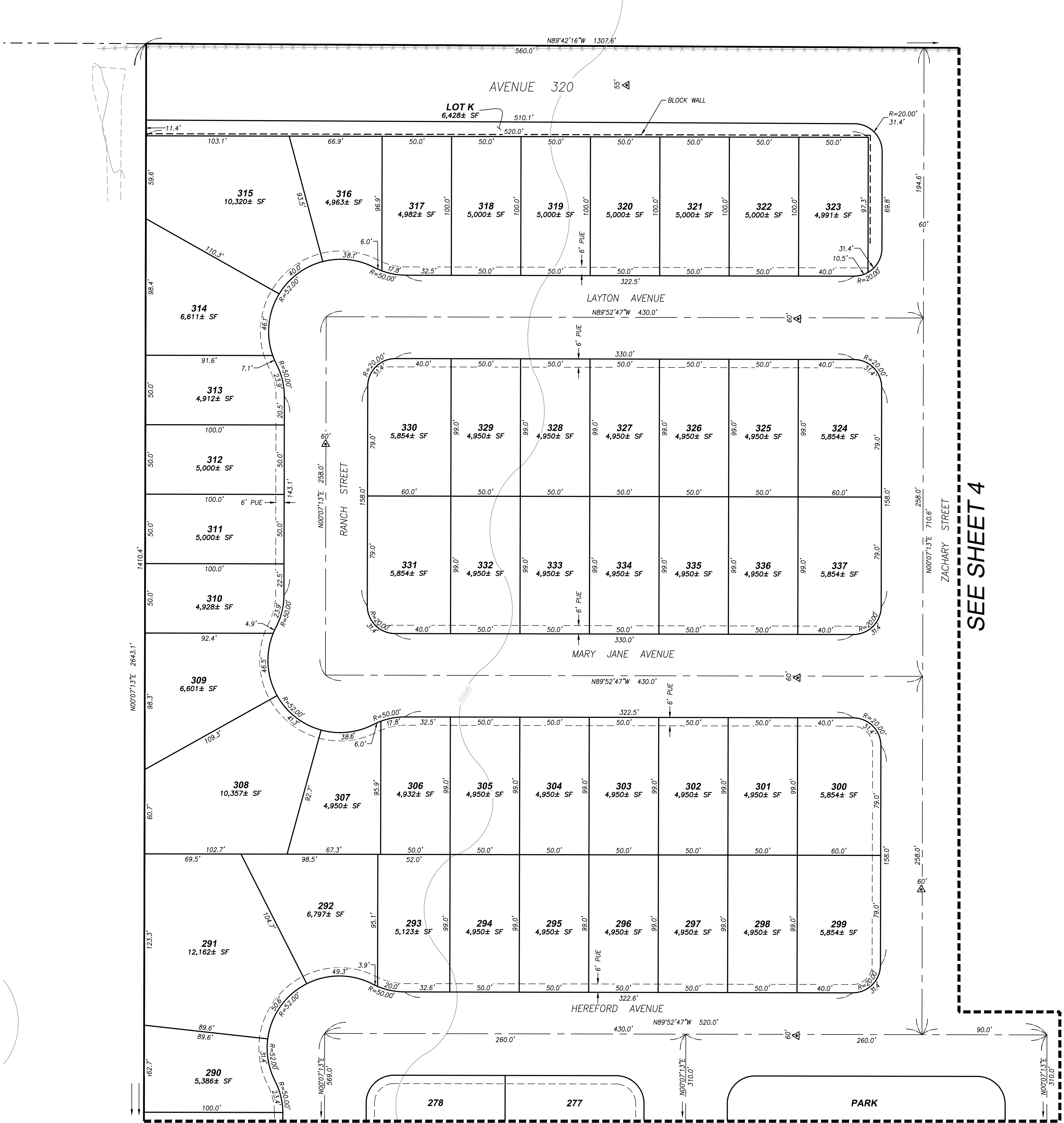
PARCEL 1: (APN'S: 078-010-028 AND 078-110-022)
THAT PORTION OF THE EAST HALF OF THE NORTHEAST QUARTER OF SECTION 13, TOWNSHIP 18 SOUTH, RANGE 24 EAST, AND THE WEST HALF OF THE NORTHWEST QUARTER OF SECTION 18, TOWNSHIP 18 SOUTH, RANGE 25 EAST, MOUNT DIABLO BASE AND MERIDIAN, IN THE COUNTY OF TULARE, STATE OF CALIFORNIA, MORE PARTICULARLY DESCRIBED AS FOLLOWS;

BEGINNING AT THE SOUTHWEST CORNER OF THE NORTH HALF, OF THE SOUTHEAST QUARTER, OF THE NORTHEAST QUARTER OF SAID SECTION 13;
THENCE NORTH 0°07'12" EAST, ALONG THE WEST LINE OF SAID EAST HALF, 695.01 FEET, TO A POINT ON A LINE PARALLEL WITH, AND DISTANT 695.00 FEET NORTHERLY, AS MEASURED AT RIGHT ANGLES FROM, THE SOUTH LINE OF SAID NORTH HALF;
THENCE SOUTH 89°37'40" EAST, ALONG SIDE LINE, 1570.95 FEET, MORE OR LESS, TO THE WEST LINE OF THE EAST 60 ACRES OF THE WEST HALF OF THE NORTHWEST QUARTER OF SAID SECTION 18;
THENCE SOUTH 00°19'55" WEST, ALONG SAID WEST LINE, 1356.57 FEET, TO THE SOUTH LINE OF SAID NORTHWEST QUARTER OF SECTION 18;
THENCE NORTH 89°34'18" WEST, ALONG SAID SOUTH LINE, 257.83 FEET, MORE OR LESS, TO THE EAST QUARTER CORNER OF SAID SECTION 13;
THENCE NORTH 0°06'30" EAST, ALONG THE EAST LINE OF SAID SECTION 13, A DISTANCE OF 661.33 FEET, TO THE SOUTHLINE OF SAID NORTH HALF;
THENCE NORTH 89°37'40" WEST, ALONG LAST SAID SOUTH LINE, 1307.97' TO THE POINT OF BEGINNING.

PARCEL 2: (APN'S: 078-010-029 AND 078-110-023)
THAT PORTION OF THE EAST HALF OF THE NORTHEAST QUARTER OF SECTION 13, TOWNSHIP 18 SOUTH, RANGE 24 EAST, AND THE WEST HALF OF THE NORTHWEST QUARTER OF SECTION 18, TOWNSHIP 18 SOUTH, RANGE 25 EAST, MOUNT DIABLO BASE MERIDIAN, IN THE COUNTY OF TULARE, STATE OF CALIFORNIA, MORE PARTICULARLY DESCRIBED AS FOLLOWS;

COMMENCING FOR REFERENCE AT THE SOUTHWEST CORNER OF THE NORTH HALF, OF THE SOUTHEAST QUARTER, OF THE NORTHEAST QUARTER OF SAID SECTION 13;
THENCE NORTH 0°07'12" EAST, ALONG THE WEST LINE OF SAID EAST HALF, 695.01 FEET, TO A POINT ON A LINE PARALLEL WITH, AND DISTANT 695.00 FEET NORTHERLY, AS MEASURED AT RIGHT ANGLE FROM, THE SOUTH LINE OF SAID NORTH HALF, AND THE TRUE POINT OF BEGINNING;
THENCE CONTINUING ALONG SAID WEST LINE, NORTH 0°07'12" EAST, 1287.23 FEET, TO A POINT ON THE NORTH LINE OF SAID SECTION 13, SAID POINT ALSO BEING THE NORTHWEST CORNER OF SAID EAST HALF OF THE NORTHEAST QUARTER OF SAID SECTION 13;
THENCE ALONG SAID NORTH LINE, SOUTH 89°42'15" EAST, 1307.56 FEET, TO THE NORTHEAST CORNER OF SAID SECTION 13, SAID POINT ALSO BEING THE NORTHWEST CORNER OF SAID SECTION 18;
THENCE ALONG THE NORTH LINE OF SAID SECTION 18, SOUTH 89°47'00" EAST, 268.16 FEET, MORE OR LESS, TO THE WEST LINE OF THE EAST 60 ACRES OF THE WEST HALF OF THE NORTHWEST QUARTER OF SAID SECTION 18;
THENCE SOUTH 00°19'55" WEST ALONG LAST SAID WEST LINE, 1289.69 FEET TO A POINT ON A LINE PARALLEL WITH, AND DISTANT 695.00 FEET NORTHERLY, AS MEASURED AT RIGHT ANGLES FROM, THE SOUTH LINE OF THE NORTH HALF OF THE SOUTHEAST QUARTER OF THE NORTHEAST QUARTER
OF SAID SECTION 13;
THENCE ALONG SAID PARALLEL LINE, NORTH 89°37'40" WEST, 1570.85 FEET, TO THE TRUE POINT OF BEGINNING.

PARCEL 3: (APN: 078-010-025-000)
THE SOUTH HALF OF THE SOUTHEAST QUARTER OF THE NORTHEAST QUARTER OF SECTION 13, TOWNSHIP 18 SOUTH, RANGE 24 EAST, MOUNT DIABLO BASE AND MERIDIAN, IN THE COUNTY OF TULARE, STATE OF CALIFORNIA, ACCORDING TO THE OFFICIAL PLAT OF THE SURVEY OF SAID LAND ON FILE IN THE BUREAU OF LAND MANAGEMENT AT THE DATE OF THE ISSUANCE OF THE PATENT THEREOF.



SEE SHEET 2

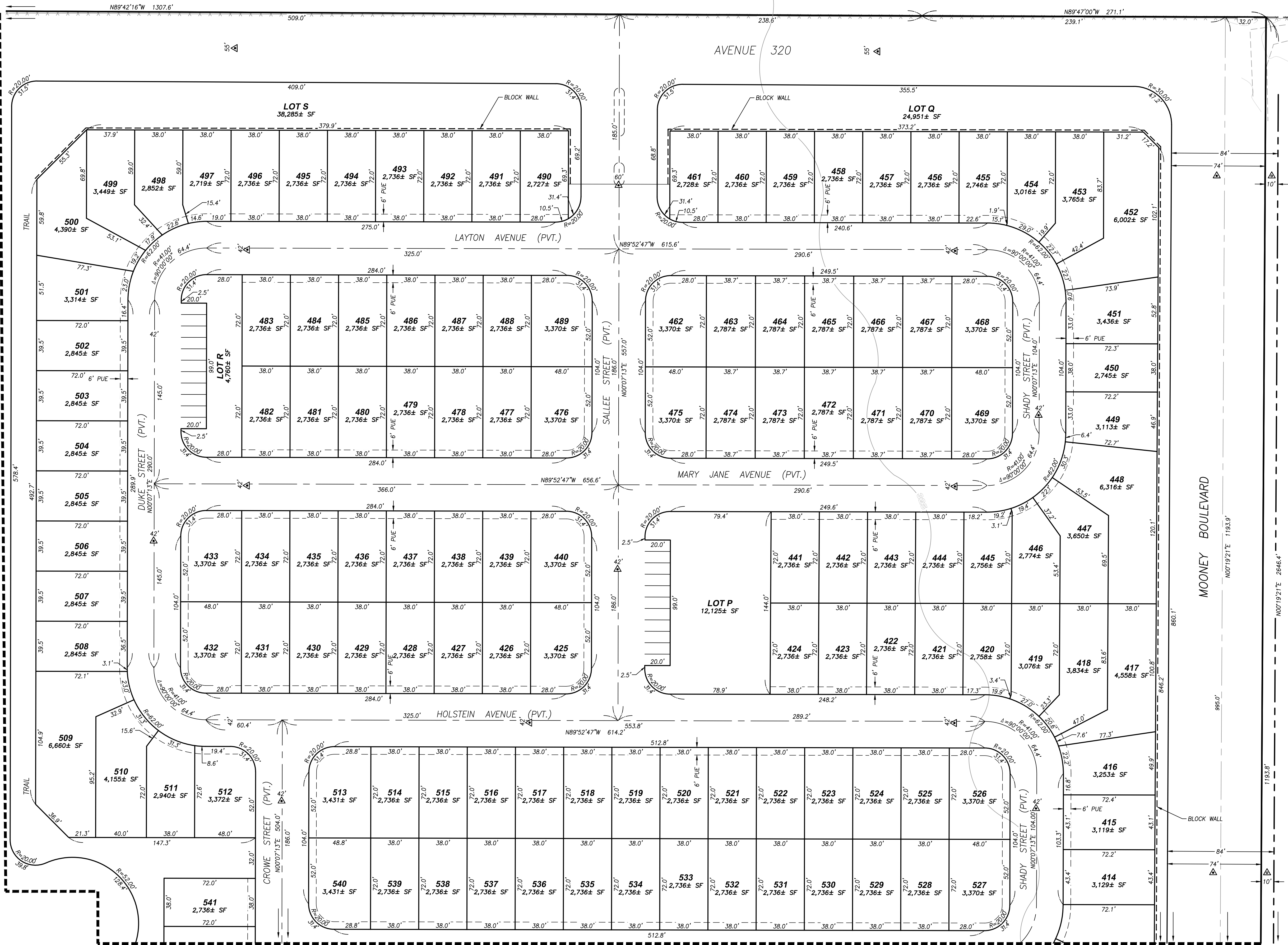
SEE SHEET 4

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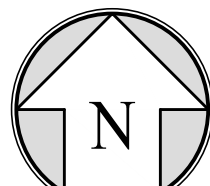


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- EXISTING RIGHT OF WAY DEDICATION
- PROPOSED RIGHT OF WAY DEDICATION

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- O.R. OFFICIAL RECORDS TULARE COUNTY
- PUE PUBLIC UTILITY EASEMENT
- R/W RIGHT OF WAY
- R RADIUS



SCALE: 1" = 40'

SEE SHEET 5

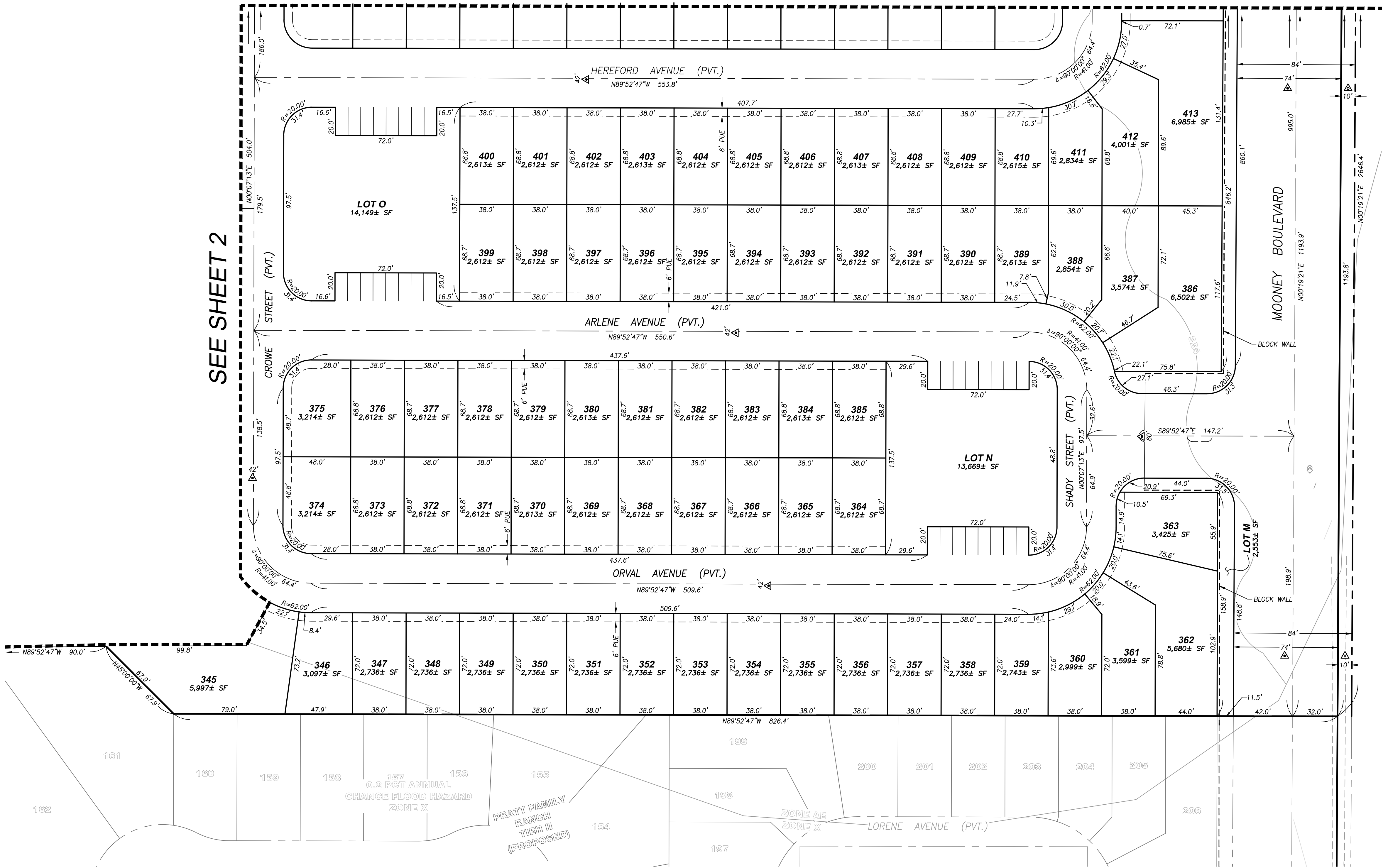
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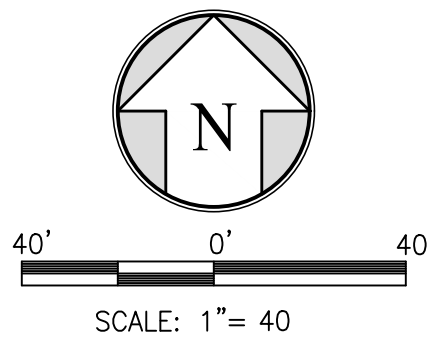
SEE SHEET 4

SEE SHEET 2



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CITY OF VISALIA SITE PLAN REVIEW APPLICATION

- Additional information and assistance in filling out this application can be found at the City of Visalia website (www.visalia.city) or by calling (559) 713-4440-



This application MUST be filled out in its entirety and submitted with an acceptable site plan (see site plan minimum requirements & submittal details on Page 2). Failure to provide all requested information may result in rejection of your application and exclusion from the Site Plan Review agenda.

- Site Plan Review meetings are held on Wednesdays at 9am at City Hall East - 315 E Acequia Ave - Applicant(s) or Representative(s) must be present -

- Application submittal deadline is 4pm on Thursdays to be scheduled for the next available meeting -

GENERAL PROJECT INFORMATION

Project/Business Name: Renovation of Amigo Row Date: 04/07/2022

Project Description: Renovation of Amigo Row's assembly space and accessory uses for Radiant Church use

Site Plan Review Resubmittal: Yes ☒ No ☐ If Resubmittal, Previous Site Plan Review Number: 2021-230-B

Property Owner: Radiant Church

Applicant(s) Name: Thom Black

Project Address/Location: 514 E Main St

Assessor Parcel Number: 094-231-027

Parcel Size (Acreage or Square Feet): 16,585 sq ft Building or Suite Square Footage: 5,300 sq ft

Are There Any Proposed Building Modifications: Yes ☒ No ☐
 Estimated Cost of Modifications to Building: \$230,000 (budget subject to updates)

Describe All Proposed Building Modifications:

-ASSEMBLY: NEW HVAC, NEW FINISHES, RENOVATE STOREFRONT..CORE AREA: RENOVATE EXISTING BACK ROOM SPACES FOR RESTROOMS AND SUPPORT SPACES, NEW HVAC

-UPSTAIRS AREA: RENOVATE EXISTING BACK ROOM SPACES FOR STAFF WORKSTATIONS, NEW HVAC

-INSTALL ONE-HOUR SEPERATION, INSTALL FIRE SPRINKLERS THROUGHOUT

--- THIS AREA FOR CITY STAFF USE ONLY ---

Date Received: 04/07/2022

SPR Agenda: 04/13/2022 Item No. _____

Zone: _____ SPR No. 21-230

Historic District: Yes ☐ No ☐

Flood Zone: X ☐ AE ☐ X/AE ☐

OPERATIONS & TRAFFIC INFORMATION

-- A SEPARATE, DETAILED OPERATIONAL STATEMENT IS HIGHLY RECOMMENDED FOR ALL SUBMITTALS --

Existing/Prior Building Use: No change

Proposed Building Use: No change

Proposed Hours of Operation: See attached operation statement

Days of Week In Operation (Circle): Su M T W Th F Sa

Number of Employees Per Day: Existing _____ Proposed _____

Number of Customers Per Day (Estimated): Existing _____ Proposed _____

Predicted Peak Operating Hour: _____

Describe Any Truck Delivery Schedule & Operations: _____

Please Identify Any Unique or Specific Traffic Patterns That Will Require Accommodations For Operations, Customers, or Employees (Provide Separate Attachment if Necessary): _____

Describe Any Special Events Planned for the Facility: _____

SITE PLAN MINIMUM REQUIREMENTS

- ⇒ Submit a digital copy of the site plan(s) and completed application on a flash drive or equivalent (PDF format preferred, hard paper copies not accepted).
- ⇒ Digital copies must be clear, legible, and on a layout sized appropriately to convey all necessary project information.
- ⇒ Site plan shall provide for and indicate all of the following:
- | | | |
|----------------------------------------------------------------------------------------|-------------------------------------|------------------------------------------------------------------------------------|
| - North arrow | - Existing & proposed structures | - Loading/unloading areas |
| - All existing & proposed site features | - Adjacent street names | - Accessible path of travel from right of way |
| - Site dimensions, including building | - Refuse enclosures & containers | - Accessible path of travel from ADA stall |
| - Existing and proposed fencing at site | - Valley oak trees (show drip line) | - Location and width of drive approaches to site |
| - Public improvements (curbs, sidewalks, utility poles, hydrants, street lights, etc.) | - Existing & proposed landscaping | - Tentative maps shall adhere to requirements of Visalia Municipal Code Section 16 |
| | - Parking stalls (include ADA) | |

Applicant Information (Final comments will be mailed to the name and address provided below)

Name: <u>Thom Black</u>	Signature of Owner or Authorized Agent*	
Address: <u>P O Box 3424</u>	Owner	Date
City, State, Zip <u>Visalia, CA 93278</u>	<u>Thom Black</u>	<u>4/7/2022</u>
Phone: <u>559 967-0850 (cell)</u>	Authorized Agent*	Date
Email: <u>thomabg1@gmail.com</u>		

* If signed by an authorized agent, the "Agency Authorization" information below must be completed for this application to be considered acceptable.

