SITE PLAN REVIEW AGENDA

3/24/2021 - 9:00 A.M. Conference Room #4 315 E. Acequia Avenue

ITEM NO: 1 Resubmit
SITE PLAN NO: SPR21033
PROJECT TITLE: 213 W. Main St

DESCRIPTION: Renovation of Existing 2 Story Building for Retail and Restaurant. (D-MU)

APPLICANT: Justin Kirsinas

OWNER: STAR PROPERTY LB INVESTMENT

APN: 094326007 LOCATION: 213 W MAIN ST

215 W MAIN ST 217 W MAIN ST

ITEM NO: 2

SITE PLAN NO: SPR21039

PROJECT TITLE: Corby's Bar & Grill

DESCRIPTION: To Obtain a CUP for Live Music. (D-MU)

APPLICANT: Corey Morse

OWNER: LESLIE A MOSLEY LLC

APN: 094296014 LOCATION: 221 E MAIN ST

ITEM NO: 3

SITE PLAN NO: SPR21040

PROJECT TITLE: Rodriguez Apartments

DESCRIPTION: Existing 19 ft. 4 in. x 19 ft Carport - Convert into a same size Accessory Dwelling Unit. (R--M-2)

APPLICANT: Carmelita J Rodriguez

OWNER: RODRIGUEZ CARMELITA J(TR)(CJR LIV TR)

APN: 097072012

LOCATION: 622 S CHURCH ST

ITEM NO: 4

SITE PLAN NO: SPR21041

PROJECT TITLE: Kaweah Delta Health Care

DESCRIPTION: Food Trucks in Parking Lot West of Acequia Wing(QP)

APPLICANT: Deborah Volosin

OWNER: KAWEAH DELTA HEALTH CARE DISTRICT

APN: 094311020

LOCATION:

305 W ACEQUIA AVE

ITEM NO: 5

SITE PLAN NO: SPR21042

PROJECT TITLE: Orchard Walk Medium Density Project

DESCRIPTION: Development of Vacant Parcel into 154 Single-Family Residential Lots. (R-M-2)

APPLICANT: Steve Brandt

OWNER: NORTH VISALIA HOLDINGS LLC

APN: 079310005 079310004

LOCATION: Northeast Corner of N. Court St. &W. Riggin Ave.

AFTER REVIEW OF REGULAR AGENDA ITEMS, THE COMMITTEE WILL BE AVAILABLE TO REVIEW OFF-AGENDA ITEMS FOR INFORMAL REVIEW. THE COMMITTEE WILL BE AVAILABLE TO ANSWER QUESTIONS AT THAT TIME.

SITE PLAN REVIEW AGENDA

3/24/2021 - 9:00 A.M. Conference Room #4 315 E. Acequia Avenue

ITEM NO: 6

SITE PLAN NO: SPR21043

PROJECT TITLE: PK Deli Exterior Stucco

DESCRIPTION: Stucco the Front of the Building to give it a Face Lift. (D-MU)

APPLICANT: Ernesto Aceves

OWNER: VANDERHAM ROBERT W & LENA

APN: 094335011

LOCATION: 219 N COURT ST

Additional information and assistance in filling out this application can be found at the City of Visalia website (www.visalia.city) or by calling (559) 713-4440



This application MUST be filled out in its entirety and submitted with an acceptable site plan (see site plan minimum requirements & submittal details on Page 2). Failure to provide all requested information may result in rejection of your application and exclusion from the Site Plan Review agenda

Site Plan Review meetings are held on Wednesdays at 9am at City Hall East - 315 E Acequia Ave - Applicant(s) or Representative(s) must be present -- Application submittal deadline is 4pm on Thursdays to be scheduled for the next available meeting Project/Business Name Renovation of existing 2 story Project Description: PROJECT INFORMATION Yes X No If Resubmittal, Previous Site Plan Review Number: 2021 - 033 Site Plan Review Resubmittal: Sta- Property LLC Property Owner Applicant(s) Name Justin Kirsinas 213-217 W. Main St. Visalia Project Address/Location GENERAL Assessor Parcel Number Parcel Size (Acreage or Square Feet) Building or Suite Square Footage 0.13 AC Yes (X) No () --- THIS AREA FOR CITY STAFF USE ONLY ---Are There Any Proposed Building Modifications: Estimated Cost of Modifications to Building Date Received \$ 750,000 Describe All Proposed Building Modifications: Item No. floor, Retail First Clock No Historic District: X/AE Flood Zone - - A SEPARATE, DETAILED OPERATIONAL STATEMENT IS HIGHLY RECOMMENDED FOR ALL SUBMITTALS Existing/Prior Building Use Proposed Building Use llan Proposed Hours of Operation TRAFFIC INFORMATION * See attached operational Statement Days of Week In Operation (Circle) Number of Employees Per Day Existing Proposed Number of Customers Per Day (Estimated) Existing Predicted Peak Operating Hour Describe Any Truck Delivery Schedule & Operations OPERATIONS & Please Identify Any Unique or Specific Traffic Patterns That Will Require Accommodations For Operations, Customers, or Employees (Provide Separate Attachment if Necessary) Describe Any Special Events Planned for the Facility.

	SITE PLAN MINIMUM REQUIREMENTS					
S	Submit a digital copy of the site plan(s) and completed application on a flash drive or equivalent (PDF format preferred, hard paper copies					
ENT.	not accepted).					
SITE PLAN REQUIREMENTS	Digital copies must be clear, legible, and on a layout sized appropriately to convey all necessary project information.					
S	Site plan shall provide for and indicate all of the following:					
NR	North arrow Existing & proposed structures Loading/unloading areas All existing & proposed site features Adjacent street names Accessible path of travel from right of way					
E PU	- All existing & proposed site features - Adjacent street names - Accessible path of travel from right of way - Site dimensions, Including building - Refuse enclosures & containers - Accessible path of travel from ADA stall					
ES	- Existing and proposed fencing at site - Valley oak trees (show drip line) - Location and width of drive approaches to site					
	Public improvements (curbs, sidewalks, - Existing & proposed landscaping - Tentative maps shall adhere to requirements					
	utility poles, hydrants, street lights, etc.) - Parking stalls (Include ADA) of Visalia Municipal Code Section 16					
	Applicant Information (Final comments will be mailed to the name and address provided below)					
JRE	Name: Justin Kirsings Signature of Owner or Authorized Agent*					
NAT	Address: 14930 Alondra blv b					
SIG	City, State, Zip La Mirada CA 90638 Owner					
IIREC	Phone: 562 - 225 - 5425 Authorized Agent Date					
REQUIRED SIGNATURE	Email: JKirsings e grail can Authorizad Agent					
	* If signed by an authorized agent, the "Agency Authorization" information below must be completed for this application to be considered acceptable.					
H	AGENCY AUTHORIZATION					
	OWNER:					
	declare as follows; I am the owner of certain real property bearing assessor's					
	parcel number (APN): (294 - 326 - 007					
	079-306-001					
	AGENT:					
	I designate Tucka Kirsinas to act as my duly authorized agent for all purposes necessary to file					
SRM SM	an application for, and obtain a permit to					
RIZATION FORM						
N N	I declare under penalty of perjury the foregoing is true and correct.					
	Executed this 3 day of March 2021.					
AGENCY AUTHO						
Š	OWNER Signatures ACCIO					
AGE						
	Signature of Owner Signature of Agent					
	14930 Alordon Stre 14930 Alordon West					
1	Owner Mailing Address Agent Mailing Address (A 90/3 B					
	Signature of Owner 14930 Alorder Signature of Owner 14930 Alorder Signature of Owner 14930 Alorder Signature of Owner S					
	(562) 623 -9329 S62 - 225 - 6425 Operator Phone Number Agent Phone Number					
	Page 2 of 2					



■ ARCHITECT

A R C H I T E C T U

100 WEST BROADWAY SUITE 3000
LONG BEACH, CA 90802
(562) 810-3719

NEXT ARCHITECTURE EXPRESSLY RESERVES ITS COMMON LAW COPYRIGHT AND OTHER PROPERTY RIGHTS IN THESE DOCUMENTS. THESE DOCUMENTS ARE NOT TO BE REPRODUCED, CHANGED, OR COPIED IN ANY FORM OR MANNER WHATSOEVER. NOR ARE THEY TO BE ASSIGNED TO ANY THIRD PARTY WITHOUT FIRST OBTAINING THE EXPRESSED WRITTEN PERMISSION AND CONSENT OF NEXT ARCHITECTURE.

■ CLIENT/OWNER

■ DDO IECT

MAIN ST. VISALIA

213 W. MAIN ST. VISALIA, CA 93291

■ ISSUES & REVISIONS

Date Description

NOT FOR CONSTRUCTION

SCALE:

■ PROJECT NUMBER: 2020

■ SHEET TITLE

CONCEPT ELEVATION

■ SHEET NUMBER

A30

213-217 Main Operations Statement

First Floor

Uses: The first floor is for the most part being spec built into what we hope will become

Visalia's downtown boutique shopping destination. For example we anticipate this location to house small retail, Coffee shops, ice cream, quick serve food and beverage, bakery, barber/cosmetologist, butcher, boutique grab and go market or other low flow

quick service type tenants.

Hours of OP: Our early assumptions would be the hours of operation for the bottom floor to be 8-6

and to most likely fall in line with the upstairs tenant.

Employees: The first floor would likely see a maximum of 10-12 employees on site. I do not see this

space exceeding 15 depending on use.

Customers: In this space we would expect low flow traffic. On the assumption the clients listed

above came to fruition I would expect a maximum of 50-60 customers at the highest

point of the day but a typical occupancy of 10-15 customers on site.

Space usage: This space will be an open flow concept with community space. This concept allows for

flexibility and will encourage customers to shop multiple business in each visit.

Second Floor

Use: Fine dining dinner and lunch service, this tenant is expected to be in the same tier of

other local favorites like Tommy's, Fugazzis, and other upper end dining experiences.

Hours of OP: M-F 11:00-9:00

Sat 11:00-10:00

Sun 11:00-10:00

Employees: Total Employee count 30+-

Onsite lunch 8

Onsite Dinner 14

Customers: We would expect the restaurant at top performance to serve 60 diners at lunch and 120