AGENCY AUTHORIZATION

OWNER:

I, on file, declare as follows; I am the owner of certain real property bearing assessor's parcel number (APN):

AGENT:

I designate _____, to act as my duly authorized agent for all purposes necessary to file an application for, and obtain a permit to _____ relative to the property mentioned herein.

I declare under penalty of perjury the foregoing is true and correct.

Executed this _____ day of _____, 20____.

<u>OWNER</u>	Signatures	<u>AGENT</u>
Signature of Owner		Signature of Agent
Owner Mailing Address		Agent Mailing Address
Owner Phone Number		Agent Phone Number



Operational Statement

Amigo Row – 514 E. Main St.

Amigo Row will be used for medium sized church activities for groups between 20-75 people. These will be activities such as worship gatherings, classes and meals.

On Wednesday evenings, our high school youth group will use the gathering space for their time of worship, teaching and games. On Sunday mornings, we will occasionally use the building for classes and training seminars.

During normal business hours (8:30-4:00) Monday through Thursday we will use the building for our internship participants to have classes and training. This group is about 20 people and the setting will be a seminar room.

As needed, especially during months with poor weather, we will use Amigo Row for receptions following memorials services.

The use of Amigo Row will only marginally impact parking. Many activities that are now held in constrained spaces within the church campus proper will be able to get relief with the additional space. Activities that are a part of the normal programming of the congregation that are now held outdoors can now be indoors without regard to restrictions of weather conditions.

Further, events that are exceptions to the normal programs that can't be held outdoors and have to be held off-site, due to space constraints, can now be held on campus. Such events that mandate it will require consulting the City for any special traffic/pedestrian controls and permitting for sound event planning.

As is the current practice, staff and trained members broadcast via announcements and word-of-mouth about the parking available in adjacent City parking lots.

Respectfully submitted,

A handwritten signature in black ink, appearing to read "Mike Young", is written over a light blue horizontal line.

Mike Young

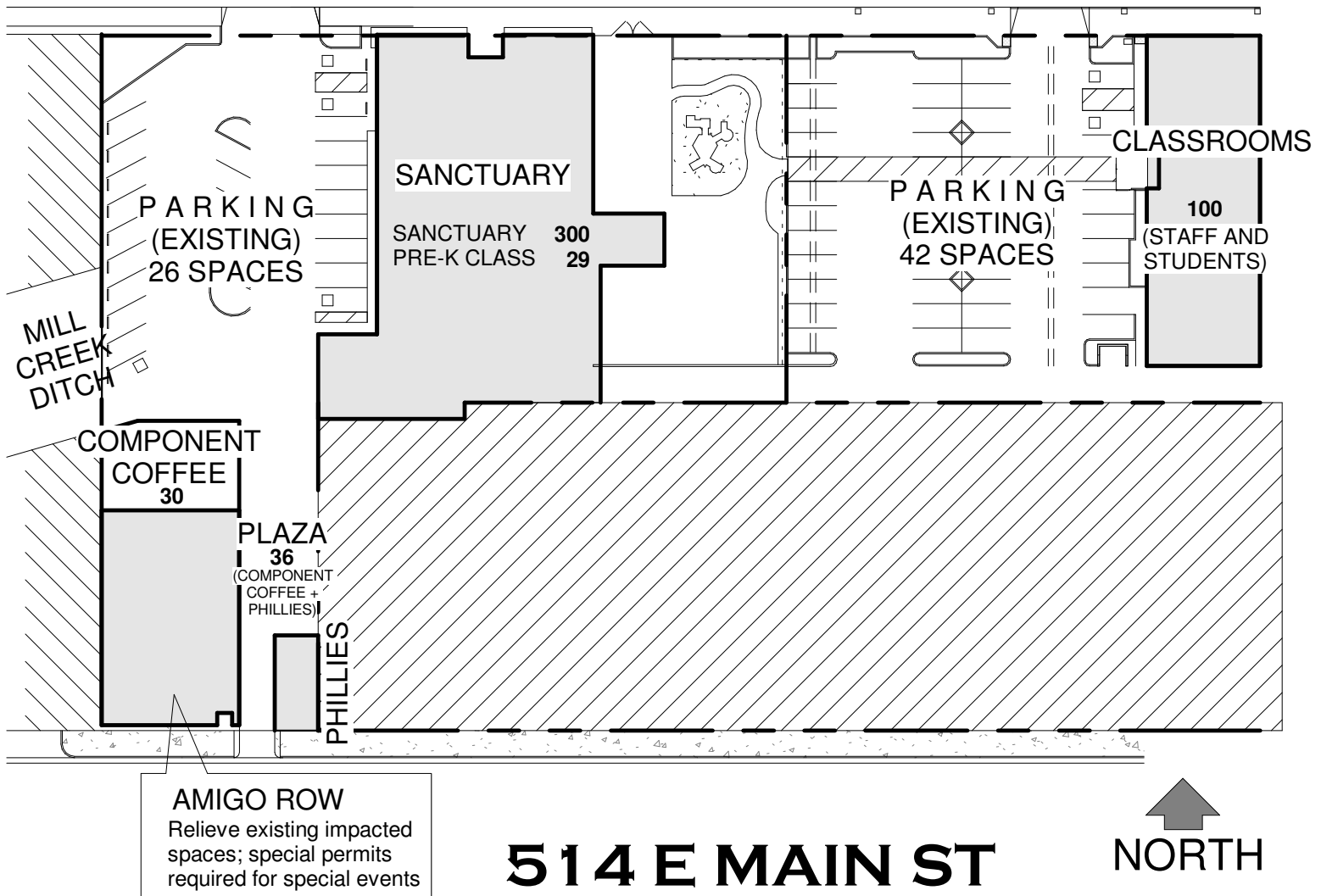
Operations Director

mike@radiantvisalia.com

559-709-4963

CENTER AVE

PARKING SUPPLEMENTED
BY PUBLIC PARKING LOTS
19, 42, 43, & 44





Operational Statement

Amigo Row – 514 E. Main St.

Amigo Row will be used for medium sized church activities for groups between 20-75 people. These will be activities such as worship gatherings, classes and meals.

On Wednesday evenings, our high school youth group will use the gathering space for their time of worship, teaching and games. On Sunday mornings, we will occasionally use the building for classes and training seminars.

During normal business hours (8:30-4:00) Monday through Thursday we will use the building for our internship participants to have classes and training. This group is about 20 people and the setting will be a seminar room.

As needed, especially during months with poor weather, we will use Amigo Row for receptions following memorials services.

The use of Amigo Row will only marginally impact parking. Many activities that are now held in constrained spaces within the church campus proper will be able to get relief with the additional space. Activities that are a part of the normal programming of the congregation that are now held outdoors can now be indoors without regard to restrictions of weather conditions.

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As is the current practice, staff and trained members broadcast via announcements and word-of-mouth about the parking available in adjacent City parking lots.

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Mike Young

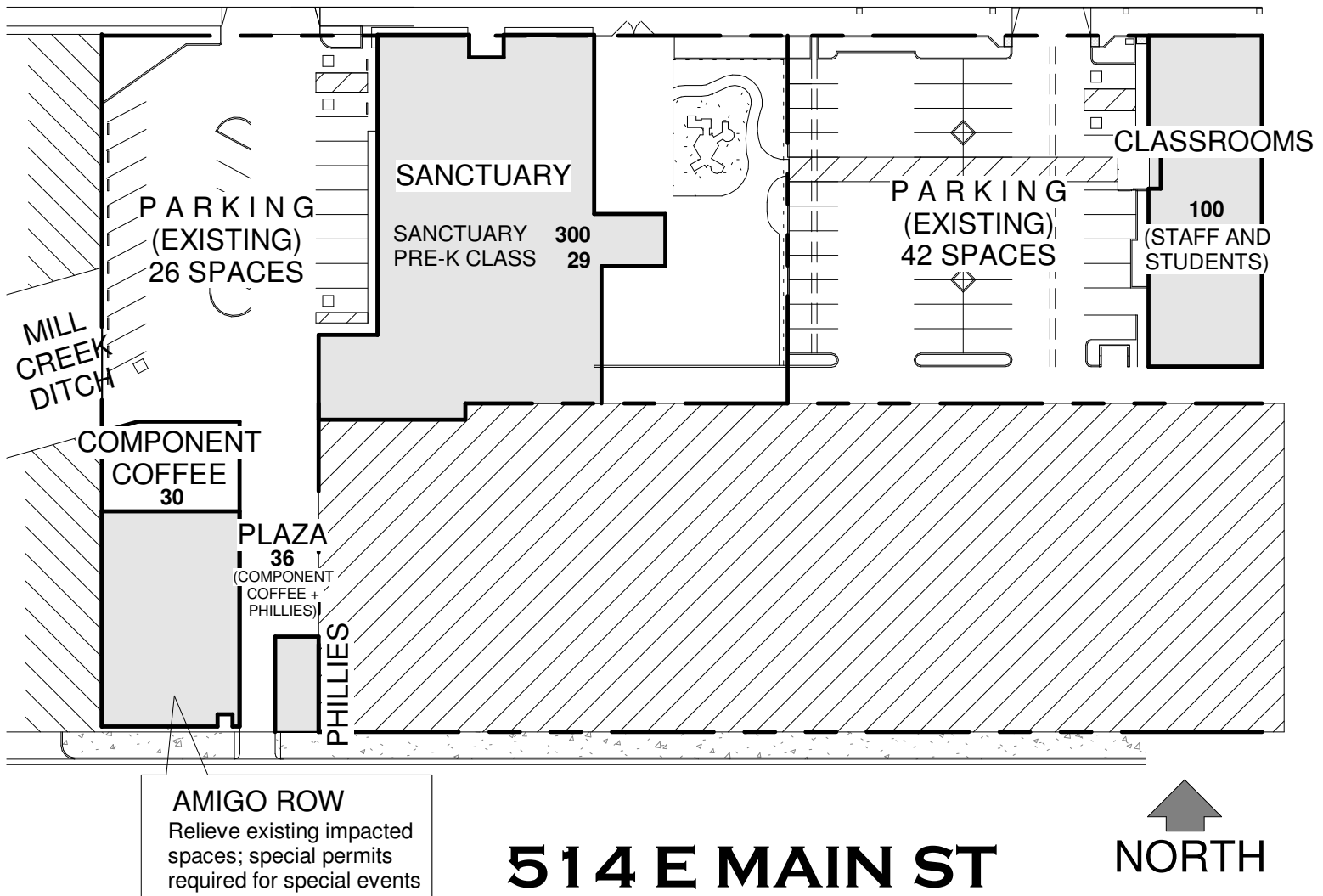
Operations Director

mike@radiantvisalia.com

559-709-4963

CENTER AVE

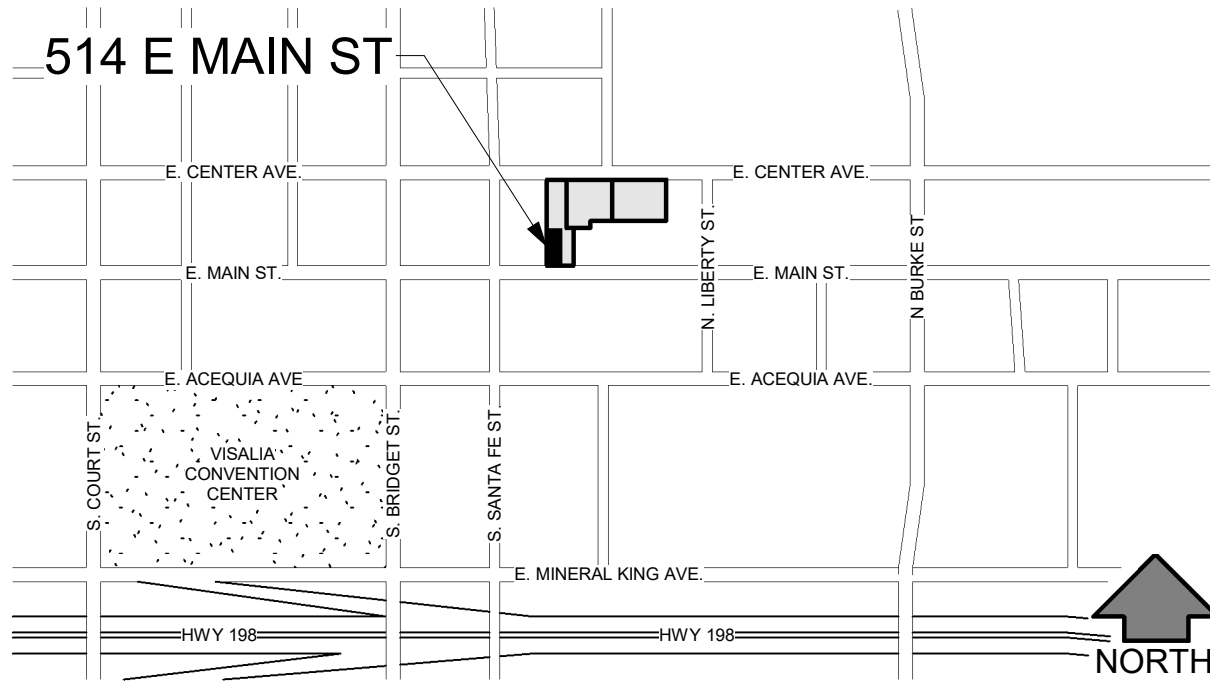
PARKING SUPPLEMENTED
BY PUBLIC PARKING LOTS
19, 42, 43, & 44



AMENDMENT TO CUP 2021-230
IMPROVEMENTS TO 514 E MAIN ST
AMIGO ROW

SPR 18-081 (April 25, 2018)
SPR 19-180 (September 25, 2019)
CUP 2003-04 (Kid's classroom building)
CUP 2013-27 (Various improvements on main campus and Amigo Row)
CUP 2021-230 (Renovation of Amigo Row's assembly space aand accessory uses for Radiant Church use)

VICINITY MAP



ORDER OF DRAWINGS

	SHEET NAME
CUP.1	COVER SHEET
CUP.2	FLOOR PLANS
CUP.3	EXTERIOR ELEVATIONS

CODE CITATIONS

BUILDING CODE:
2019 BUILDING STANDARDS ADMINISTRATIVE CODE, PART 1, TITLE 24 C.C.R.
2019 CALIFORNIA BUILDING CODE (CBC) PART 2, TITLE 24 C.C.R. VOLUMES 1 & 2
(2018 INTERNATIONAL BUILDING CODE WITH CALIFORNIA AMENDMENTS).
2019 CALIFORNIA ELECTRICAL CODE (CEC), PART 3, TITLE 24 C.C.R. (2017
NATIONAL ELECTRICAL CODE OF THE NATIONAL FIRE PROTECTION
ASSOCIATION)
2019 CALIFORNIA MECHANICAL CODE (CMC), PART 4, TITLE 24 C.C.R. (2018
UNIFORM MECHANICAL CODE AND CA AMENDMENTS)
2019 CALIFORNIA PLUMBING CODE (CPC), PART 5, TITLE 24 C.C.R. (2018 UNIFORM
PLUMBING CODE AND AMENDMENTS)
2019 CALIFORNIA ENERGY CODE AND ENERGY COMMISSION STANDARDS
(CECS), PART 6, TITLE 24 C.C.R.
2019 CALIFORNIA FIRE CODE (CFC), PART 9, TITLE 24 C.C.R. (2018
INTERNATIONAL FIRE CODE)
2019 CALIFORNIA GREEN BUILDING STANDARDS CODE, PART 11 TITLE 24 C.C.R.
2019 CALIFORNIA REFERENCED STANDARDS CODE, PART 12 TITLE 24 C.C.R.
2019 TITLE 19 C.C.R. PUBLIC SAFETY, STATE FIRE MARSHAL

Contractor shall refer to the above cited codes and local regulations where specific details
are required but not depicted in the approved plans.

PROJECT OUTLINE:

PROJECT: 514 E. MAIN ST.
OWNER: RADIANT CHURCH
515 E. CENTER AVE
VISALIA, CA. 93292

ARCHITECT: THOM BLACK, ARCHITECT C 24899
(559) 967- 0850
PRODUCTION: DYLAN CABICO
REPRODUCTION: CARA'S BLUEPRINT EXPRESS
(559) 636-2459
PROPERTY: IRREGULAR
PROPERTY APN: 094-231-027
ZONE: D-MU (MIXED USED - DOWNTOWN)
FLOOD ZONE: AE (SPECIAL FLOOD HAZARD - SUBJECT TO
INUNDATION BY THE 1% ANNUAL CHANCE FLOOD)

USE: RELIGIOUS USE

OCCUPANCY: A,B
CONSTRUCTION TYPE: III B
SEISMIC DESIGN CATEGORY: D

CONCRETE FOUNDATION AND SLAB-ON-GRADE
UNREINFORCED MASONRY SHELL
WOOD FRAME FLOOR AND ROOF FRAMING
WOOD FRAME PARTITION WALLS

SCOPE OF WORK:
-ASSEMBLY: NEW HVAC, NEW FINISHES. RENOVATE STOREFRONT.
-CORE AREA: RENOVATE EXISTING BACK ROOM SPACES FOR RESTROOMS
AND SUPPORT SPACES, NEW HVAC
-UPSTAIRS AREA: RENOVATE EXISTING BACK ROOM SPACES FOR STAFF
WORKSTATIONS, NEW HVAC
-INSTALL ONE-HOUR SEPARATION, INSTALL FIRE SPRINKLERS THROUGHOUT

COVER SHEET



No.	Description	DATE
A		
B		
1	AMENDMENT TO CUP	12/23/2021
2	AMENDMENT TO CUP	12/23/2021
3	AMENDMENT TO CUP	01/13/2022
4	AMENDMENT TO CUP	04/07/2022

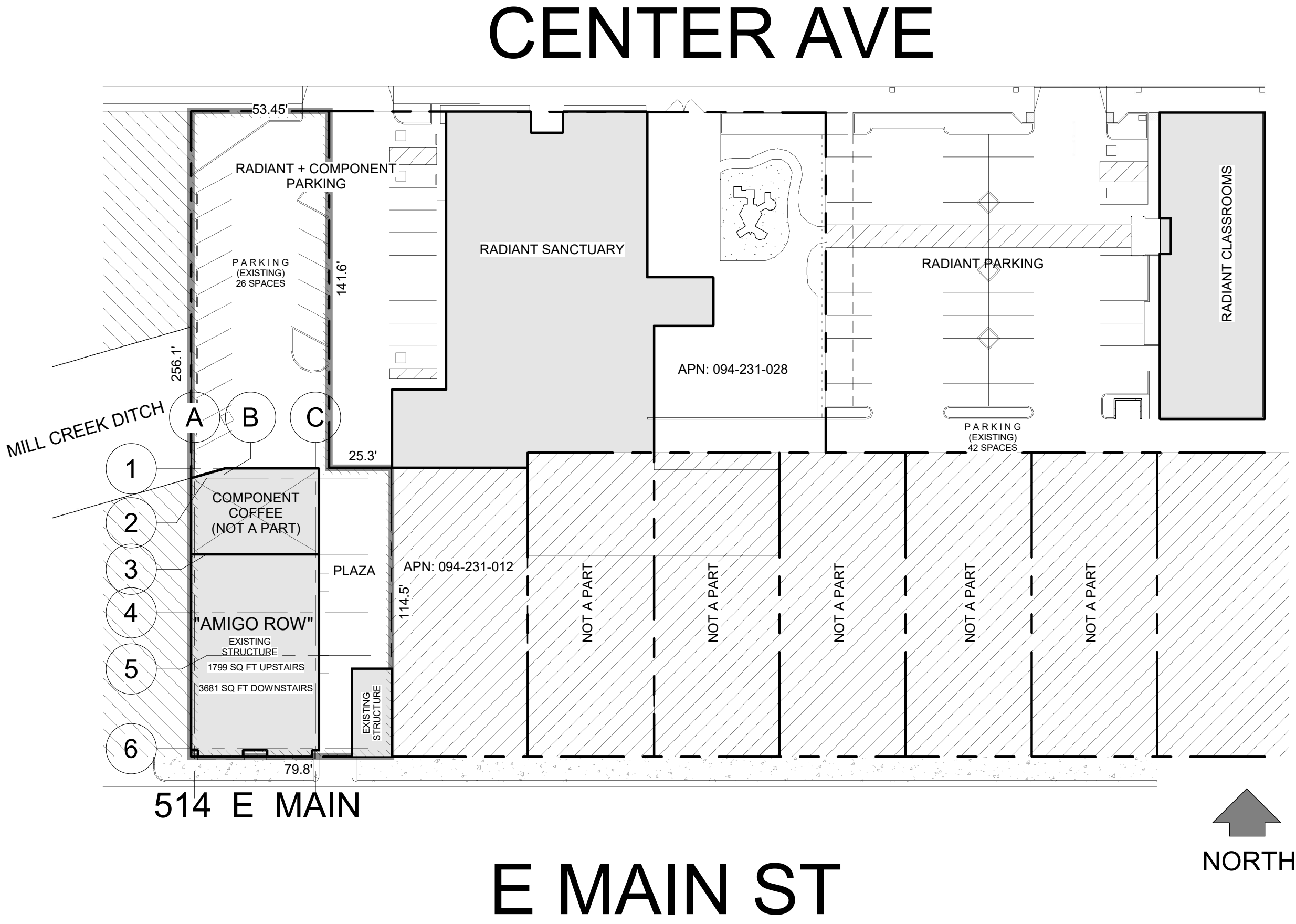
Project number 1810.3
Drawn by DC
Checked by THOM