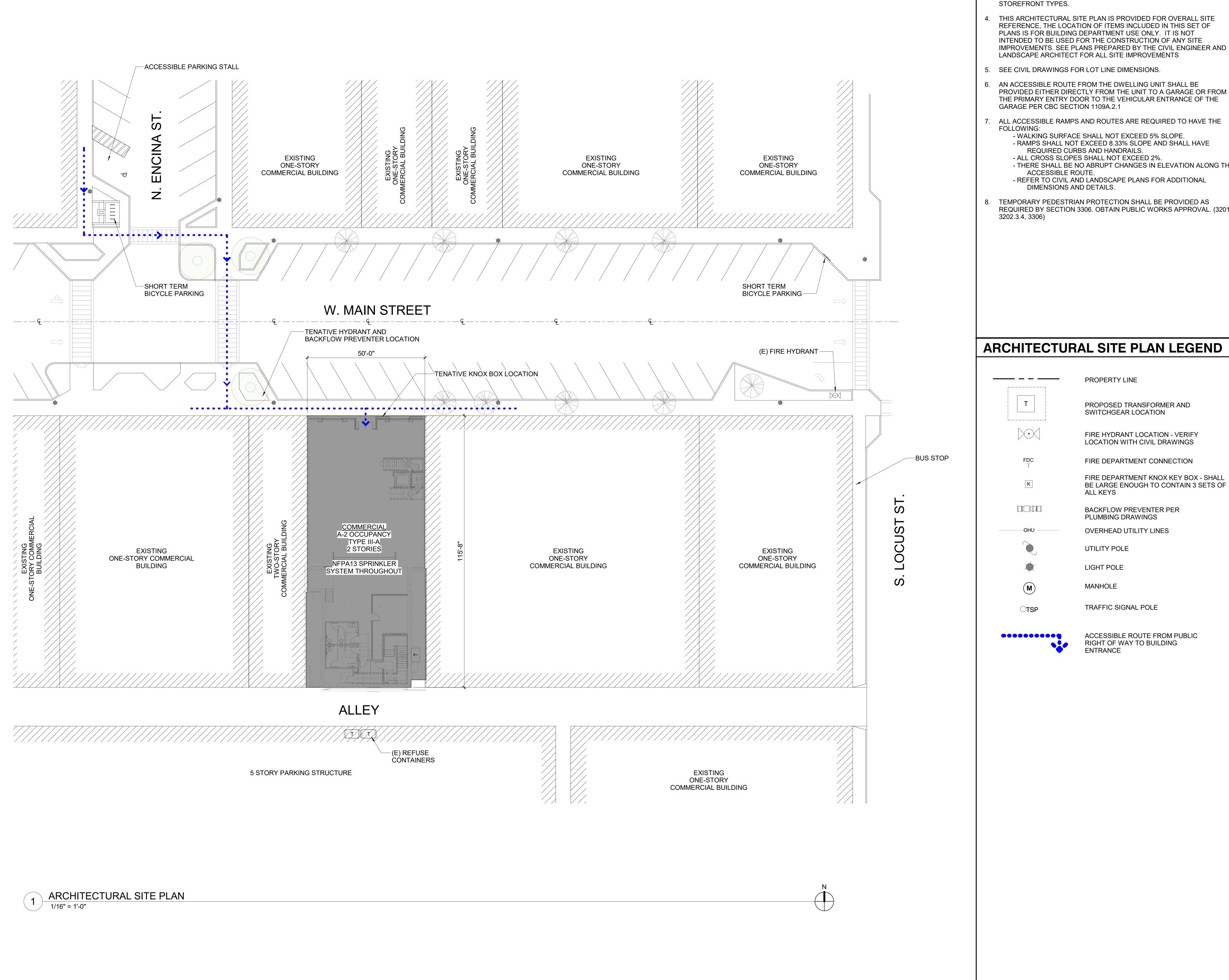
diners during the dinner hours. Total meals served including off hour dining this tenant would expect 180-200 plates a day served. This tenant does not have an expectation to

cater to the downtown bar scene as reflected by their hours.

Space usage: This space on a daily basis will expect to use rooms noted as BAR, BLUE ROOM, MAIN

DINING ROOM AND PRIVATE DINING ROOM #2. PRIVATE DINING #3 would typically be

used for banquets and over flow.



ARCHITECTURAL SITE PLAN NOTES

1. REFER TO SHEET A020 FOR SYMBOLS AND ABBREVIATIONS.

2. REFER TO SHEETS A021 AND A022 FOR APPLICABLE GENERAL NOTES.

3. REFER TO SHEETS A9 SERIES FOR DOOR & WINDOW SCHEDULES AND

■ ARCHITECT

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- PROVIDED EITHER DIRECTLY FROM THE UNIT TO A GARAGE OR FROM THE PRIMARY ENTRY DOOR TO THE VEHICULAR ENTRANCE OF THE
- ALL ACCESSIBLE RAMPS AND ROUTES ARE REQUIRED TO HAVE THE
 - RAMPS SHALL NOT EXCEED 8.33% SLOPE AND SHALL HAVE
 - THERE SHALL BE NO ABRUPT CHANGES IN ELEVATION ALONG THE
- 8. TEMPORARY PEDESTRIAN PROTECTION SHALL BE PROVIDED AS REQUIRED BY SECTION 3306. OBTAIN PUBLIC WORKS APPROVAL. (3201.3,

■ CLIENT/OWNER

PROJECT

——————————————————————————————————————	PROPERTY LINE
T	PROPOSED TRANSFORMER AND SWITCHGEAR LOCATION
	FIRE HYDRANT LOCATION - VERIFY LOCATION WITH CIVIL DRAWINGS
FDC Y	FIRE DEPARTMENT CONNECTION
K	FIRE DEPARTMENT KNOX KEY BOX - SHALL BE LARGE ENOUGH TO CONTAIN 3 SETS OF ALL KEYS
	BACKFLOW PREVENTER PER PLUMBING DRAWINGS
———ОНИ ———	OVERHEAD UTILITY LINES
	UTILITY POLE
	LIGHT POLE
M	MANHOLE
OTSP	TRAFFIC SIGNAL POLE
	ACCESSIBLE ROUTE FROM PUBLIC RIGHT OF WAY TO BUILDING ENTRANCE

MAIN ST. VISALIA

213 W. MAIN ST. VISALIA, CA 93291

■ ISSUES & REVISIONS

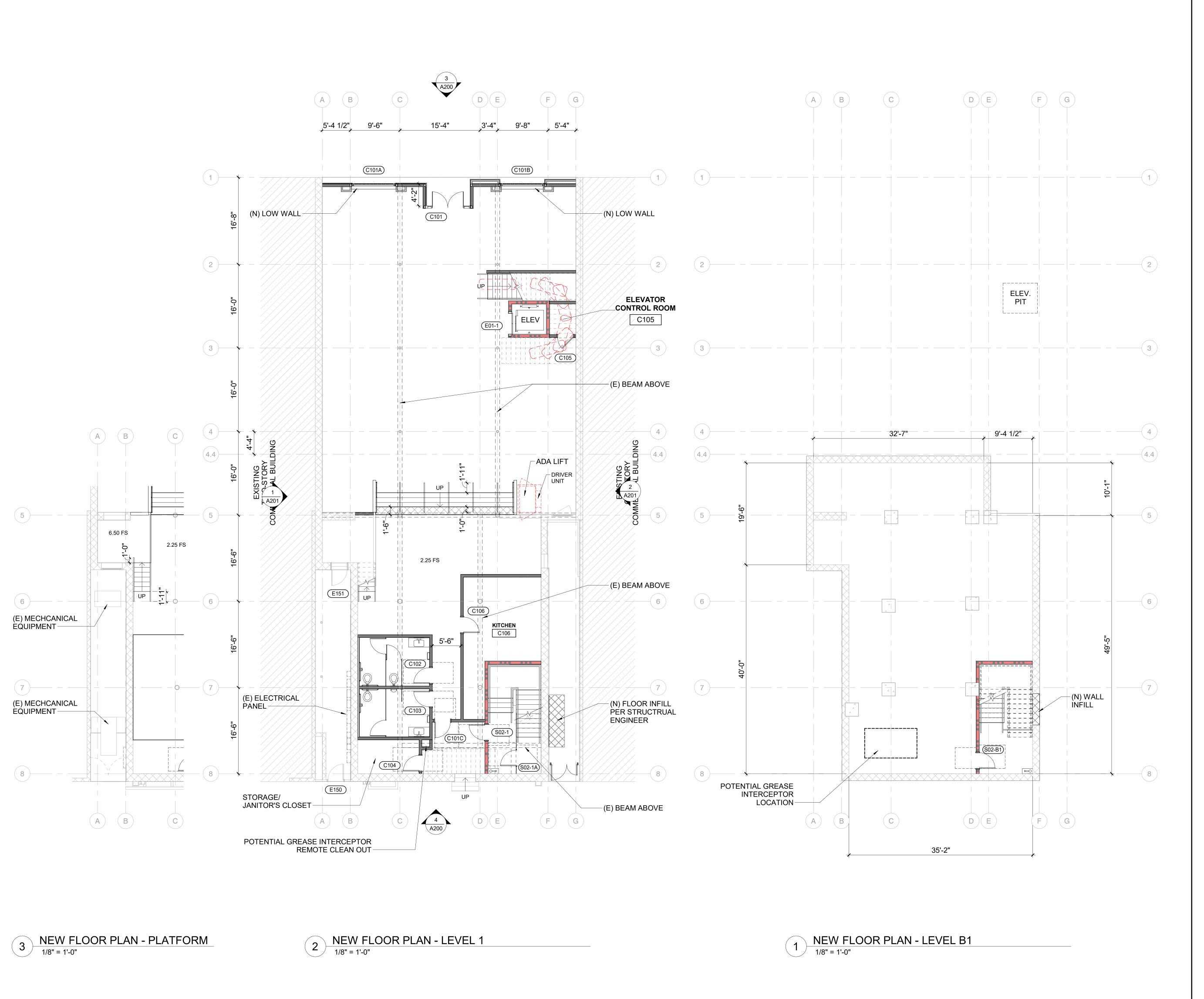
■ PROJECT NUMBER: 2020-114

■ SHEET TITLE

ARCHITECTURAL SITE PLAN

■ SHEET NUMBER

A100



FLOOR PLAN NOTES

- 1. REFER TO SHEET A020 FOR SYMBOLS AND ABBREVIATIONS.
- 2. REFER TO SHEETS A021 AND A022 FOR APPLICABLE GENERAL NOTES.
- 3. REFER TO SHEETS A9 SERIES FOR DOOR & WINDOW SCHEDULES AND STOREFRONT TYPES.
- 4. DIMENSIONS ARE TO CENTERLINE OF COLUMN, FACE OF STUD, FACE OF CONCRETE, OR FACE OF MASONRY, UNLESS NOTED OTHERWISE.
- 5. ANY DISCREPANCIES NOTED SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT FOR CLARIFICATION PRIOR TO BEGINNING WORK.
- 6. ALL STRUCTURAL, PLUMBING, MECHANICAL, AND ELECTRICAL INFORMATION SHOWN ON THIS SHEET IS FOR REFERENCE ONLY. REFER TO CONSULTANTS DRAWINGS PREPARED BY THE ENGINEER. FOR ALL FRAMING, REFER TO STRUCTURAL DRAWINGS PREPARED BY THE STRUCTURAL ENGINEER. CONTRACTOR TO VERIFY ANY DISCREPANCIES WITH THE ARCHITECT PRIOR TO BEGINNING WORK.
- 7. APPROVED SET OF PLANS FOR BUILDING, FIRE SPRINKLER, FIRE ALARM, ETC. SHALL BE ON THE JOB SITE DURING CONSTRUCTION AND NO INSPECTIONS WILL BE MADE WITHOUT COMPLIANCE WITH THE ABOVE PROVISION.
- 8. REFER TO SHEETS "BUILDING CODE ANALYSIS" FOR EGRESS, CODE ANALYSIS, AND FIRE-RATED ASSEMBLY INFORMATION.
- 9. PROVIDE ALL NECESSARY CEILING OR WALL ACCESS PANELS AS REQUIRED FOR AIR CONDITIONING, PLUMBING, FIRE SPRINKLER, AND ELECTRICAL SYSTEMS. IN FIRE-RATED ASSEMBLIES PROVIDE RATED ACCESS PANELS WITH SELF-CLOSING DEVICES.
- 10. REFER TO LANDSCAPE DRAWINGS FOR COLORS, FINISHES, THICKNESS, REINFORCING, AND CONTROL/EXPANSION JOINTS OF WALKS AND HARDSCAPE AREA.
- 11. ALL ILLUMINATED EXIT SIGNS SHOWN SHALL BE CLEARLY VISIBLE AND NOT OBSTRUCTED BY PIPES, MECHANICAL DUCTWORK, EQUIPMENT, ETC. CONTRACTOR TO PROVIDE PENDANT EXTENSIONS AT ALL CEILING HUNG EXIT SIGNS AS REQUIRED PER GOVERNING CODE REQUIREMENTS.
- 12. WALKING SURFACES OF THE MEANS OF EGRESS SHALL HAVE A SLIP-RESISTANT SURFACE AND BE SECURELY ATTACHED.
- 13. GROUND AND FLOOR SURFACES ALONG ACCESSIBLE ROUTES AND IN ACCESSIBLE ROOMS AND SPACES, INCLUDING FLOORS, WALKS, RAMPS, STAIRS, AND CURB RAMPS SHALL BE STABLE, FIRM, AND SLIP RESISTANT.
- 14. PROVIDE FURRED WALLS AS REQUIRED FOR ALL UTILITY AND DRAIN LINES THAT EXTEND UP THE INTERIOR WALL SURFACE.
- 15. PROVIDE 2A-10BC FIRE EXTINGUISHER IN LOCATIONS AS REQUIRED BY FIRE DEPARTMENT. PROVIDE SIGN, APPROVED BY THE FIRE DEPARTMENT, REQUIRED TO INDICATE THE LOCATION OF THE FIRE EXTINGUISHER.
- FOR TYPICAL INFORMATION NOT SHOWN, REFER TO PLAN OF THE STORY BELOW.
- 17. INTERIOR FINISHES SHALL COMPLY WITH CBC CHAPTER 8 FOR FLAME SPREAD PROVISIONS.