CUP/ SPR
1
SET DATE 04/07/22

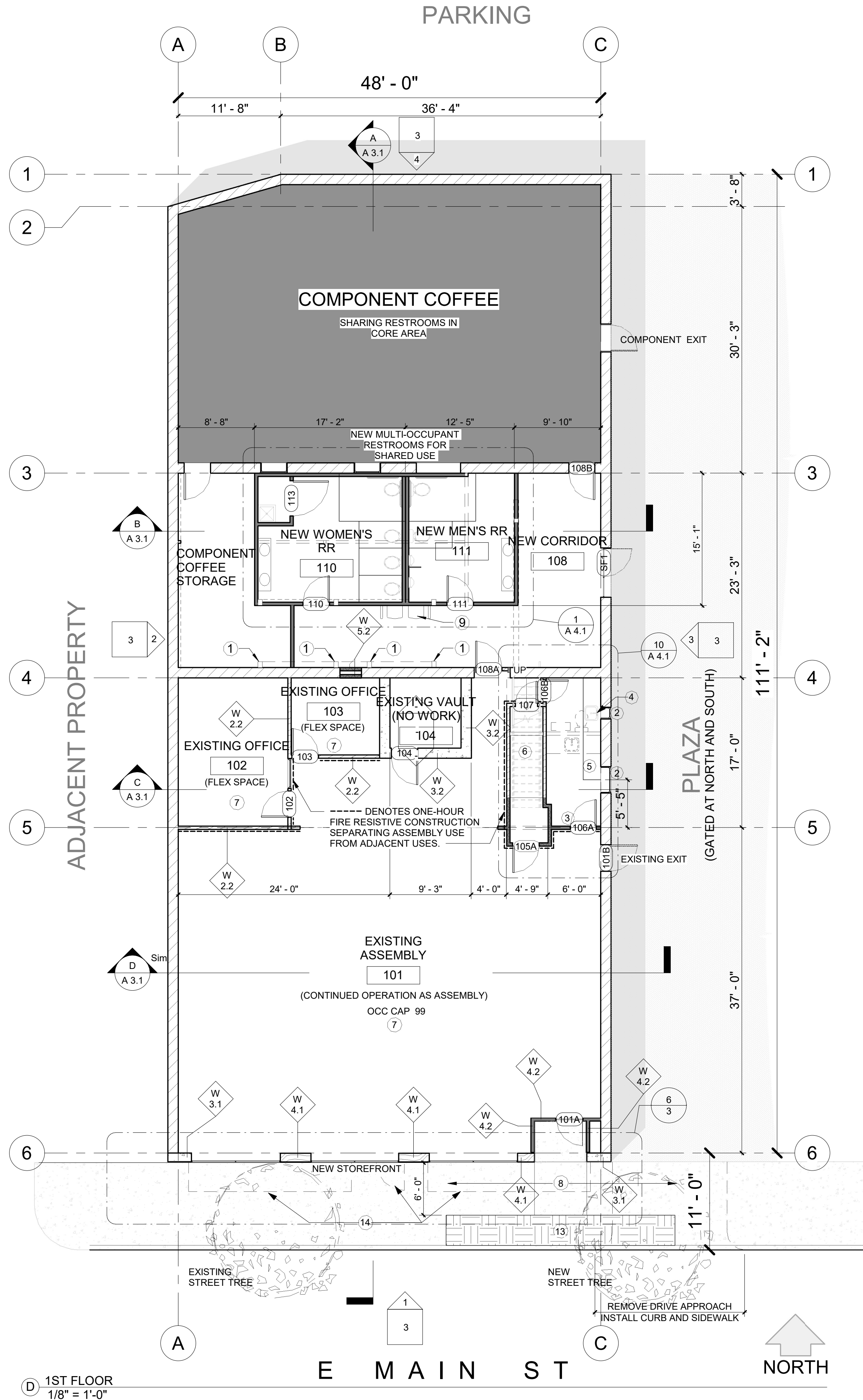
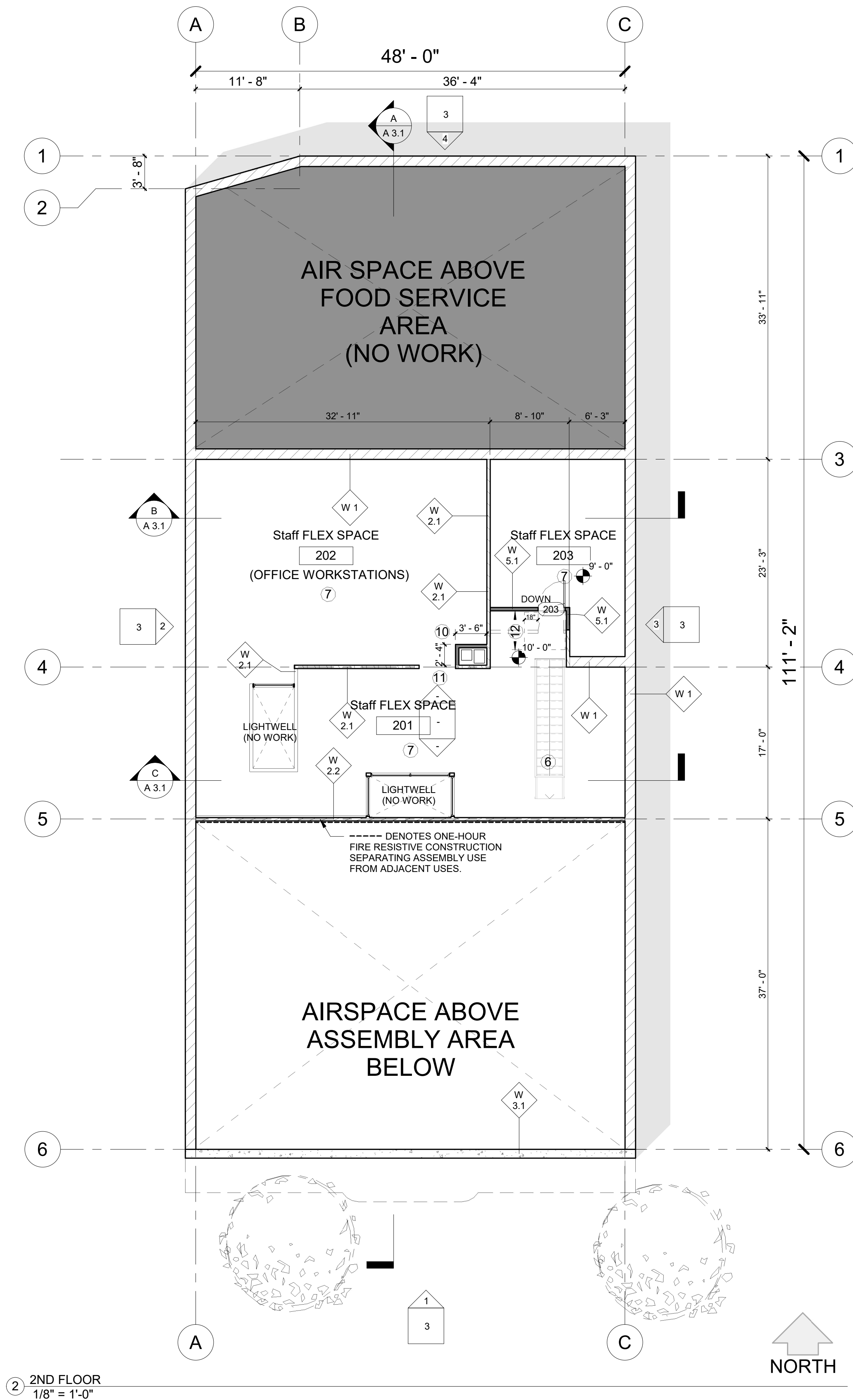
	Site Plan Comments Visalia Fire Department Corbin Reed, Fire Marshal 420 N. Burke Visalia CA 93292 559-713-4272 office prevention.division@visalia.city	Date September 23, 2019 Item # 12 Site Plan # 19-180 APN: 094231026, 027, 028
--	----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------	----------------------------------------------------------------------------------------------------

- The Site Plan Review comments are issued as **general overview** of your project. With further details, additional requirements will be enforced at the Plan Review stage. Please refer to the 2016 California Fire Code (CFC), 2016 California Building Codes (CBC) and City of Visalia Municipal Codes.
- Address numbers** must be placed on the exterior of the building in such a position as to be clearly and plainly visible from the street. Numbers will be at least four inches (4") high and shall be of a color to contrast with their background. If multiple addresses served are by a common driveway, the range of numbers shall be posted at the roadway/driveway. 2016 CFC 505.1
- All hardware on **exit doors, illuminated exit signs and emergency lighting** shall comply with the 2016 California Fire Code. This includes all locks, latches, bolt locks, panic hardware, fire exit hardware and gates.
- A **Knox Box key lock system** is required. Where access to or within a structure or area is restricted because of secured openings (doors and/or gates), a key box is to be installed in an approved location. The key box shall be ordered using an approved Knox Authorization Order Form. The forms are located at the fire department administration office located at 420 N Burke, Visalia, CA 93292. Please allow adequate time for shipping and installation. 2016 CFC 506.1
- An **automatic fire sprinkler system** will be required for this building. Also, a fire hydrant is required within 50 feet of the Fire Department Connection (FDC). Where an existing building is retrofitted with a sprinkler system (NFPA 13 or NFPA 13R) a fire hydrant shall be provided within 75 feet of the FDC. An additional 25 feet of distance between a fire hydrant and FDC may be granted when a fire sprinkler Density is designed with an additional 25%. 2016 CFC 912 and Visalia Municipal Code 8.20.010 subsection C103.4

⑦ FIRE DEPT COMMENTS
1 1/2" = 1'-0"



① SITE PLAN
1" = 40'-0"



- KEYNOTES**
- EXISTING WOOD POSTS TO REMAIN (SUPPORTING UPSTAIRS FLOOR FRAMING)
 - EXISTING WINDOWS TO REMAIN
 - REMOVE EXISTING CABINET W/ SINK
 - REMOVE EXISTING SINGLE OCCUPANT RESTROOM (NON-COMPLIANT). REMOVE FIXTURES, WALL FINISHES, ACCESSORIES, PREPARE FOR NEW WORK
 - NEW BASE CABINET, COUNTERTOP, 2 COMPARTMENT SINK, UPPER WALL CABINETS REFER TO INTERIOR ELEVATION
 - RENOVATE EXISTING STAIRS. ENCLOSE W/ ONE-HOUR FR WALLS
 - RENOVATE EXISTING FINISHES
 - NEW EXIT DOOR IN NEW ALCOVE W/ LEVEL LANDING AND SLOPE TRANSITION (5% OR LESS) TO EXISTING SIDEWALK
 - NEW DRINKING FOUNTAINS
 - HVAC CHASE FOR DUCT DROP FROM ROOFTOP TO ROUTE TO DOWNSTAIRS
 - 40° CASED OPENING
 - 48" APPROACH CLEARANCE TO DOOR, CLEAR OF STAIR HANDRAILS
 - REMOVE PORTION OF SIDEWALK AND PLANT WITH LANDSCAPE TO RESOLVE GRADE ELEVATIONS AT EXIT
 - OUTLINE OF EXISTING STOREFRONT AND ENTRY DOOR REMOVED

- OUTLINE OF PLAN SYMBOLS**
- OUTLINE OF EXISTING IMPROVEMENTS TO BE REMOVED. DEMOLITION PERMIT REQUIRED UNDER SEPARATE PERMIT
 - D DOOR TAG--REFER TO OPENINGS SHEET A 1.1
 - FE FIRE EXTINGUISHER
 - FE 1 2A10BC TANK WALL-BRACKET MOUNT: 40 LB MAX WEIGHT MOUNT WITH BRACKET RELEASE NO HIGHER THAN 60 INCHES ABOVE FIN FLR.

- WALL TAGS**
- W 1 EXISTING MASONRY WALL - LOAD BEARING (APPLY APPROVABLE FLOOD-PROOFING SYSTEM AT EXTERIOR PERIMETER)
 - W 2.1 EXISTING WOOD FRAME WALL, INTERIOR PLASTER FINISH
 - W 2.2 EXISTING WOOD FRAME WALL, INTERIOR PLASTER FINISH. CONFIRM COMPLIANCE WITH CBC TABLE 721.1(2) WOOD STUDS w/ 5/8" GYPSUM PLASTER EA SIDE; ALTERNATIVE ASSEMBLY: REMOVE PLASTER, APPLY 5/8" F.R. (TYPE X OR EQ) EA SIDE. ALL OPENINGS IN RATED WALL MUST BE RATED 20 MIN LABELED ASSEMBLIES.
 - W 3.1 EXISTING PIP (POURED-IN-PLACE) REINFORCED CONCRETE WALL (MAIN ST FACADE)
 - W 3.2 EXISTING PIP (POURED-IN-PLACE) REINFORCED CONCRETE WALL VAULT
 - W 4.1 NEW 2 x 8 WOOD FRAME WALL INFILL TO FRAME UP NEW STOREFRONT WINDOWS ON MAIN ST FACADE
 - W 4.2 NEW 2 x 4 @ 16 WOOD FRAME STUD WALL AT NEW ALCOVE ENTRY ON MAIN ST. 1/2" CDX PLYWD FACE ON EXTERIOR, No. 15 FELT OVER PLYWD, HARDIBOARD PLANK SIDING OR EQUAL FINISH.
 - W 5.1 NEW 2 x 4 @ 16 WOOD FRAME STUD WALL AT INTERIOR. 5/8" GYP BD EACH SIDE (OMIT GYP BD ON BLIND SIDES UP AGAINST ADJACENT CONSTRUCTION)
 - W 5.2 NEW 2 x 4 @ 16 WOOD FRAME STUD WALL AT INTERIOR. ONE-HOUR RATED ASSEMBLY (CBC TABLE 721.1(2) ITEM 14-1.3 OR GYPSUM ASSOCIATION DESIGN WP-3515) 5/8" F.R. (TYPE X OR EQUAL) GYP BD EACH SIDE

THOM BLACK
ARCHITECT

514 E MAIN ST
AMENDMENT OT CUP

SPR 21-230

No.	Description	DATE
A	AMENDMENT TO CUP	12/3/2021
B	AMENDMENT TO CUP	12/23/2021
1	AMENDMENT TO CUP	01/13/2022
2	AMENDMENT TO CUP	04/07/2022

Project number
1810.3

Drawn by
DC

Checked by
THOM

CUP/
SPR

2

SET DATE 04/07/22

GENERAL PROJECT INFORMATION

- Site Plan Review meetings are held on Wednesdays at 9am at City Hall East - 315 E Acequia Ave - Applicant(s) or Representative(s) must be present -

OPERATIONS & TRAFFIC INFORMATION


SITE PLAN MINIMUM REQUIREMENTS

SITE PLAN REQUIREMENTS

- ⇒ Submit a digital copy of the site plan(s) and completed application on a flash drive or equivalent (PDF format preferred, hard paper copies not accepted).
- ⇒ Digital copies must be clear, legible, and on a layout sized appropriately to convey all necessary project information.
- ⇒ Site plan shall provide for and indicate all of the following:
- | | | |
|----------------------------------------------------------------------------------------|-------------------------------------|------------------------------------------------------------------------------------|
| - North arrow | - Existing & proposed structures | - Loading/unloading areas |
| - All existing & proposed site features | - Adjacent street names | - Accessible path of travel from right of way |
| - Site dimensions, including building | - Refuse enclosures & containers | - Accessible path of travel from ADA stall |
| - Existing and proposed fencing at site | - Valley oak trees (show drip line) | - Location and width of drive approaches to site |
| - Public improvements (curbs, sidewalks, utility poles, hydrants, street lights, etc.) | - Existing & proposed landscaping | - Tentative maps shall adhere to requirements of Visalia Municipal Code Section 16 |
| | - Parking stalls (include ADA) | |

REQUIRED SIGNATURE

Applicant Information (Final comments will be mailed to the name and address provided below)

Name: <u>Eric McConnaughey</u>	Signature of Owner or Authorized Agent*	
Address: <u>4412 W Ferguson Ave</u>		
City, State, Zip <u>Visalia, CA 93291</u>	Owner _____	Date _____
Phone: <u>559-732-9236</u>		<u>4/6/22</u>
Email: _____	Authorized Agent*	Date _____

* If signed by an authorized agent, the "Agency Authorization" information below must be completed for this application to be considered acceptable.

AGENCY AUTHORIZATION

AGENCY AUTHORIZATION FORM

OWNER:


I, JR Shannon, declare as follows; I am the owner of certain real property bearing assessor's parcel number (APN):
078-210-023

AGENT:

I designate Eric McConnaughey, to act as my duly authorized agent for all purposes necessary to file an application for, and obtain a permit to _____ relative to the property mentioned herein.

I declare under penalty of perjury the foregoing is true and correct.

Executed this 23rd day of March, 2022.

OWNER	Signatures	AGENT
Signature of Owner		Signature of Agent
<u>11878 Ave. 328</u>		<u>4412 W Ferguson Ave</u>
Owner Mailing Address		Agent Mailing Address
<u>Visalia, CA 93291</u>		<u>Visalia, CA 93291</u>
<u>559-334-6802</u>		<u>559-732-9236</u>
Owner Phone Number		Agent Phone Number

Smokin' Barrel Operational Statement

This is a proposed ±25,000 square foot retail and indoor shooting range facility. Customers will enter the facility into the 5,000 square foot retail shop. This will be an expanded version of their existing store offering pistol, rifle, ammunition, and accessory sales.

There are three indoor shooting ranges, a 16 lane – 25 yard range, a 6 lane – 12 yard range and a 5 lane – 25 yard range for the VIP lounge. All three ranges have viewing areas where people can wait for an open lane or to watch a friend or family member. The shooting ranges are where the public can practice firearm proficiency or try new models or types of firearms. The ranges will have special mechanical ventilation to remove odors and provide clean air for patrons.

Off the main sales floor there are classrooms for meetings and where gun safety classes will be taught. The facility also has a VIP lounge and a 5 lane shooting range. This area will provide members with an area where they can relax prior to and after shooting. Outside of the lounge is a patio space for events, booked by members, such as birthdays, corporate team building, and other groups wishing to use the facility and have space outside where a caterer can provide food and possibly beer and wine. The food and drinks are not a part of this business and will be provided by companies that have the proper permits.

The facility also has space for offices, employee break room, restrooms, and storage.

It is anticipated there will be 8 fulltime and 4 part time employees. Hours of operation will be Monday thru Friday 10am to 7pm, Saturday 10am to 5pm and closed on Sunday.