■ ARCHITECT

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■ PROJECT

■ CLIENT/OWNER

MAIN ST. VISALIA

213 W. MAIN ST. VISALIA, CA 93291

No.	Date	Description

OALE: 0' 2' 4'

■ PROJECT NUMBER: 2020-114

PROJECT NUMBER: 2020-114

■ SHEET TITLE

NEW FLOOR PLAN -BASEMENT & LEVEL 1

■ SHEET NUMBER

A101

REFER TO SHEET A101 FOR FLOOR PLAN NOTES

SALVAGE 2X4 WOOD TO BE REUSED AS NEW WALL

100 WEST BROADWAY SUITE 3000 LONG BEACH, CA 90802 (562) 810-3719

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■ CLIENT/OWNER

■ PROJECT

MAIN ST. VISALIA

213 W. MAIN ST. VISALIA, CA 93291

■ ISSUES & REVISIONS Description

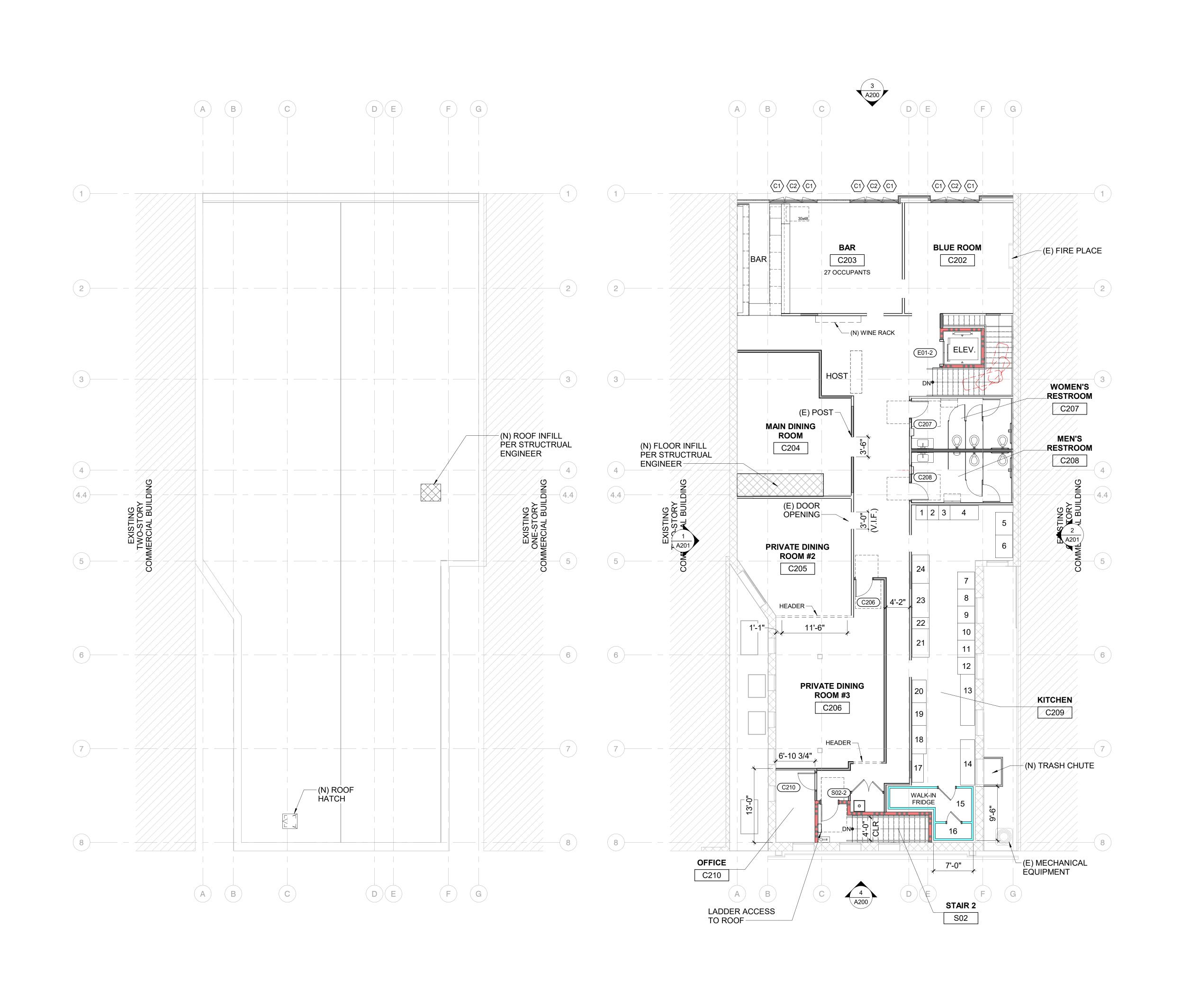
NEW FLOOR PLAN -**LEVEL 2 & ROOF**

■ PROJECT NUMBER: 2020-114

■ SHEET TITLE

■ SHEET NUMBER

A102

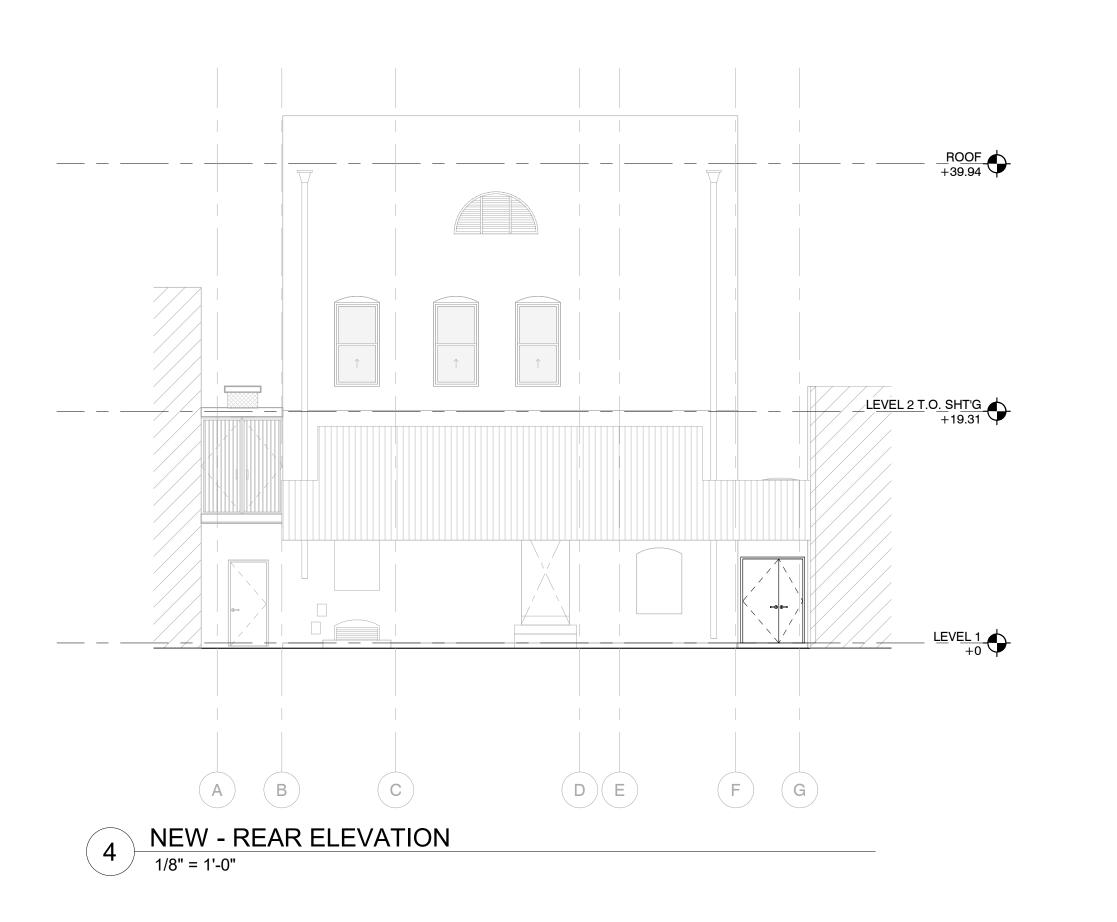


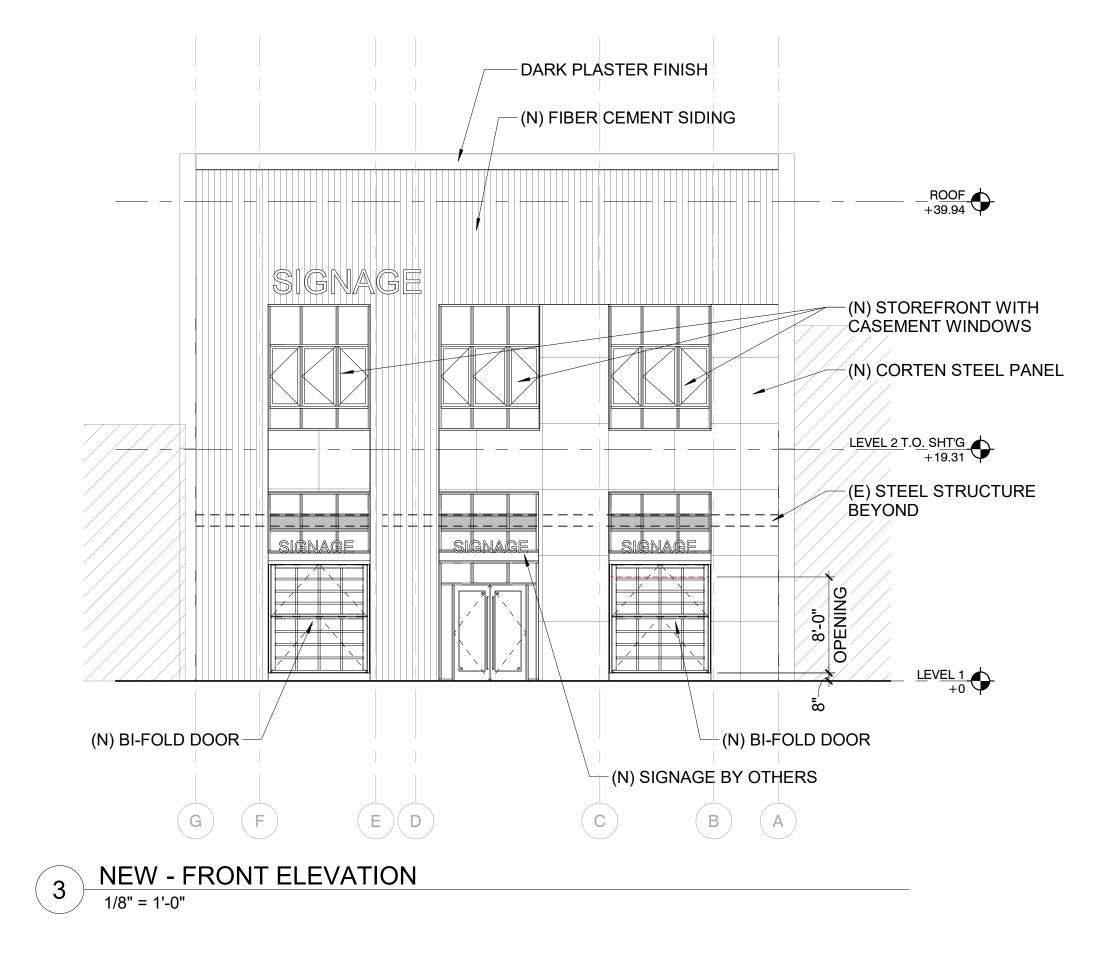
2 NEW FLOOR PLAN - ROOF
1/8" = 1'-0"