SITE INFORMATION

APN: 078-210-023
PARCEL: 173,460 S.F.
ZONE: C-MU
OCCUPANCY: M
USE: RETAIL
AREA: 25,000 S.F.
CONSTRUCTION: V-B

PARKING REQUIREMENTS

PARKING REQUIRED
BUILDING GENERAL RETAIL: TOTAL PARKING REQUIRED = 80
ACCESSIBLE PARKING REQUIRED
VAN ACCESSIBLE: TOTAL PARKINGS REQUIRED = 4
PARKING PROVIDED
STANDARD: = 191
COMPACT: = 15
ACCESSIBLE (STANDARD): = 5
ACCESSIBLE (VAN): = 1
TOTAL PARKINGS PROVIDED = 212

PROJECT LOCATION

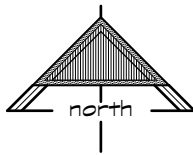
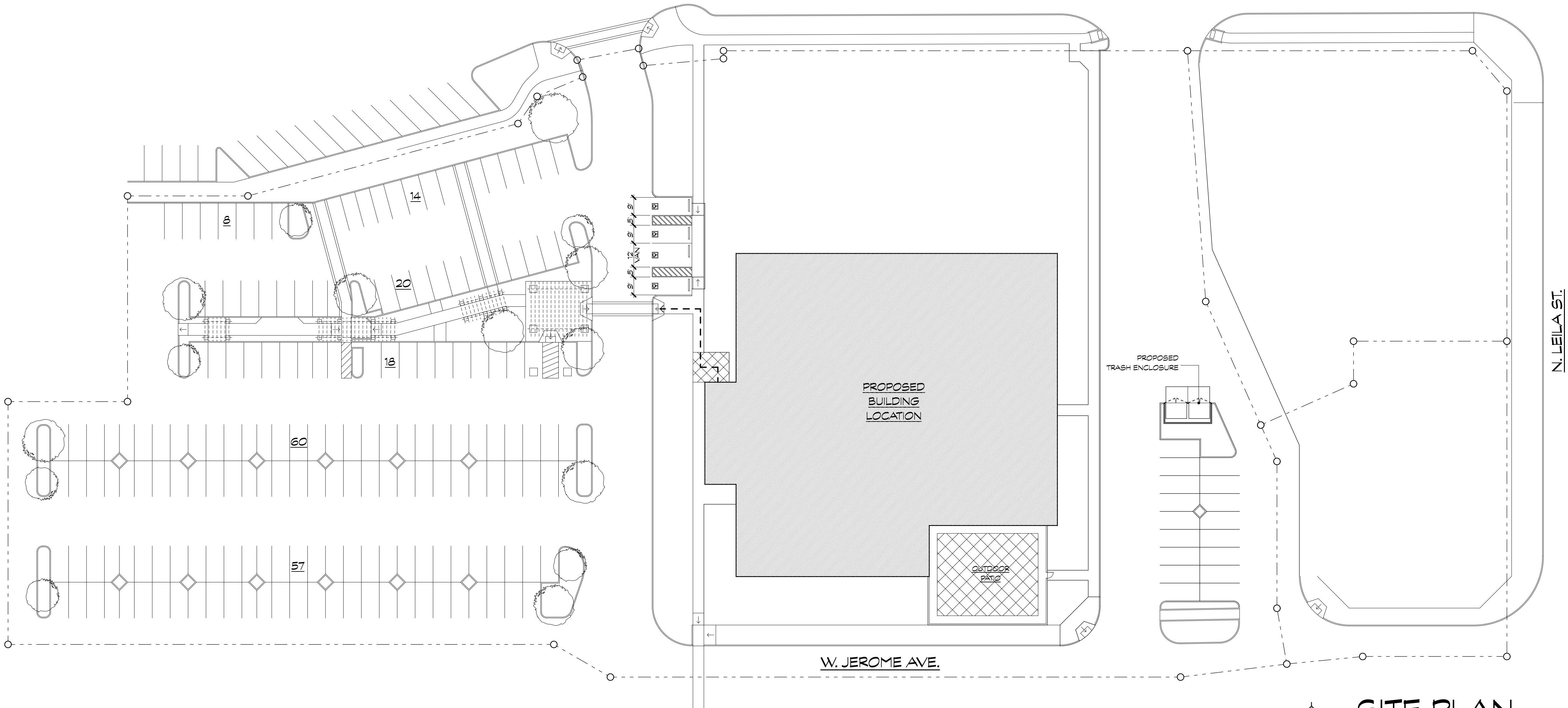


VICINITY MAP
SCALE: N.T.S.

PROJECT NARRATIVE

THE BUILDING WILL MEET ALL CITY NOISE CRITERIA AND WILL CONFORM TO THE VILLAGE AT WILLOW CREEK SPECIFIC PLAN. THE NORTH END OF THE PARCEL IS BEING RESERVED BY THE DEVELOPER FOR A FUTURE BUILDING. THE SPECIFIC PLAN WAS APPROVED FOR A 50,000 SQ. FT. GROCERY STORE AND THE PROPOSED 25,000 SQ. FT. USE WILL HAVE A MUCH LOWER TRAFFIC COUNT. THE PROPOSED BUILDING FALLS WITHIN THE SPECIFIC PLAN'S BUILDABLE AREA.

W. FLAGSTAFF AVE.



SITE PLAN
SCALE: 1" = 30'-0"



DESIGN GROUP
INCORPORATED
ARCHITECTS



4412 W. FERGUSON
VISALIA, CA. 93291
(559) 732-9236
FAX: 732-5836

SCALE: AS NOTED

JOB #: 22-004

A NEW RETAIL SHOP AND INDDOR SHOOTING RANGE FOR:

SMOKIN' BARREL

VISALIA, CA

DATE: 4-4-22

- △ REVISED:
- △ REVISED:
- △ REVISED:
- △ REVISED:
- △ REVISED:

Sheet :

A-1

CITY OF VISALIA SITE PLAN REVIEW APPLICATION



- Additional information and assistance in filling out this application can be found at the City of Visalia website (www.visalia.city) or by calling (559) 713-4440-

This application MUST be filled out in its entirety and submitted with an acceptable site plan (see site plan minimum requirements & submittal details on Page 2). Failure to provide all requested information may result in rejection of your application and exclusion from the Site Plan Review agenda.

- Site Plan Review meetings are held on Wednesdays at 9am at City Hall East - 315 E Acequia Ave - Applicant(s) or Representative(s) must be present -

- Application submittal deadline is 4pm on Thursdays to be scheduled for the next available meeting -

GENERAL PROJECT INFORMATION

Project/Business Name: CALDWELL PLACE Professional office Date: 3/30/22

Project Description: Would like to be able to sell suite a separate from Suite b. Existing Partners want to buy individually.

Site Plan Review Resubmittal: Yes ☐ No ☒ If Resubmittal, Previous Site Plan Review Number: _____

Property Owner: CALDWELL PLACE PARTNERS LLC

Applicant(s) Name: EDDIE PEREZ

Project Address/Location: 3924 W. CALDWELL AVE STE A & B

Assessor Parcel Number: 1 1 9 - 4 2 0 - 0 5 2

Parcel Size (Acreage or Square Feet): 9400 +- Building or Suite Square Footage: _____

Are There Any Proposed Building Modifications: Yes ☐ No ☒

Estimated Cost of Modifications to Building: \$ NIA

Describe All Proposed Building Modifications: _____

--- THIS AREA FOR CITY STAFF USE ONLY ---

Date Received: 03/30/2022

SPR Agenda: 04/13/2022 Item No. _____

Zone: O-PA SPR No. 22-056

Historic District: Yes ☐ No ☒

Flood Zone: X ☒ AE ☐ X/AE ☐

We are wanting to sell/split the building suite by STE(A) & STE(B) According to plans units are separated by a fire wall already

--- A SEPARATE DETAILED OPERATIONAL STATEMENT IS HIGHLY RECOMMENDED FOR ALL SUBMITTALS ---

OPERATIONS & TRAFFIC INFORMATION

Existing/Prior Building Use: SAME

Proposed Building Use: SAME

Proposed Hours of Operation: 8:00 - 5:00 PM

Days of Week In Operation (Circle): Su ☐ M ☒ T ☒ W ☒ TH ☒ F ☐ Sa ☐

Number of Employees Per Day: Existing 20 SAME Proposed 20 SAME

Number of Customers Per Day (Estimated): Existing 10 SAME Proposed 10 SAME or less

Predicted Peak Operating Hour: NIA

Describe Any Truck Delivery Schedule & Operations: NIA

Please Identify Any Unique or Specific Traffic Patterns That Will Require Accommodations For Operations, Customers, or Employees

(Provide Separate Attachment if Necessary): NONE

Describe Any Special Events Planned for the Facility: NONE

SITE PLAN MINIMUM REQUIREMENTS

SITE PLAN REQUIREMENTS

- ⇓ Submit a digital copy of the site plan(s) and completed application on a flash drive or equivalent (PDF format preferred, hard paper copies not accepted). I have and will bring the prints.
- ⇓ Digital copies must be clear, legible, and on a layout sized appropriately to convey all necessary project information.
- ⇓ Site plan shall provide for and indicate all of the following:

- North arrow	- Existing & proposed structures	- Loading/unloading areas
- All existing & proposed site features	- Adjacent street names	- Accessible path of travel from right of way
- Site dimensions, including building	- Refuse enclosures & containers	- Accessible path of travel from ADA stall
- Existing and proposed fencing at site	- Valley oak trees (show drip line)	- Location and width of drive approaches to site
- Public improvements (curbs, sidewalks, utility poles, hydrants, street lights, etc.)	- Existing & proposed landscaping	- Tentative maps shall adhere to requirements of Visalia Municipal Code Section 16
	- Parking stalls (include ADA)	

REQUIRED SIGNATURE

Applicant Information (Final comments will be mailed to the name and address provided below)

Name: EDDIE PEREZ Signature of Owner or Authorized Agent* [Signature] Date 3/30/12
 Address: 3924 W. CALDWELL AVE Owner
 City, State, Zip VISALIA, CA 93297 Authorized Agent* [Signature] Date 3/30/12
 Phone: 559 922-7571
 Email: eddie-perez@comcast.net

* If signed by an authorized agent, the "Agency Authorization" information below must be completed for this application to be considered acceptable

AGENCY AUTHORIZATION

AGENCY AUTHORIZATION FORM

OWNER:

I, _____, declare as follows; I am the owner of certain real property bearing assessor's parcel number (APN): _____

AGENT:

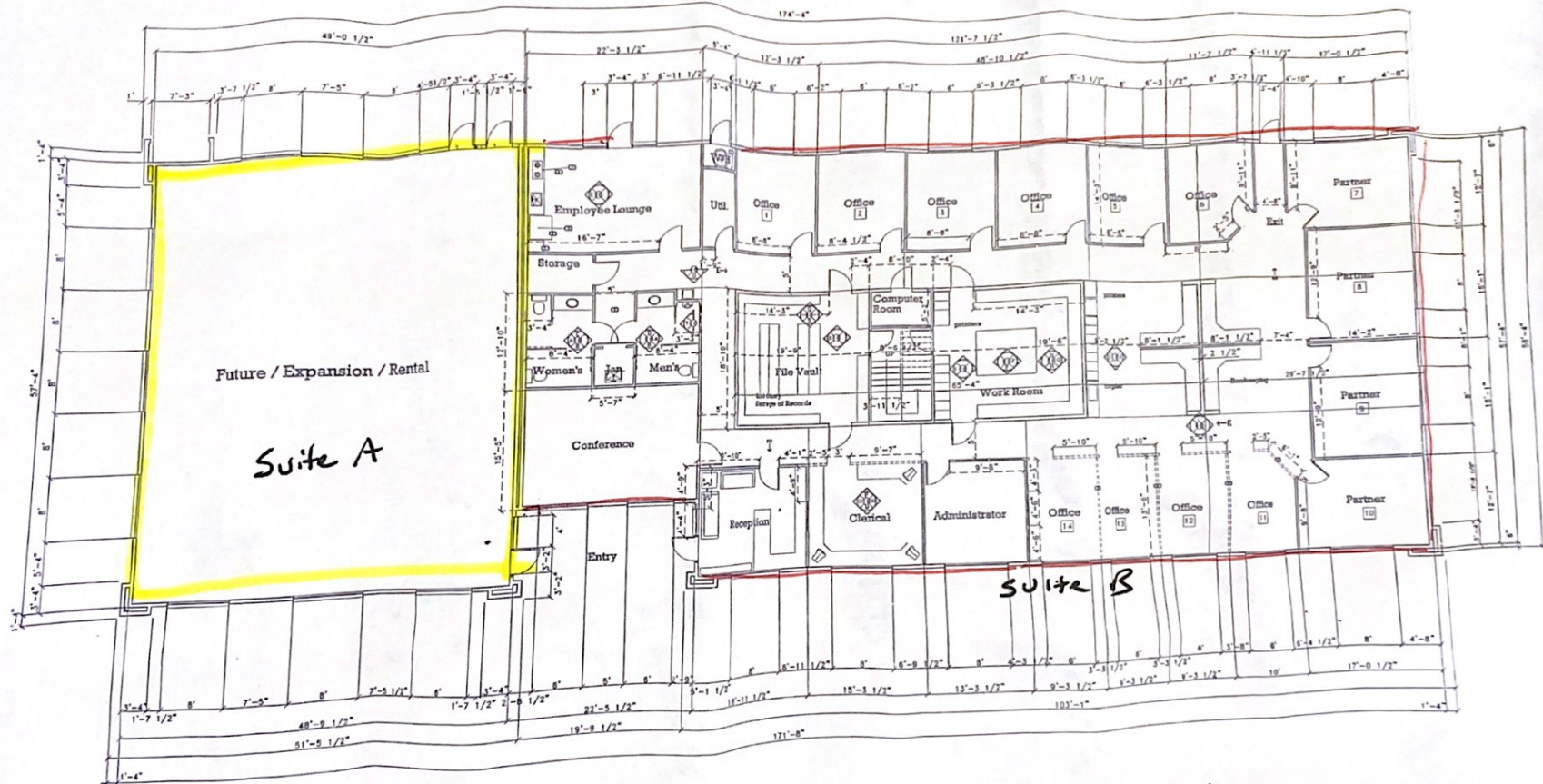
I designate _____, to act as my duly authorized agent for all purposes necessary to file an application for, and obtain a permit to _____ relative to the property mentioned herein.

I declare under penalty of perjury the foregoing is true and correct.

Executed this _____ day of _____, 20____.

OWNER	Signatures	AGENT
Signature of Owner		Signature of Agent
Owner Mailing Address		Agent Mailing Address
Owner Phone Number		Agent Phone Number





We would like to divide the building to be able to sell both separately.

- DIAN

CITY OF VISALIA SITE PLAN REVIEW APPLICATION

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This application MUST be filled out in its entirety and submitted with an acceptable site plan (see site plan minimum requirement details below). Failure to provide all requested information may result in rejection of your application and exclusion from the Site Plan Review agenda.

- Site Plan Review meetings are held on Wednesdays at 9am at City Hall East - 315 E Acequia Ave - Applicant(s) or Representative(s) must be present -

- Application submittal deadline is 4pm on Thursdays to be scheduled for the next available meeting -

GENERAL PROJECT INFORMATION

Project/Business Name: Meat Locker Sol del Valle Date: 04/01/22

Project Description: Meat Locker Wholesale and retail

Site Plan Review Resubmittal: Yes ☐ No ☒ If Resubmittal, Previous Site Plan Review Number:

Property Owner: Jorge Luis Magdaleno

Applicant(s) Name: Jorge Luis Magdaleno

Project Address/Location: 1241 N. Ben Maddox Way

Assessor Parcel Number: 094-140-019

Parcel Size (Acreage or Square Feet): 14,329 sq Building or Suite Square Footage: 2400 sqft

Are There Any Proposed Building Modifications: Yes ☒ No ☐

Estimated Cost of Modifications to Building: \$ 80,000

Describe All Proposed Building Modifications: Conversion to meat locker.

--- THIS AREA FOR CITY STAFF USE ONLY ---

Date Received: 04/01/2022

SPR Agenda: 04/13/2022 Item No.

Zone: C-S SPR No. 22-057

Historic District: Yes ☐ No ☒

Flood Zone: X ☒ AE ☐ X/AE ☐

OPERATIONS & TRAFFIC INFORMATION

-- A SEPARATE, DETAILED OPERATIONAL STATEMENT IS HIGHLY RECOMMENDED FOR ALL SUBMITTALS --

Existing/Prior Building Use: Retail

Proposed Building Use: Meat Locker

Proposed Hours of Operation: 8 am thru 8 pm

Days of Week In Operation (Circle): (Su) (M) (T) (W) (Th) (F) (Sa)

Number of Employees Per Day: Existing 6 Proposed

Number of Customers Per Day (Estimated): Existing Proposed

Predicted Peak Operating Hour:

Describe Any Truck Delivery Schedule & Operations: a list one day for week

Please Identify Any Unique or Specific Traffic Patterns That Will Require Accommodations For Operations, Customers, or Employees

(Provide Separate Attachment if Necessary):

Describe Any Special Events Planned for the Facility: Wholesale and retail

SITE PLAN MINIMUM REQUIREMENTS

SITE PLAN REQUIREMENTS

- ⇒ Plan(s) must be clear, legible, and on a sheet size appropriate to easily convey all necessary project information. Suggested minimum sheet size for site plans is 11"x17" (Excludes tentative parcel and final maps)
- ⇒ Site plan shall provide for and indicate all of the following:
- | | | |
|----------------------------------------------------------------------------------------|-------------------------------------|------------------------------------------------------------------------------------|
| - North arrow | - Existing & proposed structures | - Loading/unloading areas |
| - All existing & proposed site features | - Adjacent street names | - Accessible path of travel from right of way |
| - Site dimensions, including building | - Refuse enclosures & containers | - Accessible path of travel from ADA stall |
| - Existing and proposed fencing at site | - Valley oak trees (show drip line) | - Location and width of drive approaches to site |
| - Public improvements (curbs, sidewalks, utility poles, hydrants, street lights, etc.) | - Existing & proposed landscaping | - Tentative maps shall adhere to requirements of Visalia Municipal Code Section 16 |
| | - Parking stalls (include ADA) | |
- ⇒ Submit 20 copies of the site plan with this application, folded to a legal size of 9" x 12" with the print on the outside (no rolled plans)

REQUIRED SIGNATURE

Applicant Information (Final comments will be mailed to the name and address provided below)

Name: Jorge Magdaleno Signature of Owner or Authorized Agent* [Signature] Date 04/01/22

Address: 2414 Diamante Dr. Owner [Signature]

City, State, Zip Tulare CA 93274

Phone: (559) 991-6114

Email: Jorge Magdaleno177@gmail.com Authorized Agent* _____ Date _____

* If signed by an authorized agent, the "Agency Authorization" information below must be completed for this application to be considered acceptable.

AGENCY AUTHORIZATION

AGENCY AUTHORIZATION FORM

OWNER:


Dodd Yahnan, declare as follows; I am the owner of certain real property bearing assessor's parcel number (APN): _____

AGENT:

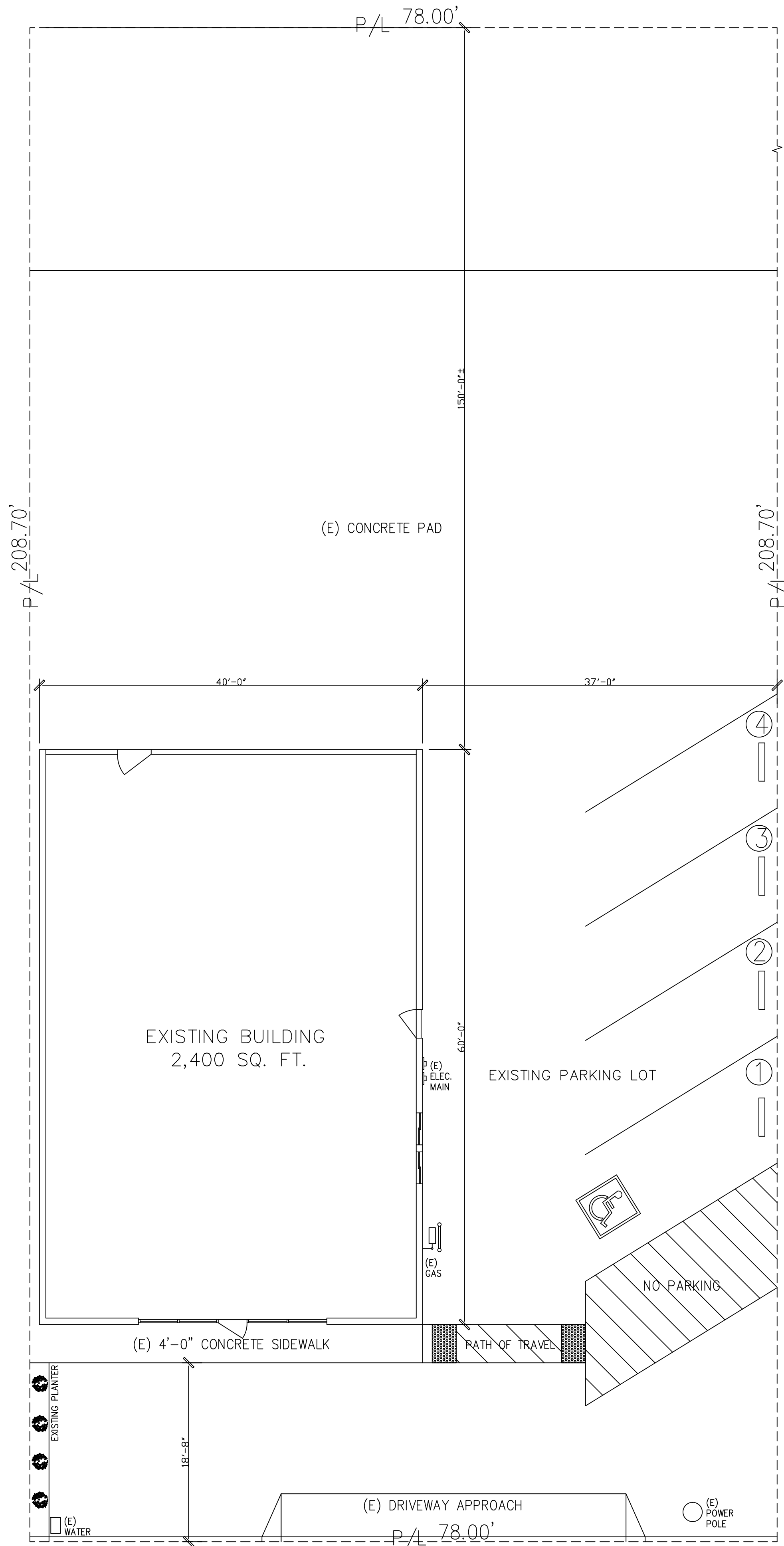
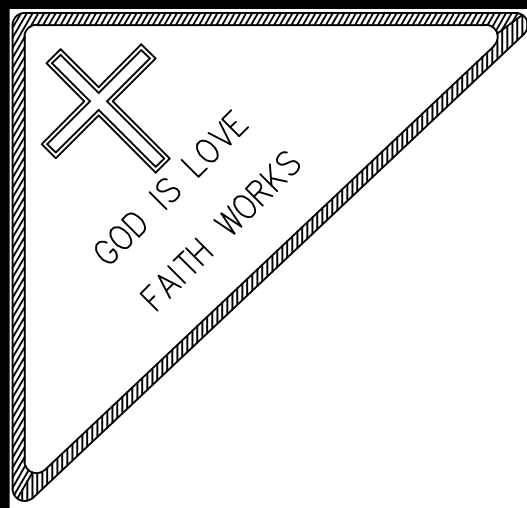
I designate _____, to act as my duly authorized agent for all purposes necessary to file an application for, and obtain a permit to _____ relative to the property mentioned herein.