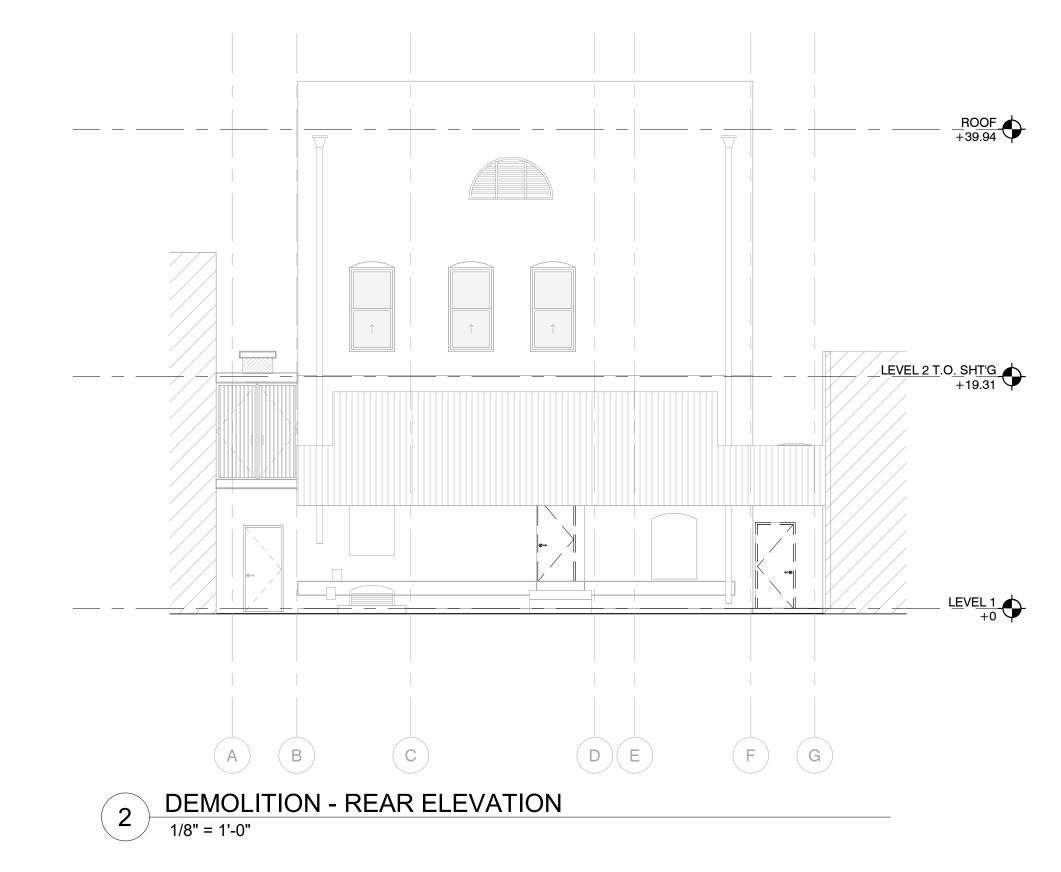
NEW FLOOR PLAN - LEVEL 2

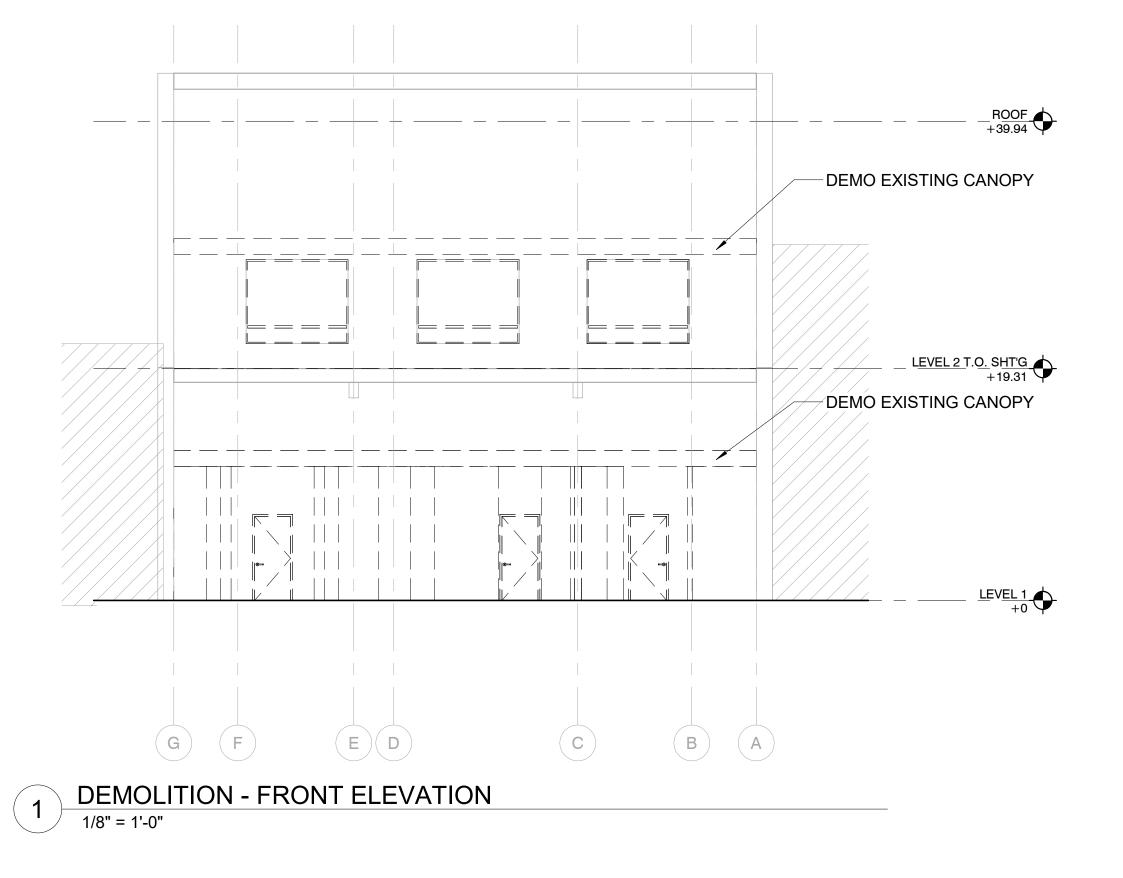
1/8" = 1'-0"

SIGNAGE NOT TO EXCEED THE MAXIMUM ALLOWED PERCENTAGE PER VISALIA MUNICIPAL CODE SECTION 17.48.120.