I declare under penalty of perjury the foregoing is true and correct.

Executed this _____ day of _____, 20____.

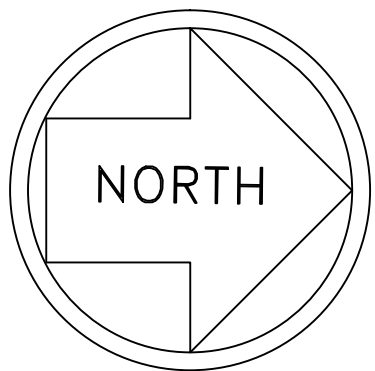
OWNER	AGENT
<div style="text-align: center;">  Signature of Owner </div>	<div style="text-align: center;"> _____ Signature of Agent </div>
<div style="text-align: center;"> <u>2414 Diamante Dr.</u> Owner Mailing Address </div>	<div style="text-align: center;"> _____ Agent Mailing Address </div>
<div style="text-align: center;"> <u>Tulare CA 93274</u> Owner Phone Number </div>	<div style="text-align: center;"> _____ Agent Phone Number </div>
<div style="text-align: center;"> <u>(559) 991-6114</u> Owner Phone Number </div>	<div style="text-align: center;"> _____ Agent Phone Number </div>

We are going to sell
Wholesale meat for large
quantities and large pieces
for restaurant and shops.



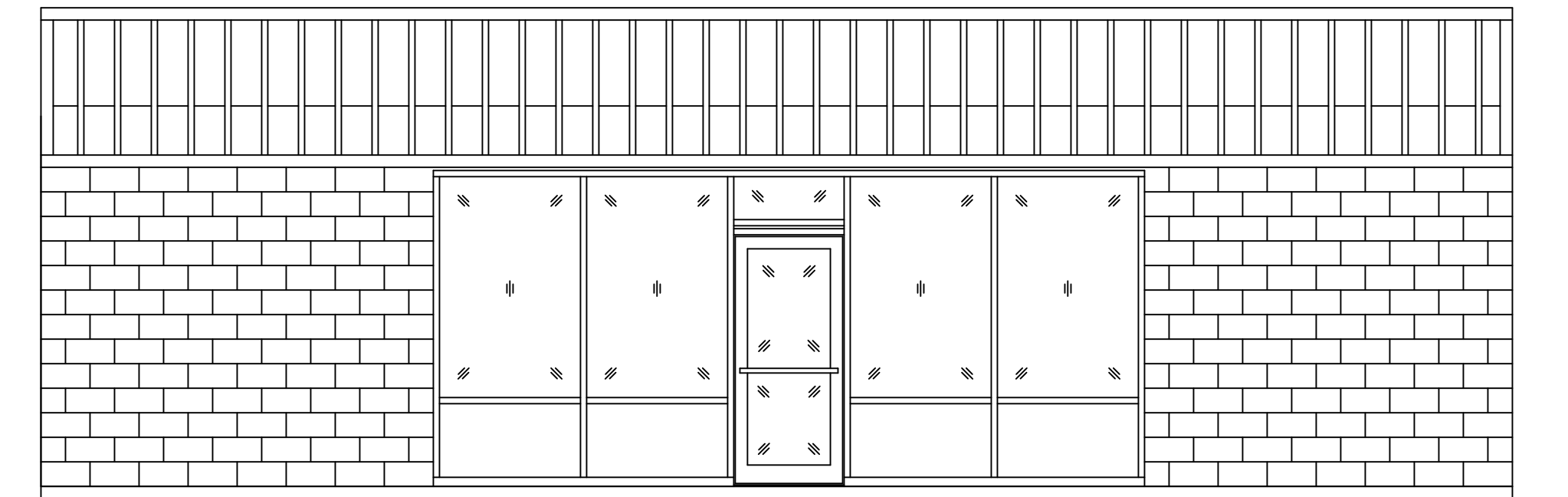
NOTE:
ALL THE WORK TO BE DONE
IN ACCORDANCE W/PRESENT
CODES AND REGULATIONS.

APPLICABLE
CODES 2019
CBC, CPC, CMC, CFC,
CEC, CAL GREEN AND
CALIF. ENERGY CODE 2019



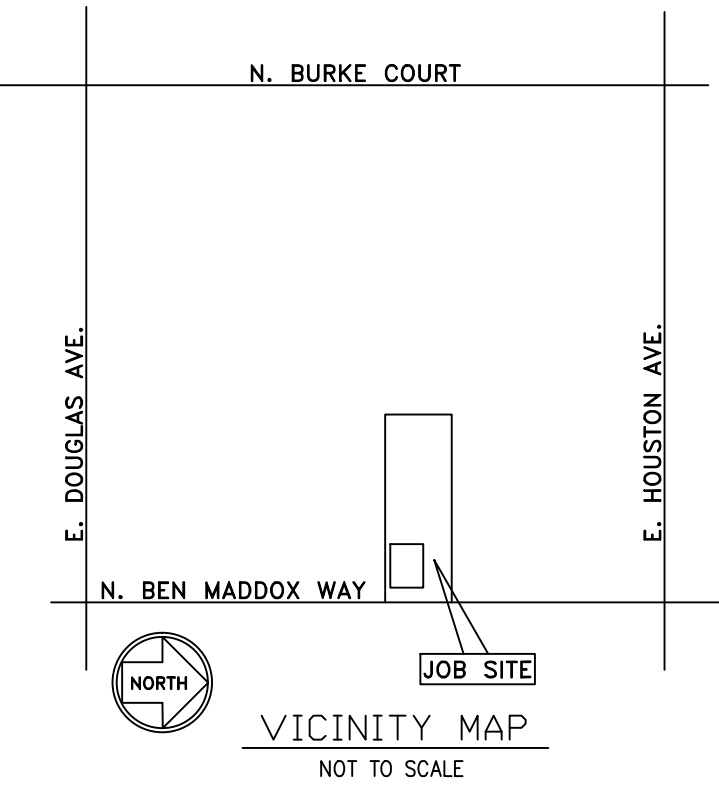
SITE PLAN

SCALE: 1/8" = 1'-0"



EXISTING FRONT VIEW EAST VIEW

SCALE: 1/4" = 1'-0"



**PROPOSED
TENANT IMPROVEMENTS
MERCADO SOL DEL VALLE
JORGE LUIS MAGDALENO**

1241 N. BEN MADDOX WAY VISALIA, CALIF. 93292
CONTACT: CELL PHONE# (559)991-6114

PROPOSED PROJECT SPACE
(E) BUILDING 2,400 SQ.FT.
=TENANT IMPROVEMENTS=

NOTE
PROJECT ADDRESS TO BE POSTED
AT JOB SITE W/4" HIGH NUMERALS
ON CONSTRUCTION BACK GROUND
WITH 1/2 MIN. STROKE

PLANNING DEPT APPROVAL

BUILDING DEPT APPROVAL

APN#: 094-140-019

SHEET INDEX

SHEET	DESCRIPTION
1	SITE PLAN
2	EXISTING & PROPOSE FLOOR PLAN
3	EQUIPMENT SCHEDULE PLAN
4	ELECTRICAL PLAN =MINOR WORK=
5	PLUMBING WASTE & WATER PLAN

J A I S A L
DESIGN

1671 Ave. 400 Kingsburg, CA 93631
Ph. (559) 897-4507 Email: jaimed@jaisaldesign.com

Jaime Salinas
DESIGNER
SIGNATURE

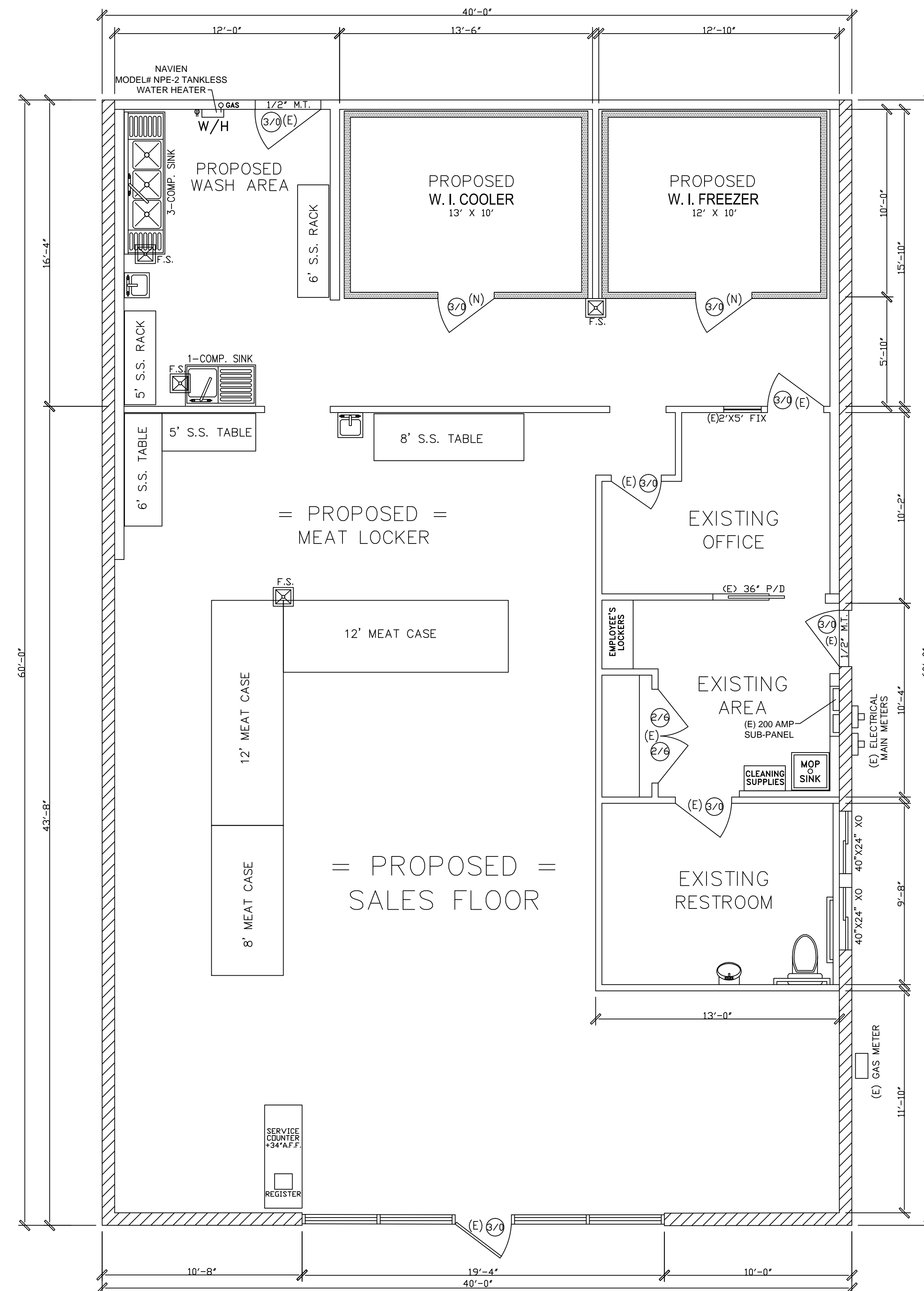
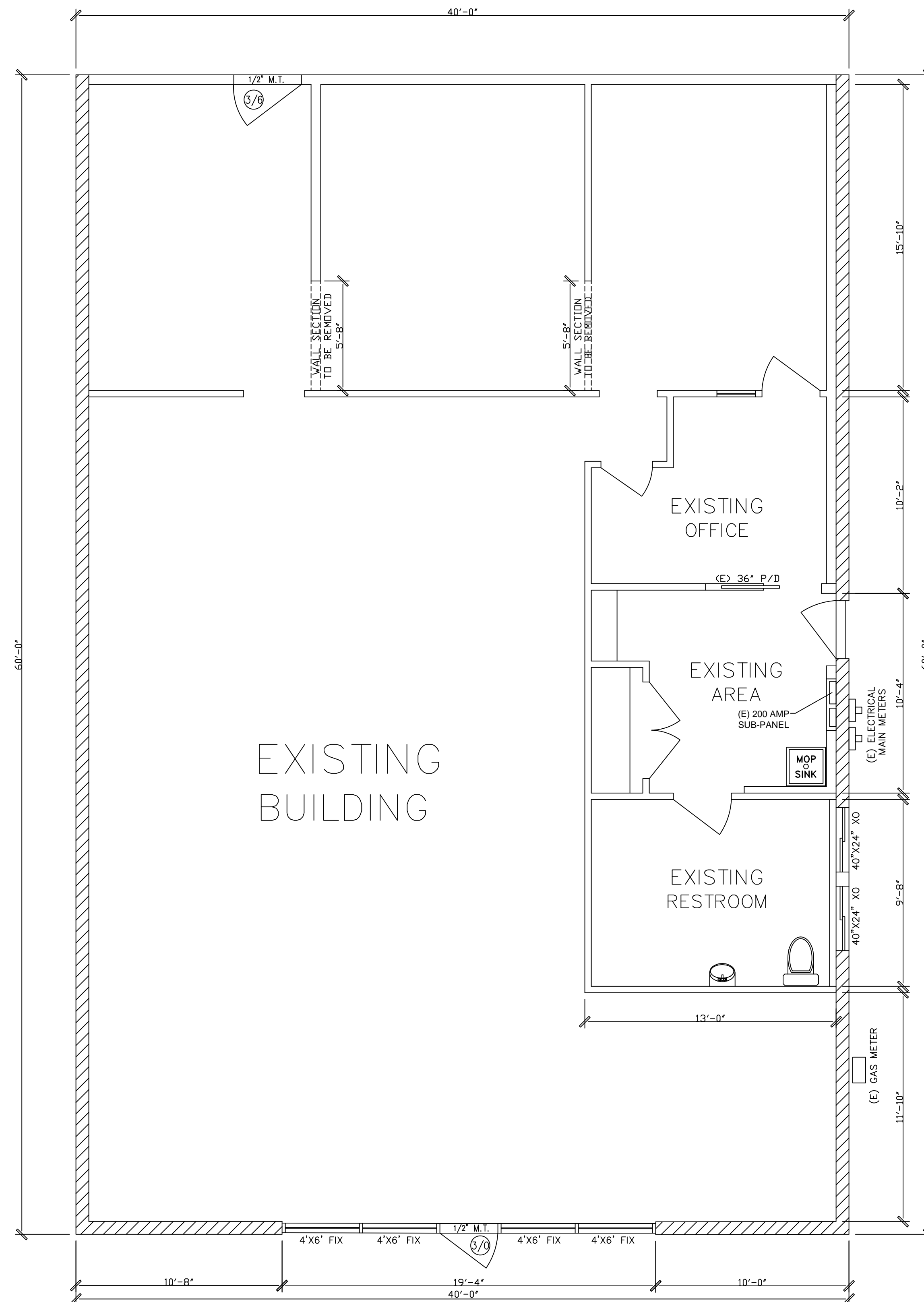
J A I S A L
DESIGN
RESIDENTIAL
PLAN DESIGN

JAIME SALINAS
WE MAKE YOUR
VISION A REALITY

RESPONSIBLE BUILDER:
OWNER BUILDER
JORGE LUIS MAGDALENO
2516 DIAMANTE DRIVE
TULARE, CALIFORNIA 93274
CELL: (559) 991-6114

PROJECT TITLE:
PROPOSE MEAT LOCKER
MERCADO SOL DEL VALLE
1241 N. BEN MADDOX WAY
VISALIA, CA 93292
559-747-3488

JOB NO.: MEAT LOCKER
DRAWN BY: JAISAL
SHEET NO.:
1
OF 5 SHEETS
DATE: 03/2022

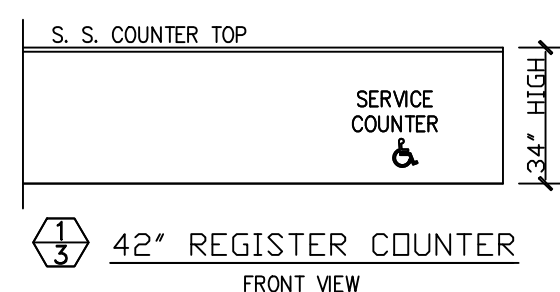


PLANNING DEPT APPROVAL

BUILDING DEPT APPROVAL

WALK-IN COOLER'S DETAILS

NOTE:
PROVIDE S. S. REGISTER COUNTER TOP
+ 34" MAX. HIGH ABOVE FINISH FLOOR
FOR A.D.A SERVICE COUNTER AREA.



INTERIOR FINISHES :

WORKING & WASHING AREA

FLOOR - 12X12 FLOOR TILE W/6" 3/8" RADIUS INTEGRAL COVED TILE BASE
WALLS - 5/8" TYPE "X" GYP. BD. WITH F.R.P. LIGHT COLOR WALL PANEL
CEILING - 5/8" TYPE "X" GYP. BD. WITH SMOOTH FIN. & WASHABLE SURFACE PAINT

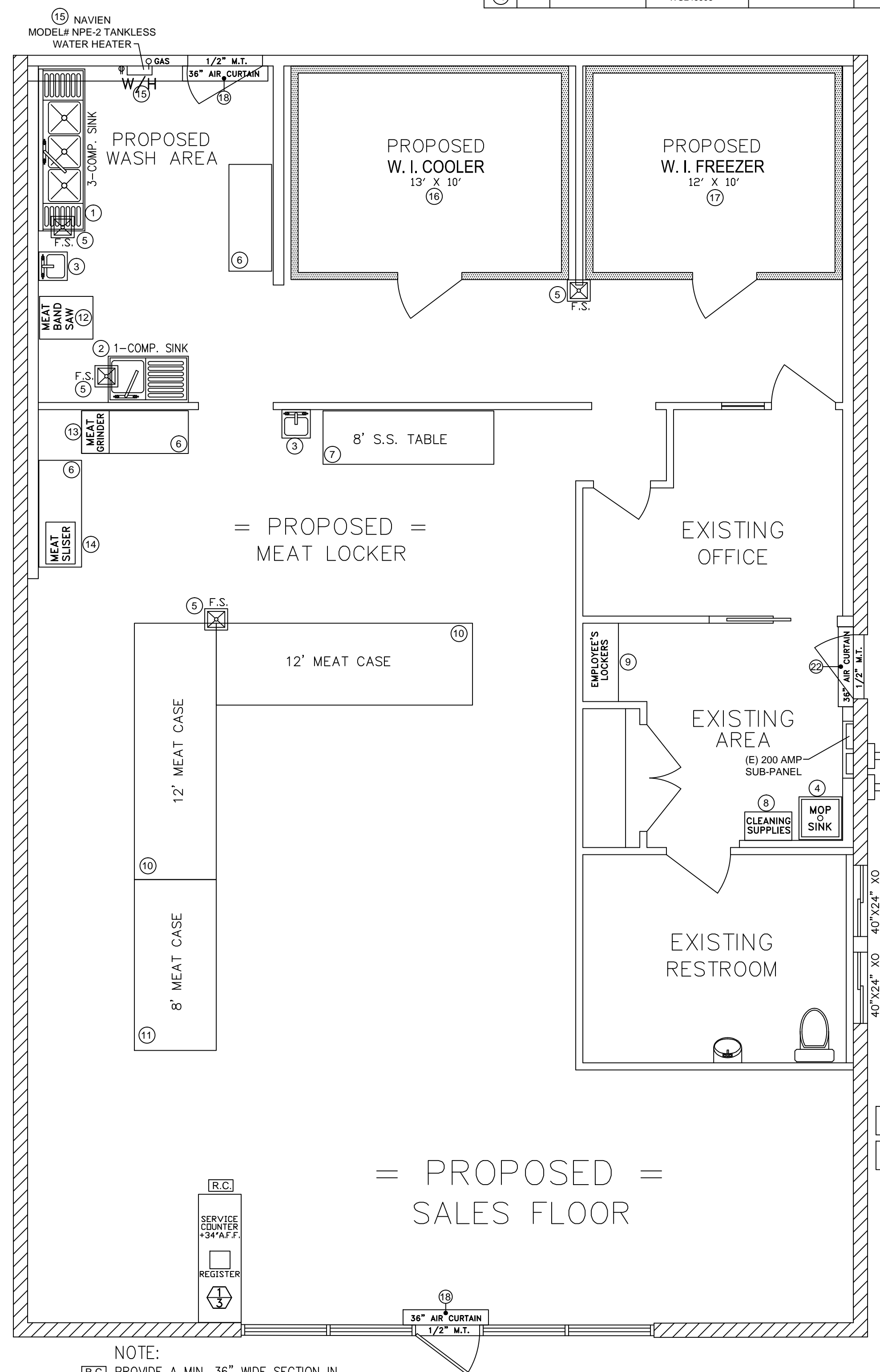
RESTROOM

FLOOR - 12X12 FLOOR TILE W/6" 3/8" RADIUS INTEGRAL COVED TILE BASE
WALLS - 5/8" TYPE "X" GYP. BD. WITH F.R.P. LIGHT COLOR WALL PANEL
CEILING - 5/8" TYPE "X" GYP. BD. WITH SMOOTH FINISH & WASHABLE PAINT SURFACE

EXISTING SALES FLOOR AREA

FLOOR - 12X12 FLOOR TILE W/6" 3/8" RADIUS INTEGRAL COVED TILE BASE
WALLS - 5/8" TYPE "X" GYP. BD. WITH F.R.P. LIGHT COLOR WALL PANEL
CEILING - 5/8" TYPE "X" GYP. BD. WITH SMOOTH FINISH & WASHABLE PAINT SURFACE

EQUIPMENT SCHEDULE												
ITEM	QTY.	MANUFACTURER	MODEL #	SIZE	VOLTS	AMPS	HP	GAS	WATER	BTU'S	NSF	DESCRIPTION
①	1	G S W	SE18183D	24" W X 90" L X 45" H	-	-	-	-	YES	-	YES	3-COMPARTMENT STAINLESS STEEL SINK 24" W X 90" D X 45" H. NSF APPROVED. PROVIDE HOT & COLD WATER
②	1	G S W	SE181818LW	24" W X 45" L X 45" H	-	-	-	-	YES	-	YES	1-COMPARTMENT STAINLESS STEEL SINK 24" W X 45" D X 45" H. NSF APPROVED. PROVIDE HOT & COLD WATER
③	2	G S W	HS161624	16" W X 15" L X 13" H	-	-	-	-	YES	-	YES	HAND WASH STAINLESS STEEL SINK 15 1/2" W X 15 1/2" L X 13" H NSF APPROVED. WITH HOT & COLD WATER
④	1	MUSTEE	63M MDP	24" W X 24" L X 10" H	-	-	-	-	YES	-	YES	24" X 24" X 10" SQUARE FLOOR MOP SINK PROVIDE HOT & COLD WATER TO FLOOR MOP SINK
5	5	G S W	FS-1262-12	12" W X 12" L X 6" H	-	-	-	-	-	-	YES	12" X 12" X 6" SQUARE PORCELAIN FLOOR SINK FLOOR SINK SHALL BE ACCESSIBLE FOR INSPECTIONS AT ALL TIMES.
⑥	3	REGENCY	SG2406	24" W X 60" L X 34" H	-	-	-	-	-	-	YES	24" X 60" X 34" S. S. TABLE NSF APPROVED
⑦	1	REGENCY	SG2406	24" W X 96" L X 34" H	-	-	-	-	-	-	YES	24" X 96" X 34" S. S. TABLE NSF APPROVED
⑧	1	CABINET	-	36" W X 60" H X 16" D	-	-	-	-	-	-	-	36" W X 60" H X 16" D WOOD MFG. CABINET JANITORIAL SUPPLIES STORAGE
⑨	1	CABINET	-	40" W X 60" H X 20" D	-	-	-	-	-	-	-	42" W X 60" H X 20" D METAL MFG. CABINET EMPLOYEE'S LOCKER'S STORAGE
⑩	2	KYSOR-WARREN	NS3951 (2) 12"	41 1/2" W X 12" L X 53 1/2" H	120V/1	2.9	-	-	-	-	YES	12" MEAT CASE (2) MODEL # NS3951
11	1	KYSOR-WARREN	NS3951 (1) 6"	41 1/2" W X 6" L X 53 1/2" H	120V/1	15	-	-	-	-	YES	# MEAT CASE (1) MODEL # NS3951
⑫	1	HOBART	MODEL #6614	34" W X 34" D X 68 1/8" H	240V 1 PH	50/60/1	3HP	-	-	-	YES	MEAT BAND SAW MODEL # 6614
⑬	1	HOBART	MODEL #4822	11 3/4" W X 30" D X 23 1/2" H	120V/1	20	1 1/2	-	-	-	YES	MEAT CHOPPER MODEL # 4822
⑭	1	HOBART	MODEL #SE12	14" W X 72 5/8" D X 90 4/8" H	120V/1	1.79A	360W	-	-	-	YES	MEAT SUPER SAW MODEL # SE12
⑮	1	NAVLEN	NPE-2	14.3" W X 13.2" D X 28.8" H	120V/1	4A	350W	YES	-	-	YES	NPE SERIES TANK-LESS WATER HEATER MODEL # NPE-2
⑯	1	COMMERCIAL	WJ. COOLER	13" W X 10" D X 8" H	120V/1	29A	-	-	-	-	YES	13X10X8 COMMERCIAL COOLING MODEL # (CUSTOM COOLER)
⑰	1	COMMERCIAL	WJ. FREEZER	12" W X 10" D X 8" H	120V/1	15	-	-	-	-	YES	12X10X8 COMMERCIAL COOLING MODEL # (CUSTOM FREEZER)
⑱	1	GLOBAL	WG24608	36" W X 8.5" D X 6.625" H	120V/1	2.85A	1/3HP	-	-	-	YES	36" AIR CURTAIN ABOVE DOOR MODEL # WG24608



NOTE:
[R.C.] PROVIDE A MIN. 36" WIDE SECTION IN
THE COUNTER + 34" MAX. HIGH FOR
A.D.A SERVICE COUNTER AREA

EQUIPMENT SCHEDULE PLAN

SCALE: $1/4" = 1'-0"$

NOTE: LOCKERS INFORMATION
WHERE LOCKERS ARE PROVIDED, AT LEAST ONE SHALL BE ACCESSIBLE WITH A CLEAR FLOOR SPACE OF 48 INCHES BY 30 INCHES, STORAGE ELEMENTS WITHIN REACH RANGES AND OPERABLE PARTS WITHIN REACH RANGE AND AND 5 LBS. MAXIMUM FORCE TO OPERATE CBC SECTION 11B-225.2.1.

NOTE: RESTROOM IDENTIFICATION
A COMBINED AND TRIANGLE SYMBOL SHALL
BE LOCATED AT ENTRANCES TO UNISEX
TOILET. THE COMBINED CIRCLE AND TRIANGLE
SYMBOL SHALL CONSIST OF A CIRCLE SYMBOL
1/2 INCH THICK AND 12 INCHES IN DIAMETER
WITH A 1/2 INCH THICK EQUILATERAL TRIANGLE
SYMBOL SUPERIMPOSED ON AN
GEOMETRICALLY INSCRIBED WITHIN THE
12 INCH DIAMETER OF THE CIRCLE SYMBOL.
THE COLOR OF THE TRIANGLE SYMBOL SHALL
CONTRAST WITH THE COLOR OF THE DOOR.
CBC SECTION 11B-703.2.6.3.

9. EDGES AND VERTICES ON GEOMETRIC SYMBOLS. EDGES SHALL BE EASED OR ROUNDED AT $\frac{1}{16}$ INCH MIN. OR CHAMFERED $\frac{1}{8}$ INCH MAX. VERTICES SHALL BE RADIUSSED BETWEEN $\frac{1}{8}$ INCH MIN. AND $\frac{1}{4}$ INCH MAXIMUM
CBC SECTION 11B-703.2.6.4.

10. WHERE PICTOGRAMS ARE PROVIDED AS DESIGNATIONS OF PERMANENT ROOMS AND SPACES, THE PICTOGRAMS SHALL BE LOCATED TO AT THE LATCH SIDE OF THE DOOR WITH THE BASELINE OF THE HIGHEST RAISED TEXT AT 60 INCHES MAXIMUM ABOVE THE FINISH FLOOR. CBC SECTION 11B-216.2.

PLANNING DEPT APPROVAL

BUILDING DEPT APPROVAL

Jaime Salinas

JAIMÉ SALINAS

DESIGNER

RESPONSIBLE BUILDER:

OWNER BUILDER

JORGE LUIS MAGDALENO

22516 DIAMANTE DRIVE

TULARE, CALIFORNIA 93274
CELL (559) 991-6114

PROJECT TITLE:

ROBOSE MEAT LOCKER

PIRELLA GÖTTSCHE LOWE

41 N. BEN MADDOX WAY
CHULA VISTA, CA 92008

SALIA, CA 95292
9-747-3488

JOB NO.: MEAT LOCKER

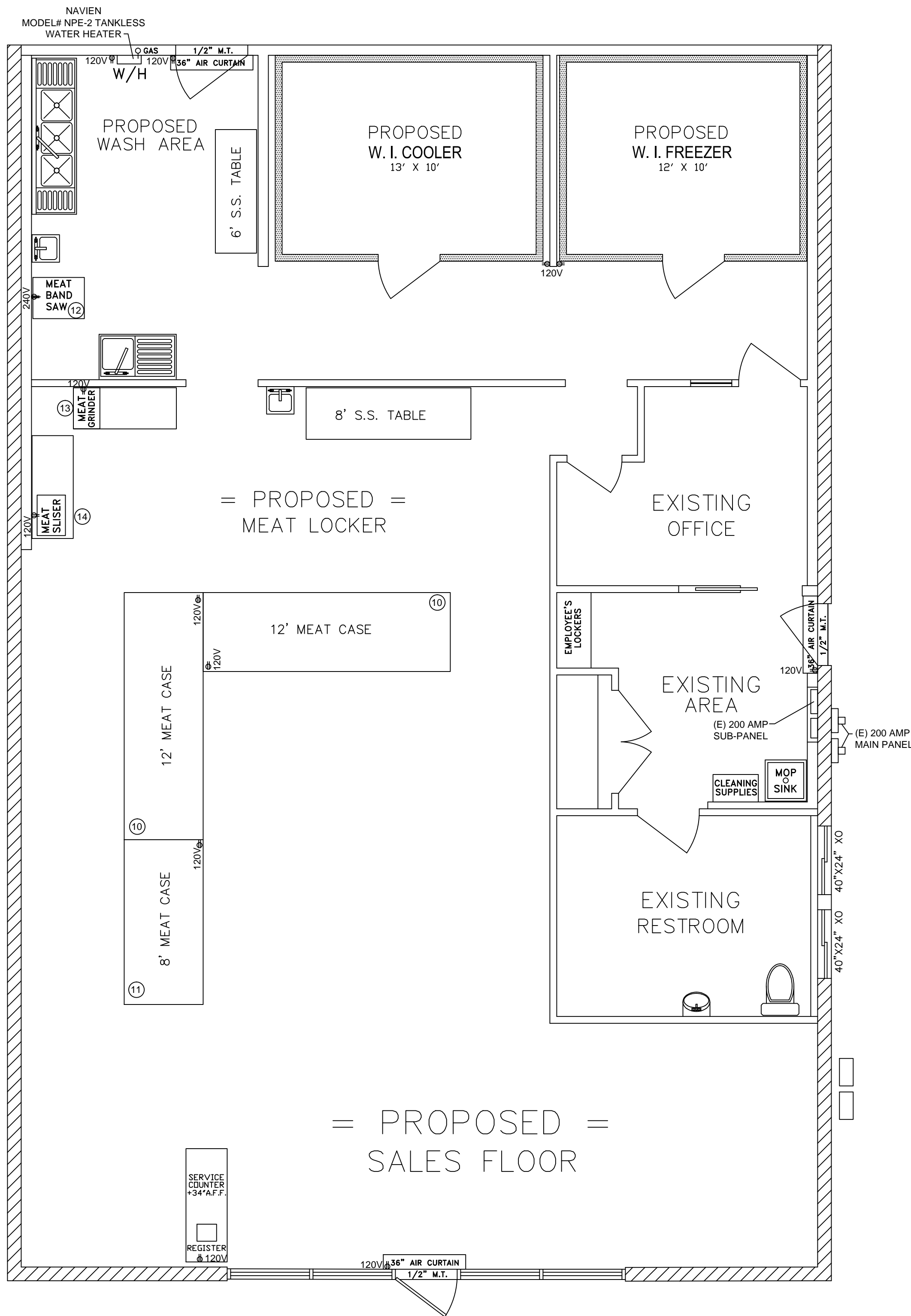
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SHEET NO.:

3

OF 5 SHEETS

DATE: 03/2022



EQUIPMENT SCHEDULE											
ITEM	QTY.	MANUFACTURER	MODEL #	SIZE	VOLTS	AMPS	HP	GAS	WATER	BTU'S	NSF
1	1	G S W	SE181830	24" W x 90" L x 45" H	-	-	-	-	YES	-	YES
2	1	G S W	SE18181RL24	24" W x 45" L x 45" H	-	-	-	-	YES	-	YES
3	2	G S W	HS1615W	16" W x 15" L x 13" H	-	-	-	-	YES	-	YES
4	1	MUSTEE	63M MOP	24" W x 24" L x 10" H	-	-	-	-	YES	-	YES
5	5	G S W	FS-1262-12	12" W x 12" L x 6" H	-	-	-	-	-	-	YES
6	3	REGENCY	SG2460	24" W x 60" L x 34" H	-	-	-	-	-	-	YES
7	1	REGENCY	SG2496	24" W x 96" L x 34" H	-	-	-	-	-	-	YES
8	1	CABINET	-	36" W x 60" H x 16" D	-	-	-	-	-	-	-
9	1	CABINET	-	40" W x 60" H x 20" D	-	-	-	-	-	-	-
10	2	KYSOR-WARREN	NS39S1 (2) 12"	41 3/4" W x 12" L x 63 3/4" H	120/1	2.9	-	-	-	-	YES
11	1	KYSOR-WARREN	NS39S1 (1) 8"	41 3/4" W x 8" L x 63 3/4" H	120/1	1.5	-	-	-	-	YES
12	1	HOBART	MODEL #6614	34" W x 34" D x 68 1/2" H	240V 1 PH	50/60/1	3HP	-	-	-	YES
13	1	HOBART	MODEL #4822	11 3/4" W x 30" D x 23 3/4" H	120/1	20	1 1/2	-	-	-	YES
14	1	HOBART	MODEL #SE12	LAWH 725x590x440MM	120/1	1.79A	360W	-	-	-	YES
15	1	NAVIENT	NPE-2	14.3" W x 13.2" D x 28.8" H	120/1	4A	350W	YES	-	-	YES
16	1	COMMERCIAL	W.I. COOLER	13' W x 10' D x 8' H	120/1	2.9	-	-	-	-	YES
17	1	COMMERCIAL	W.I. FREEZER	12' W x 10' D x 8' H	120/1	15	-	-	-	-	YES
18	1	GLOBAL	WG246608	36" W x 8.5" D x 8.625" H	120/1	2.85A	1/3HP	-	-	-	YES

KEY	EQUIPMENT	MANUF. MODEL #	POWER		COND. UNIT	COMMENTS
			VOLTS	AMPS		
1	13' x 10' WALK-IN COOLER	(2) RUSSEL RL6A117ADA	120/1	2.9	A	CU-1
2	12'-0" X 10'-0" WALK-IN FREEZER	(1) RUSSEL RL6A117ADA	120/1	1.5	A	CU-2
3	8' MEAT CASE	KYSOR-WARREN NS39S1 (1) 8"	120/1	2.9	A	CU-3
4	12' MEAT CASE	KYSOR-WARREN NS39S1 (2) 12"	120/1	15	A	CU-4

KEY	MANUFACTURER MODEL NUMBER	MED. TEMP LOW TEMP	VOLTS PHASE	POWER MCA MOPD	FROM PANEL	OUTPUT BTU @ TEMP.	REFR. LINES LIQ. SUCT.	SERVICE	COMMENTS
CU 1	RUSSEL RFO300E4SDA	MED. TEMP	240V 1 PH	42.1	60	A	28900 25°F	1/2" 7/8"	13' X 10' WALK-IN
CU 2	RUSSEL RFO180E4SDA	MED. TEMP	240V 1 PH	15.0	20	A	13690 25°F	1/2" 7/8"	12' X 10' FREEZER
CU 3	RUSSEL RFO250E4SD4	MED. TEMP	240V 1 PH	32.2	45	A	30990 25°F	1/2" 7/8"	(1) 8' MEAT CASE
CU 4	RUSSEL RFO250E4SD4	MED. TEMP	240V 1 PH	32.2	45	A	30990 25°F	1/2" 7/8"	(2) 12-MEAT CASES

PLANNING DEPT APPROVAL

BUILDING DEPT APPROVAL

MINOR ELECTRICAL WORK REQUIRED FROM THE (E) 200-AMPSUB-PANEL

ELECTRICAL PLAN

SCALE: 1/4" = 1'-0"

INSTALL ELECTRICAL FOR ALL (NEW) EQUIPMENT AS PER MFG. COMPANY REQUIREMENTS

JALSALDESIGN

1671 Ave. 400 Kingsburg, CA 93631
Ph. (559) 897-4507 Email:jaimesalinas@jaisaldesign.com

Jaimie Salinas

DESIGNER

JAME SALINAS

RESPONSIBLE BUILDER:

OWNER BUILDER

JORGE LUIS MAGDALENO

2516 DIAMANTE DRIVE

TULARE, CALIFORNIA 93274

CELL. (559) 991-6114

PROJECT TITLE:

PROPOSE MEAT LOCKER

MERCADO SOL DEL VALLE

1241 N. BEN MADDOX WAY

VISALIA, CA 93292

559-747-3488

JOB NO.:

MEAT LOCKER

DRAWN BY:

JALSAL

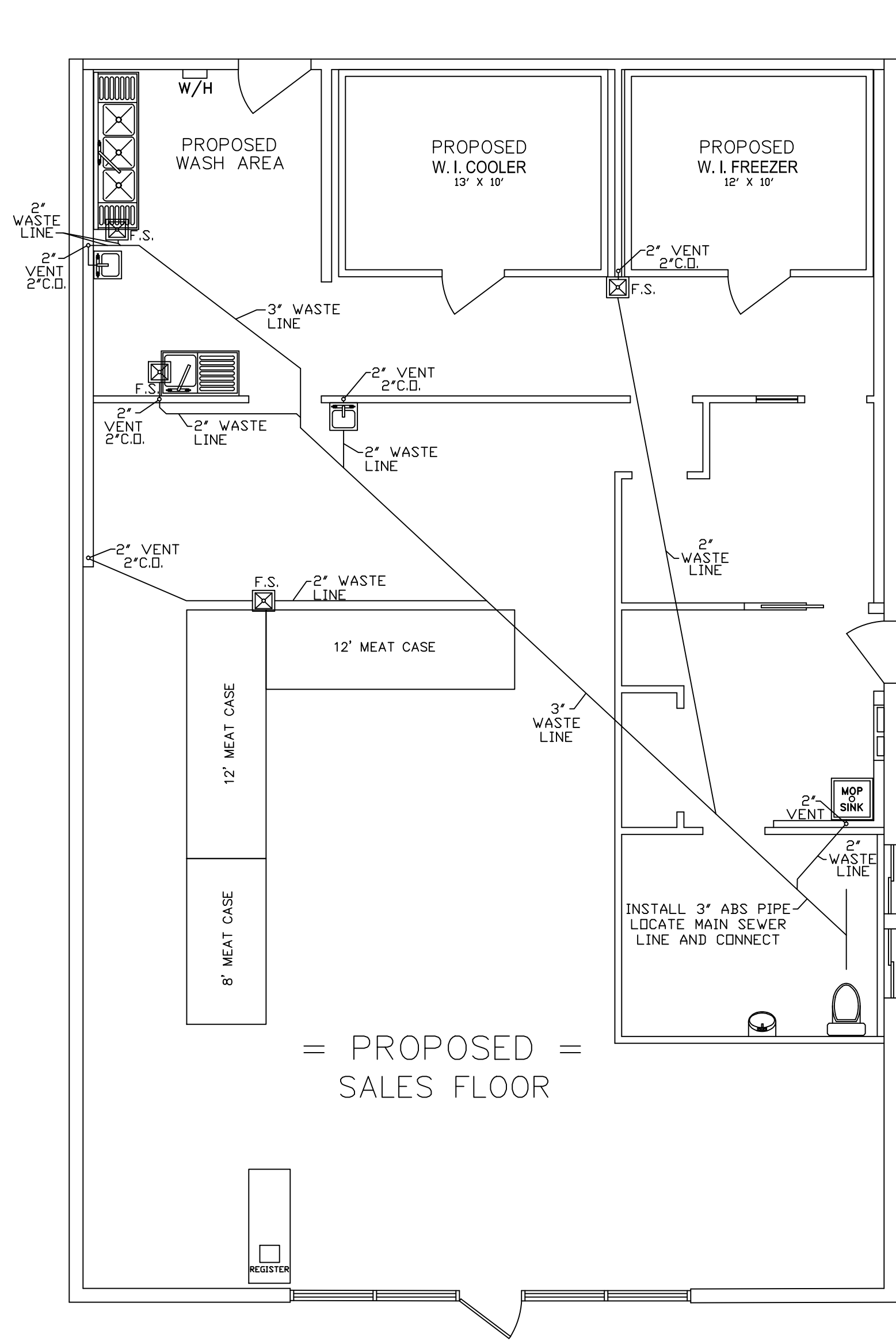
SHEET NO.:

4

OF 5 SHEETS

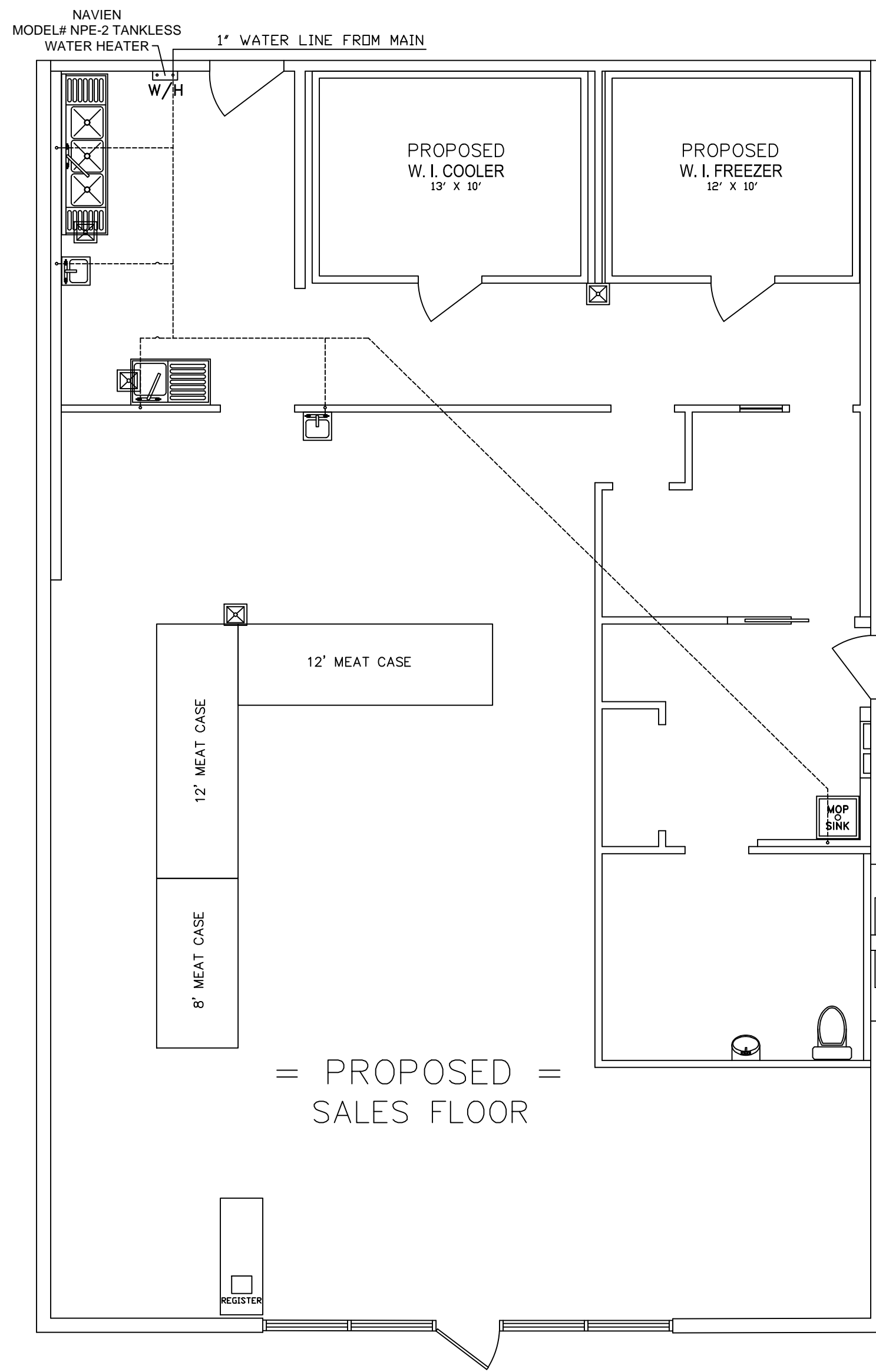
DATE:

03/2022



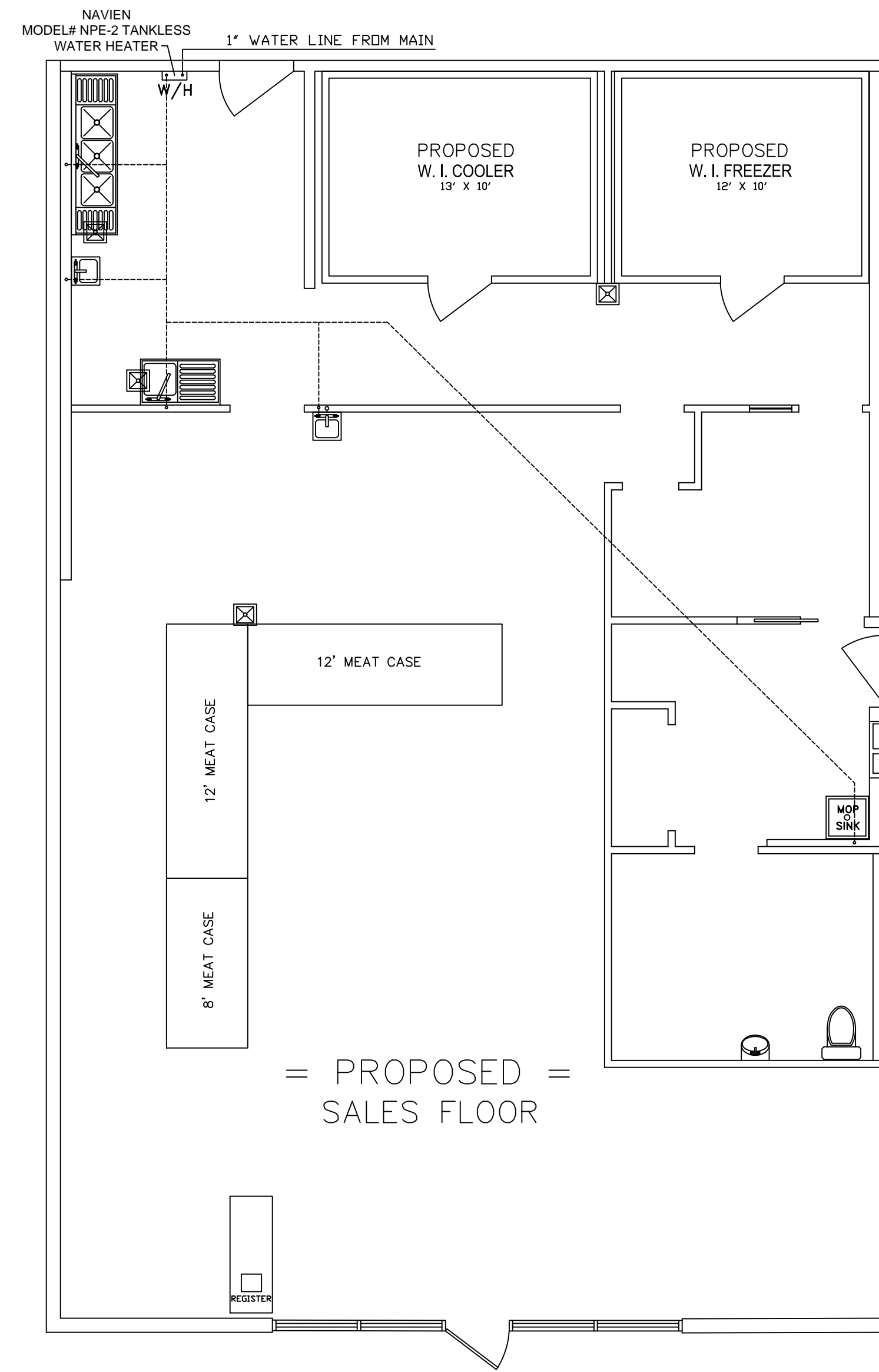
SEWER WASTE LINE

SCALE: 3/16" = 1'-0"



COLD WATER LINE

SCALE: 3/16" = 1'-0"



HOT WATER LINE

SCALE: 3/16" = 1'-0"

PLUMBING INFORMATION
NOTE:
I PROVIDE A 1" COLD WATER LINE FROM THE EXISTING MAIN LINE, TO THE NEW TANK-LESS WATER HEATER LOCATED @ THE REAR OF THE BUILDING.
THE NEW HOT & COLD WATER LINES TO SUPPLY THE NEW SINKS ARE REQUIRED TO BE INSTALLED IN THE WALL OR TO BE COVER PROTECTED.

NOTE:
THE 3-COMPARTMENT SINK AND THE W.I. COOLER & FREEZER AND THE MEAT & VEGETABLE CASES SHALL DISCHARGE LIQUID BY MEANS OF INDIRECT WASTE PIPES AND ALL WASTED DRAINED BY THEM SHALL BE IN ACCORDANCE W/ C.P.C. TABLE 603.3.1.
AIR-GAPS SHALL BE TWO TIMES THE DIAMETER OF THE EFFECTIVE OPENING OF THE WASTE LINE DRAINING INTO THE FLOOR SINK. C.P.C. SECT. 603.3.1.

NOTE:
WATER SUPPLY AND DRAIN PIPES UNDER ACCESSIBLE LAVATORIES AND SINKS SHALL BE INSULATED OR OTHERWISE BE CONFIGURED TO PROTECT AGAINST CONTACT PROTECTORS, INSULATORS OR BOTH COMPLY WITH ASME A112.18.9 OR ASTM C1822. C.P.C. SECTION 403.3.

PLANNING DEPT APPROVAL

BUILDING DEPT APPROVAL

CITY OF VISALIA SITE PLAN REVIEW APPLICATION



- Additional information and assistance in filling out this application can be found at the City of Visalia website (www.visalia.city) or by calling (559) 713-4440-

This application MUST be filled out in its entirety and submitted with an acceptable site plan (see site plan minimum requirements & submittal details on Page 2). Failure to provide all requested information may result in rejection of your application and exclusion from the Site Plan Review agenda.

- Site Plan Review meetings are held on Wednesdays at 9am at City Hall East - 315 E Acequia Ave - Applicant(s) or Representative(s) must be present -

- Application submittal deadline is 4pm on Thursdays to be scheduled for the next available meeting -

GENERAL PROJECT INFORMATION

Project/Business Name: Home2 Suites by Hilton Date: 31 March 2022

Project Description: 91 guestroom, 4-story hotel

Site Plan Review Resubmittal: Yes ☐ No ☒ If Resubmittal, Previous Site Plan Review Number: _____

Property Owner: RAJU VERMA

Applicant(s) Name: Jacob Cornejo of Klassen Corporation

Project Address/Location: SE corner of Neeley Street & Crowley Avenue

Assessor Parcel Number: 0 8 1 - 1 7 0 - 0 2 8

Parcel Size (Acreage or Square Feet): +/-1.64 Acres Building or Suite Square Footage: +/-48,866

Are There Any Proposed Building Modifications: Yes ☐ No ☒

Estimated Cost of Modifications to Building: \$ _____

Describe All Proposed Building Modifications: _____

--- THIS AREA FOR CITY STAFF USE ONLY ---

Date Received: 03/31/2022

SPR Agenda: 04/13/2022 Item No. _____

Zone: BRP SPR No. 22-058

Historic District: Yes ☐ No ☒

Flood Zone: X ☐ AE ☒ X/AE ☐

-- A SEPARATE, DETAILED OPERATIONAL STATEMENT IS HIGHLY RECOMMENDED FOR ALL SUBMITTALS --

OPERATIONS & TRAFFIC INFORMATION

Existing/Prior Building Use: Undeveloped

Proposed Building Use: Hotel

Proposed Hours of Operation: 24

Days of Week In Operation (Circle): Su M T W Th F Sa

Number of Employees Per Day: Existing _____ Proposed _____

Number of Customers Per Day (Estimated): Existing _____ Proposed _____

Predicted Peak Operating Hour: _____

Describe Any Truck Delivery Schedule & Operations: _____

Please Identify Any Unique or Specific Traffic Patterns That Will Require Accommodations For Operations, Customers, or Employees (Provide Separate Attachment if Necessary): _____

Describe Any Special Events Planned for the Facility: _____

SITE PLAN MINIMUM REQUIREMENTS

SITE PLAN REQUIREMENTS

- ⇒ Submit a digital copy of the site plan(s) and completed application on a flash drive or equivalent (PDF format preferred, hard paper copies not accepted).
- ⇒ Digital copies must be clear, legible, and on a layout sized appropriately to convey all necessary project information.
- ⇒ Site plan shall provide for and indicate all of the following:
- North arrow
 - All existing & proposed site features
 - Site dimensions, including building
 - Existing and proposed fencing at site
 - Public improvements (curbs, sidewalks, utility poles, hydrants, street lights, etc.)
 - Existing & proposed structures
 - Adjacent street names
 - Refuse enclosures & containers
 - Valley oak trees (show drip line)
 - Existing & proposed landscaping
 - Parking stalls (include ADA)
 - Loading/unloading areas
 - Accessible path of travel from right of way
 - Accessible path of travel from ADA stall
 - Location and width of drive approaches to site
 - Tentative maps shall adhere to requirements of Visalia Municipal Code Section 16

REQUIRED SIGNATURE

Applicant Information (Final comments will be mailed to the name and address provided below)

Name: Jacob Cornejo of Klassen Corp.

Signature of Owner or Authorized Agent*

Address: 2021 Westwind Drive

City, State, Zip Bakersfield, CA 93301

Owner

Date

Phone: 661-489-4936

Email: jacobc@klassencorp.com

Authorized Agent*

31 March 2022

Date

* If signed by an authorized agent, the "Agency Authorization" information below must be completed for this application to be considered acceptable.

AGENCY AUTHORIZATION

OWNER:

I, Raju Verma, declare as follows; I am the owner of certain real property bearing assessor's parcel number (APN):

081-170-028

AGENT:

I designate Jacob Cornejo of Klassen Corp., to act as my duly authorized agent for all purposes necessary to file an application for, and obtain a permit to construct a 4-story, 91 guestroom hotel relative to the property mentioned herein.

I declare under penalty of perjury the foregoing is true and correct.

Executed this 31st day of March, 2022.

OWNER

Signatures

AGENT

Signature of Owner

Signature of Agent

Owner Mailing Address

Agent Mailing Address

2021 Westwind Drive

Bakersfield, CA 93301

Owner Phone Number

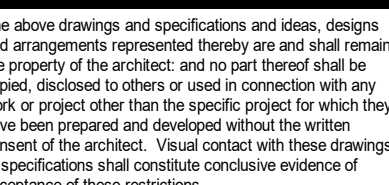
Agent Phone Number

559-274-8693

661-489-4936



2021 Westwind Drive
Bakersfield, CA 93301
(661) 324-2000



Within dimensions on these drawings shall have precedence over scaled dimension: contractors shall verify and be responsible for, all dimensions and conditions on the drawings and this office must be notified of any variations from the dimensions and conditions shown by these drawings. Shop details must be submitted to this office for approval before proceeding with fabrication.

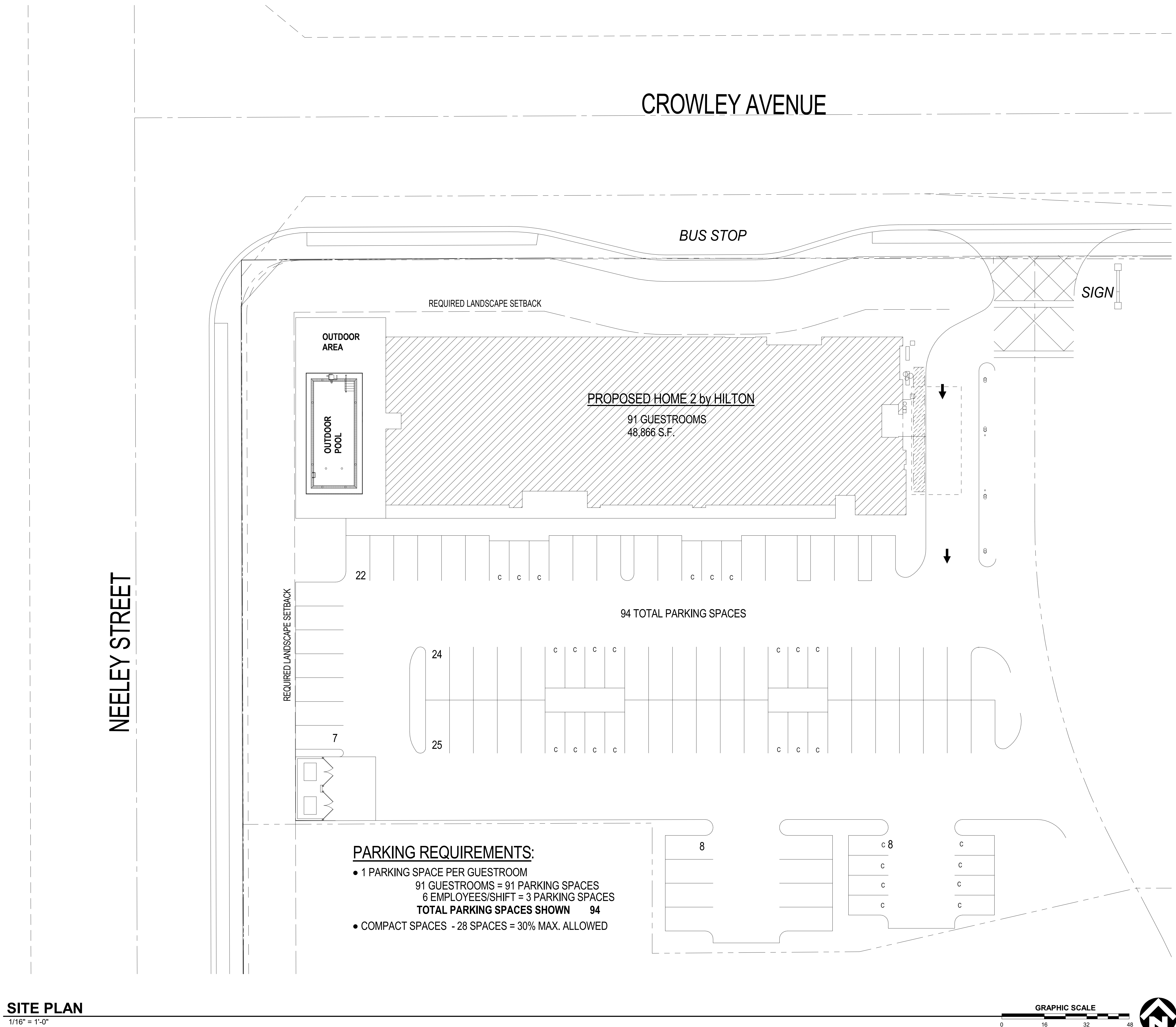
HOME 2 SUITES BY HILTON

[illegible]

Project No. : 05-1-22002

SITE PLAN

A0.01



CITY OF VISALIA SITE PLAN REVIEW APPLICATION

- Additional information and assistance in filling out this application can be found at the City of Visalia website (www.visalia.city) or by calling (559) 713-4440-



This application MUST be filled out in its entirety and submitted with an acceptable site plan (see site plan minimum requirements & submittal details on Page 2). Failure to provide all requested information may result in rejection of your application and exclusion from the Site Plan Review agenda.

- Site Plan Review meetings are held on Wednesdays at 9am at City Hall East - 315 E Acequia Ave - Applicant(s) or Representative(s) must be present -

- Application submittal deadline is 4pm on Thursdays to be scheduled for the next available meeting -

GENERAL PROJECT INFORMATION

Project/Business Name: VUSD, Transportation Administration building Date: 04/06/2022
 Project Description: New 7,952 s.f. Administration office building for Visalia Unified School District new parking lot for office staff and various site work to conform to ADA standards.
 Site Plan Review Resubmittal: Yes ☐ No ☒ If Resubmittal, Previous Site Plan Review Number: _____
 Property Owner: VUSD, 5000 W. Cypress Ave., Visalia. CA. 93177
 Applicant(s) Name: Steve Pena (Project Manager)
 Project Address/Location: 2425 W. Houston Ave. Visalia, CA. 93291
 Assessor Parcel Number: 0 8 9 - 0 3 0 - 0 2 9
 Parcel Size (Acreage or Square Feet): 16.75 acres Building or Suite Square Footage: 7,952

Are There Any Proposed Building Modifications: Yes ☐ No ☒

Estimated Cost of Modifications to Building: \$ _____

Describe All Proposed Building Modifications: _____
Construct new administration building and associated site development,
including parking.

--- THIS AREA FOR CITY STAFF USE ONLY ---

Date Received: 04/06/2022

SPR Agenda: 04/13/2022 Item No. _____

Zone: QP SPR No. 22-059

Historic District: Yes ☐ No ☒

Flood Zone: X ☐ AE ☐ X/AE ☒

- - A SEPARATE, DETAILED OPERATIONAL STATEMENT IS HIGHLY RECOMMENDED FOR ALL SUBMITTALS - -

OPERATIONS & TRAFFIC INFORMATION

Existing/Prior Building Use: None
 Proposed Building Use: Transportation Administration Office
 Proposed Hours of Operation: 5:30 AM - 6:00 PM
 Days of Week In Operation (Circle): Su ☐ M ☐ T ☐ W ☐ Th ☐ F ☐ Sa ☐
 Number of Employees Per Day: Existing 60 Proposed 60
 Number of Customers Per Day (Estimated): Existing 2-4 Proposed 2-4
 Predicted Peak Operating Hour: 6:00 AM - 8:30 AM 1:30 PM - 4:30 PM (NO CHANGE)
 Describe Any Truck Delivery Schedule & Operations: None
 Please Identify Any Unique or Specific Traffic Patterns That Will Require Accommodations For Operations, Customers, or Employees
 (Provide Separate Attachment if Necessary): None
 Describe Any Special Events Planned for the Facility: None

SITE PLAN MINIMUM REQUIREMENTS

SITE PLAN REQUIREMENTS

- ⇒ Submit a digital copy of the site plan(s) and completed application on a flash drive or equivalent (PDF format preferred, hard paper copies not accepted).
- ⇒ Digital copies must be clear, legible, and on a layout sized appropriately to convey all necessary project information.
- ⇒ Site plan shall provide for and indicate all of the following:
 - North arrow
 - All existing & proposed site features
 - Site dimensions, including building
 - Existing and proposed fencing at site
 - Public improvements (curbs, sidewalks, utility poles, hydrants, street lights, etc.)
 - Existing & proposed structures
 - Adjacent street names
 - Refuse enclosures & containers
 - Valley oak trees (show drip line)
 - Existing & proposed landscaping
 - Parking stalls (include ADA)
 - Loading/unloading areas
 - Accessible path of travel from right of way
 - Accessible path of travel from ADA stall
 - Location and width of drive approaches to site
 - Tentative maps shall adhere to requirements of Visalia Municipal Code Section 16

REQUIRED SIGNATURE

Applicant Information (Final comments will be mailed to the name and address provided below)

Name: <u>Steve Pena (Project Manager)</u>	Signature of Owner or Authorized Agent*	
Address: <u>5000 W. Cypress Avenue</u>	<u>Steve Pena</u>	<u>4/6/22</u>
City, State, Zip: <u>Visalia, CA 93277</u>	Owner	Date
Phone: <u>(559) 730-7350</u>		
Email: <u>spena01@vusd.org</u>	Authorized Agent*	Date

* If signed by an authorized agent, the "Agency Authorization" information below must be completed for this application to be considered acceptable.

AGENCY AUTHORIZATION

AGENCY AUTHORIZATION FORM

OWNER:

I, _____, declare as follows; I am the owner of certain real property bearing assessor's parcel number (APN):

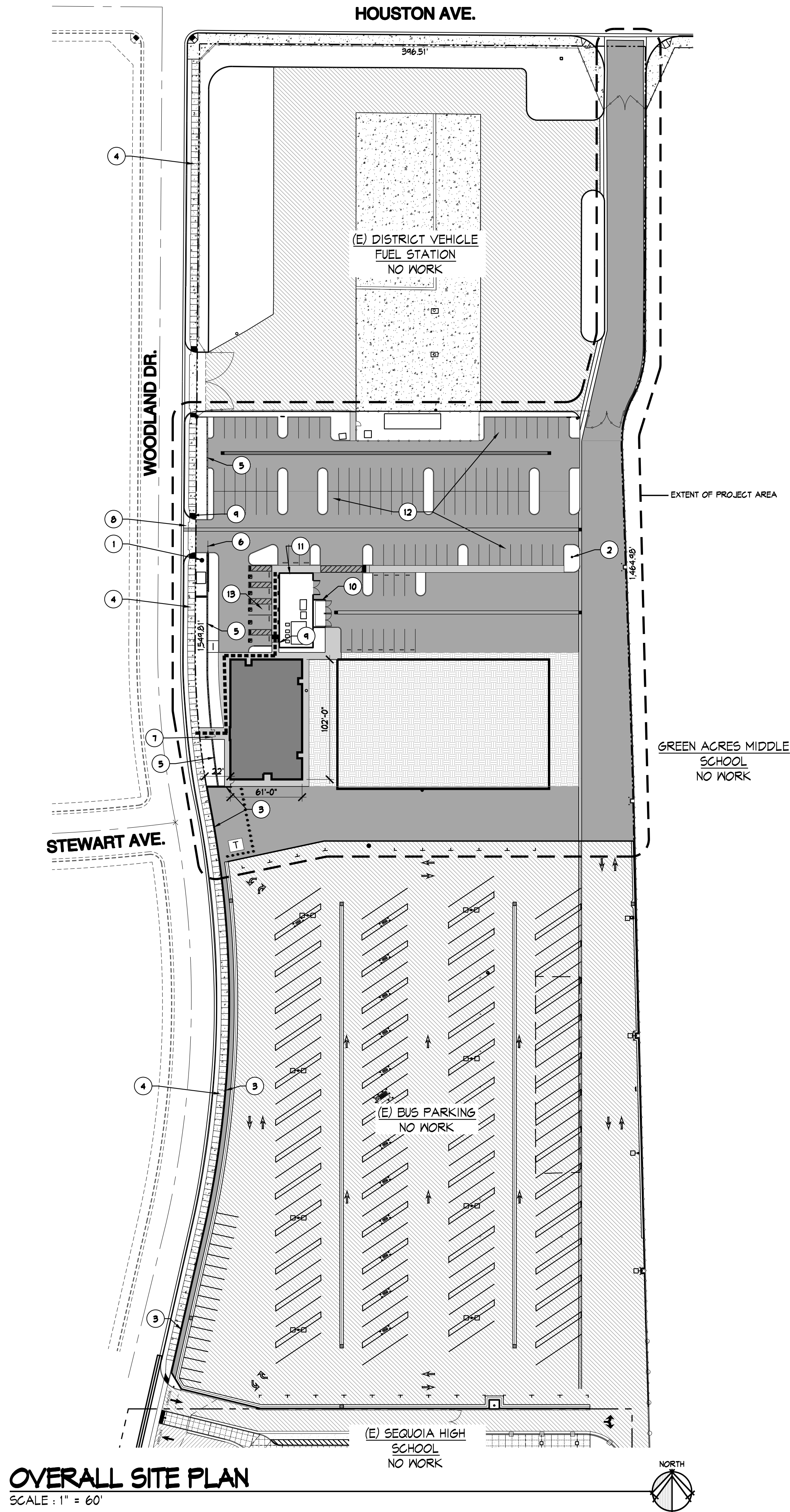
AGENT:

I designate _____, to act as my duly authorized agent for all purposes necessary to file an application for, and obtain a permit to _____ relative to the property mentioned herein.

I declare under penalty of perjury the foregoing is true and correct.

Executed this _____ day of _____, 20____.

OWNER	Signatures	AGENT
Signature of Owner		Signature of Agent
Owner Mailing Address		Agent Mailing Address
Owner Phone Number		Agent Phone Number



LEGEND

PROPOSED BUILDING

PROPOSED ASPHALT PAVING

EXISTING ASPHALT PAVING

PAD FOR FUTURE BUILDING

----- INDICATES LOCATION OF PROPERTY LINE

---o---o---o--- INDICATES LOCATION OF (E) CHAIN LINK FENCING

KEYNOTES

1 (E) FIRE HYDRANT

2 PROPOSED FIRE HYDRANT

3 PROPOSED 6' HIGH CMU WALL AT BACK SIDE OF (E) SIDEWALK

4 (E) 6' WIDE CONCRETE SIDEWALK PER CITY STANDARDS

5 PROPOSED 6' HIGH TUBE STEEL FENCE

6 PROPOSED 6' HIGH x 28' WIDE ROLLING TUBE STEEL GATE

7 PROPOSED 6' HIGH x 6' WIDE DOUBLE LEAF TUBE STEEL GATE

8 PROPOSED 28' WIDE DRIVE APPROACH PER CITY STANDARDS

9 PROPOSED TRUNCATED DOMES

10 PROPOSED 6' HIGH CMU TRASH ENCLOSURE PER CITY STANDARDS

11 PROPOSED 6' HIGH CMU FENCE AROUND (E) TRANSFORMERS & UTILITIES

12 PROPOSED PARKING LOT w/ LANDSCAPING

13 PROPOSED ACCESSIBLE PARKING STALLS

ACCESSIBLE PATH OF TRAVEL

PATH OF TRAVEL (P.O.T.) -----

ACCESSIBLE PATH OF TRAVEL AS INDICATED ON PLANS IS A BARRIER FREE ACCESS ROUTE WITHOUT ANY ABRUPT LEVEL CHANGES EXCEEDING 1/2" IF BEVELED AT 1:2 MAXIMUM SLOPE OR VERTICAL LEVEL CHANGES NOT EXCEEDING 1/4" MAXIMUM AND AT LEAST 48" IN WIDTH. SURFACE IS STABLE, FIRM AND SLIP RESISTANT. GROSS SLOPE DOES NOT EXCEED 2% AND SLOPE IN THE DIRECTION OF TRAVEL IS LESS THAN 5% UNLESS OTHERWISE INDICATED. ACCESSIBLE PATH OF TRAVEL SHALL BE MAINTAINED FREE OF OVERHANGING OBSTRUCTIONS TO 80" MINIMUM AND PROTRUDING OBJECTS GREATER THAN 4" PROJECTION FROM WALL ABOVE 27" AND LESS THAN 80". ARCHITECT SHALL VERIFY THAT THERE ARE NO BARRIERS IN THE PATH OF TRAVEL.

PROJECT DESCRIPTION

THIS PROJECT CONSISTS OF THE CONSTRUCTION OF A NEW ADMINISTRATION OFFICE BUILDING FOR THE TRANSPORTATION DEPARTMENT OF VISALIA UNIFIED SCHOOL DISTRICT. NEW PARKING LOT FOR OFFICE STAFF AND VARIOUS SITE WORK TO CONFORM TO ADA STANDARDS.

PROJECT INFORMATION

PROJECT ADDRESS: 2425 W. HOUSTON AVE.
VISALIA, CA. 93291

PROPERTY OWNER: VISALIA UNIFIED SCHOOL DISTRICT
5000 W. CYPRESS AVE.
VISALIA, CA. 93271

CONTACT: STEVE PENA
VISALIA UNIFIED SCHOOL DISTRICT
5000 W. CYPRESS AVE.
VISALIA, CA. 93271
P (559) 730-1350

ARCHITECT: DOUGLAS K. JANZEN
DKJ ARCHITECTS INC.
1736 S. CENTRAL STREET, SUITE A
VISALIA, CA. 93271
TEL (559) 730-0394
E-MAIL: DOUG@DKJARCHITECTS.COM

APN: 089-03-29

ZONING: ---

FLOOD ZONE: ZONE AE
MAP 06107C042E
EFFECTIVE, 6/16/2004

LOCATION MAP

VICINITY MAP

dkj inc. architects

1736 S. Central Street, Suite A
Visalia, CA 93277
P: 559.738.0309 • info@dkjarchitects.com

DOUGLAS K. JANZEN
C-14260
EXPI. 8-31-23
STATE OF CALIFORNIA

DRAWN BY: DA
DATE: 3/24/2022
REVISED:

**NEW ADMINISTRATION BUILDING
TRANSPORTATION DEPARTMENT**

VISALIA UNIFIED SCHOOL DISTRICT
2425 W. HOUSTON
VISALIA, CA. TULARE COUNTY

PROJECT NUMBER: 1533.11
DRAWING TITLE
SITE PLAN
DRAWING NUMBER
SPR-1

GENERAL PROJECT INFORMATION

- Site Plan Review meetings are held on Wednesdays at 9am at City Hall East - 315 E Acequia Ave - Applicant(s) or Representative(s) must be present -

OPERATIONS & TRAFFIC INFORMATION

SITE PLAN MINIMUM REQUIREMENTS

- ⇒ Submit a digital copy of the site plan(s) and completed application on a flash drive or equivalent (PDF format preferred, hard paper copies not accepted).
- ⇒ Digital copies must be clear, legible, and on a layout sized appropriately to convey all necessary project information.
- ⇒ Site plan shall provide for and indicate all of the following:
- North arrow
 - All existing & proposed site features
 - Site dimensions, including building
 - Existing and proposed fencing at site
 - Public improvements (curbs, sidewalks, utility poles, hydrants, street lights, etc.)
 - Existing & proposed structures
 - Adjacent street names
 - Refuse enclosures & containers
 - Valley oak trees (show drip line)
 - Existing & proposed landscaping
 - Parking stalls (include ADA)
 - Loading/unloading areas
 - Accessible path of travel from right of way
 - Accessible path of travel from ADA stall
 - Location and width of drive approaches to site
 - Tentative maps shall adhere to requirements of Visalia Municipal Code Section 16

Applicant Information (Final comments will be mailed to the name and address provided below)

Name: <u>Jim Robinson</u>	Signature of Owner or Authorized Agent*	
Address: <u>5607 Avenida de los Robles</u>	Owner	<u>4.7.22</u> Date
City, State, Zip <u>Visalia, CA 93292</u>		
Phone: <u>559-732-2660</u>	Authorized Agent*	<u>4.7.22</u> Date
Email: <u>Jrobinson@sjvhomes.com</u>		

* If signed by an authorized agent, the "Agency Authorization" information below must be completed for this application to be considered acceptable.

AGENCY AUTHORIZATION

OWNER:

I, Jim Robinson, declare as follows; I am the owner of certain real property bearing assessor's parcel number (APN):

085-010-104 085-010-089 085-010-091

AGENT:

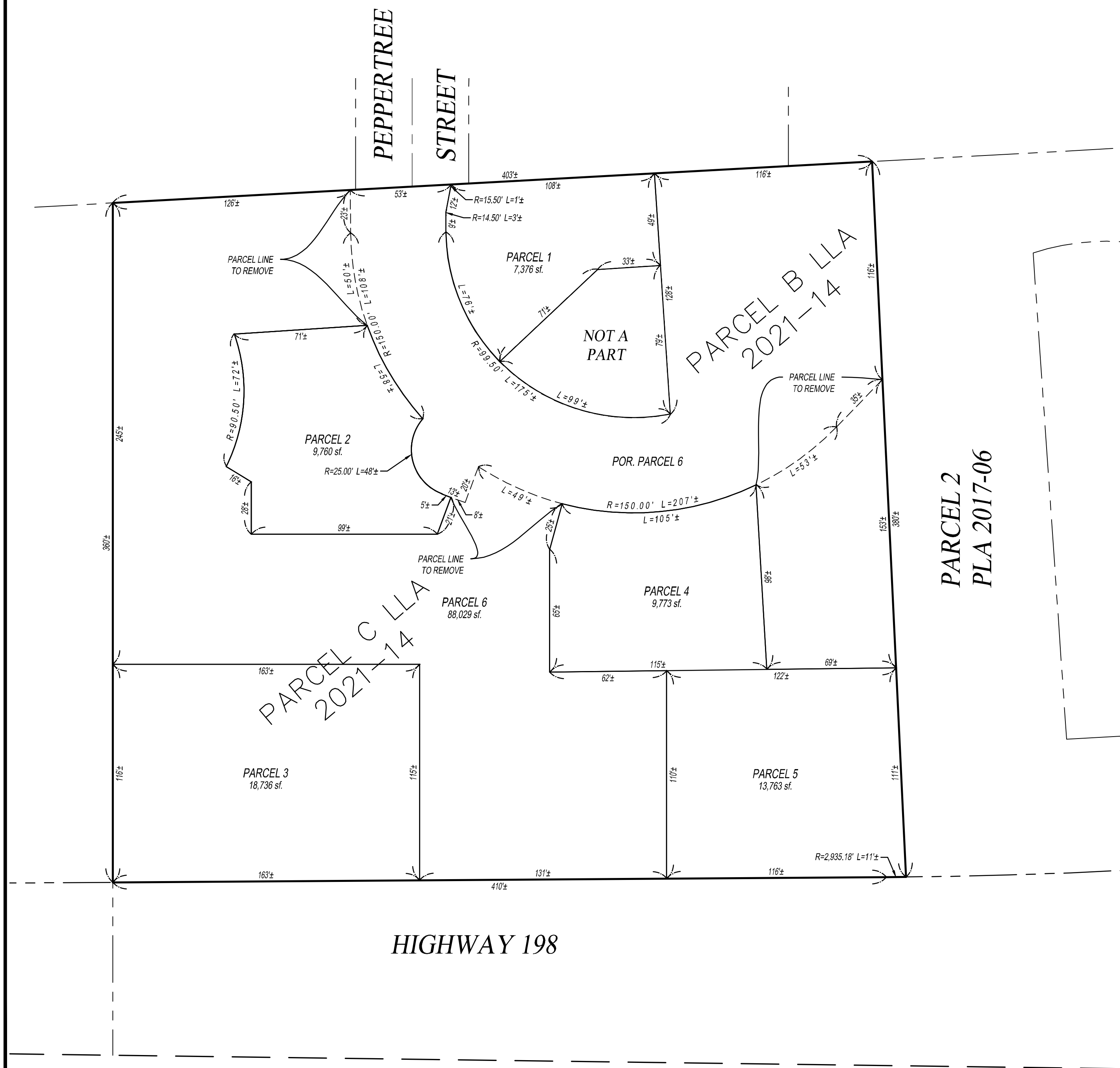
I designate Jim Robinson, to act as my duly authorized agent for all purposes necessary to file an application for, and obtain a permit to Clayton Merrill relative to the property mentioned herein.

I declare under penalty of perjury the foregoing is true and correct.

Executed this 7th day of April, 2022.

OWNER	Signatures	AGENT
Signature of Owner		Signature of Agent
<u>5607 Avenida de los Robles</u>		<u>324 S. Santa Fe St. Suite A</u>
Owner Mailing Address		Agent Mailing Address
<u>Visalia, CA 93292</u>		<u>Visalia, CA 93292</u>
<u>559-732-2660</u>		<u>559-802-3052</u>
Owner Phone Number		Agent Phone Number

TENTATIVE PARCEL MAP

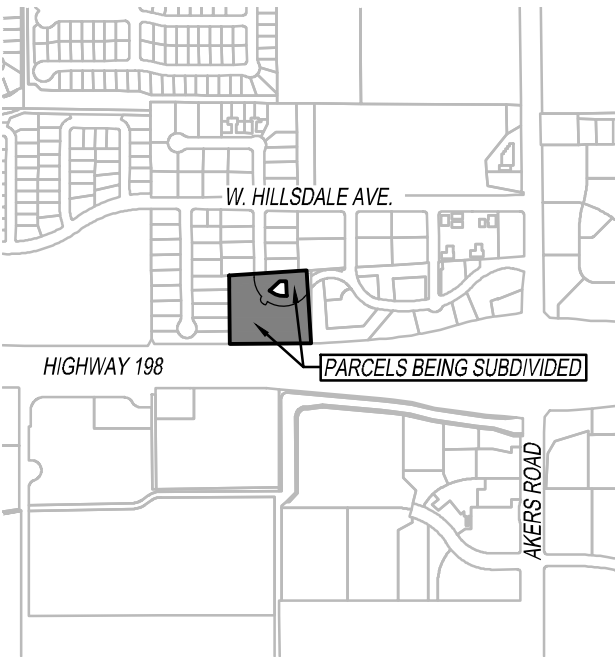


SITE INFO

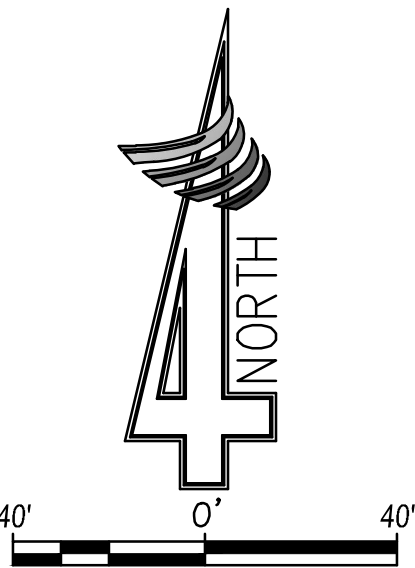
OWNER:
APN: 000-014-854 & 853 (PER CITY GIS WEBSITE)
SITE AREA: 3.38 ACRES (NET)
FLOOD ZONE: X
GENERAL PLAN: O
ZONING: O-PA
ELECTRICITY: SO. CAL. EDISON
TELEPHONE: AT&T
REFUSE: CITY OF VISALIA
WATER: CAL. WATER
NATURAL GAS: SO. CAL. GAS

LEGAL DESCRIPTION

PARCELS B & C OF LOT LINE ADJUSTMENT NO. 2021-14,
RECORDED 11/23/21 AS INSTR. NO. 2021-0086139, O.R.



VISALIA, CA
VICINITY MAP
NO SCALE



PREPARED BY:



324 S. SANTA FE ST., STE. A
P.O. BOX 7593
VISALIA, CA 93292
TEL: 559.802.3052
FAX: 559.802.3215

ONE SHEET ONLY