ELEVATION NOTES

- 1. REFER TO SHEET A020 FOR SYMBOLS AND ABBREVIATIONS.
- 2. REFER TO SHEETS A021 AND A022 FOR APPLICABLE GENERAL NOTES.
- 3. REFER TO SHEETS A9 SERIES FOR DOOR & WINDOW SCHEDULES AND STOREFRONT TYPES.
- 4. ALL STRUCTURAL, PLUMBING, MECHANICAL, AND ELECTRICAL INFORMATION SHOWN ON THIS SHEET IS FOR REFERENCE ONLY. REFER TO CONSULTANTS DRAWINGS PREPARED BY THE ENGINEER. FOR ALL FRAMING, REFER TO STRUCTURAL DRAWINGS PREPARED BY THE STRUCTURAL ENGINEER. CONTRACTOR TO VERIFY ANY DISCREPANCIES WITH THE ARCHITECT PRIOR TO BEGINNING WORK.
- 5. ALL CONTROL JOINTS AND FINISH MATERIALS SHALL WRAP AROUND CORNERS AND CONTINUE ONTO ADJACENT WALLS WHETHER SHOWN OR NOT, UNLESS NOTED OTHERWISE. PER ASTM C 1063 INSTALL CONTROL JOINTS WHERE AN EXPANSION JOINT OCCURS IN THE BASE EXTERIOR WALL. INSTALL CONTROL JOINTS WHERE CEILING FRAMING OR FURRING CHANGES DIRECTION
- 6. PER ASTM C 1063, EXTERIOR PLASTER CONTROL JOINTS TO BE INSTALLED IN VERTICAL SURFACES EXCEEDING 144 SQUARE FEET IN AREA AND HORIZONTAL SURFACES EXCEEDING 100 SQUARE FEET IN AREA. DISTANCE BETWEEN CONTROL JOINTS SHALL NOT EXCEED 18 FEET IN EITHER DIRECTION OR A LENGTH-TO-WIDTH RATIO OF 2.5 TO 1.
- 7. REFER TO ELECTRICAL DRAWINGS FOR EXTERIOR LIGHT FIXTURES.
- 8. AT EVERY PRIMARY PUBLIC ENTRANCE 60" A.F.F., ADJOINING THE ENTRY DOOR, THERE SHALL BE A SIGN DISPLAYING THE INTERNATIONAL SYMBOL OF ACCESSIBILITY. THE INTERNATIONAL SYMBOL OF ACCESSIBILITY SHALL CONSIST OF A WHITE FIGURE ON A BLUE BACKGROUND. THE BLUE COLOR SHALL BE PER GOVERNING CODE REQUIREMENTS.
- 9. ALL WEEP SCREED LINES SHALL BE LEVEL AND STEP WITH ADJACENT GRADE. STEPPING OF WEEP SCREED TO OCCUR AT INSIDE CORNERS. BOTTOM EDGE OF WEEP SCREED SHALL BE INSTALLED NOT LESS THAN 1-INCH BELOW THE JOINT FORMED BY THE FOUNDATION AND FRAMING. NOSE OF SCREED SHALL BE PLACED 4 INCHES MINIMUM ABOVE GRADE OR 2 INCHES MINIMUM ABOVE PAVED SURFACE.
- 10. ALL WINDOW HEAD HEIGHTS TO BE 8'-0" ABOVE FINISH FLOOR, UNLESS NOTED OTHERWISE.
- 11. ALL WINDOWS TO BE RECESSED, EXCEPT AT DECKS, UNLESS NOTED OTHERWISE. REFER TO BUILDING AND UNIT PLANS FOR SPECIFIC INFORMATION.
- 12. FRAMING SUB-CONTRACTOR SHALL REVIEW AND COORDINATE EXTERIOR LIGHTING AND SIGNAGE LOCATIONS AND SHALL PROVIDE SOLID BLOCKING WHERE REQUIRED.
- 13. PAINT CONDUIT TO MATCH ADJACENT SURFACE.
- 14. ALL AREAS WHERE SMOOTH PLASTER OCCURS, CONTRACTOR TO PROVIDE BASE COAT AND MESH-CRACK ISOLATION SYSTEM, REFER TO SPECIFICATION.
- 15. CONTRACTOR IS RESPONSIBLE FOR BRINGING ANY CONFLICTS AND/OR DISCREPANCIES TO THE ATTENTION OF THE ARCHITECT.
- 16. FACADE ACCESS PLAN (OPOS) SHALL BE PROVIDED BY OWNER TO COMPLY WITH OSHA REGULATIONS. THE OWNER SHALL COORDINATE AND NOTIFY THE PROJECT TEAM IF FAÇADE ACCESS REQUIREMENTS NEED TO BE SHOWN IN THESE CONSTRUCTION DOCUMENTS.

■ ARCHITECT

A R C H I T E C T U

100 WEST BROADWAY SUITE 3000
LONG BEACH, CA 90802

(562) 810-3719

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■ CLIENT/OWNER

■ PROJECT

MAIN ST. VISALIA

213 W. MAIN ST. VISALIA, CA 93291

No.	Date	Description
	<u> </u>	
N	OT FOR CO	NSTRUCTION
SCALE	Ē: 0' 2'	4' 8'
■ PROJE	ECT NUMBER: 2	2020-114
■ SHEE		

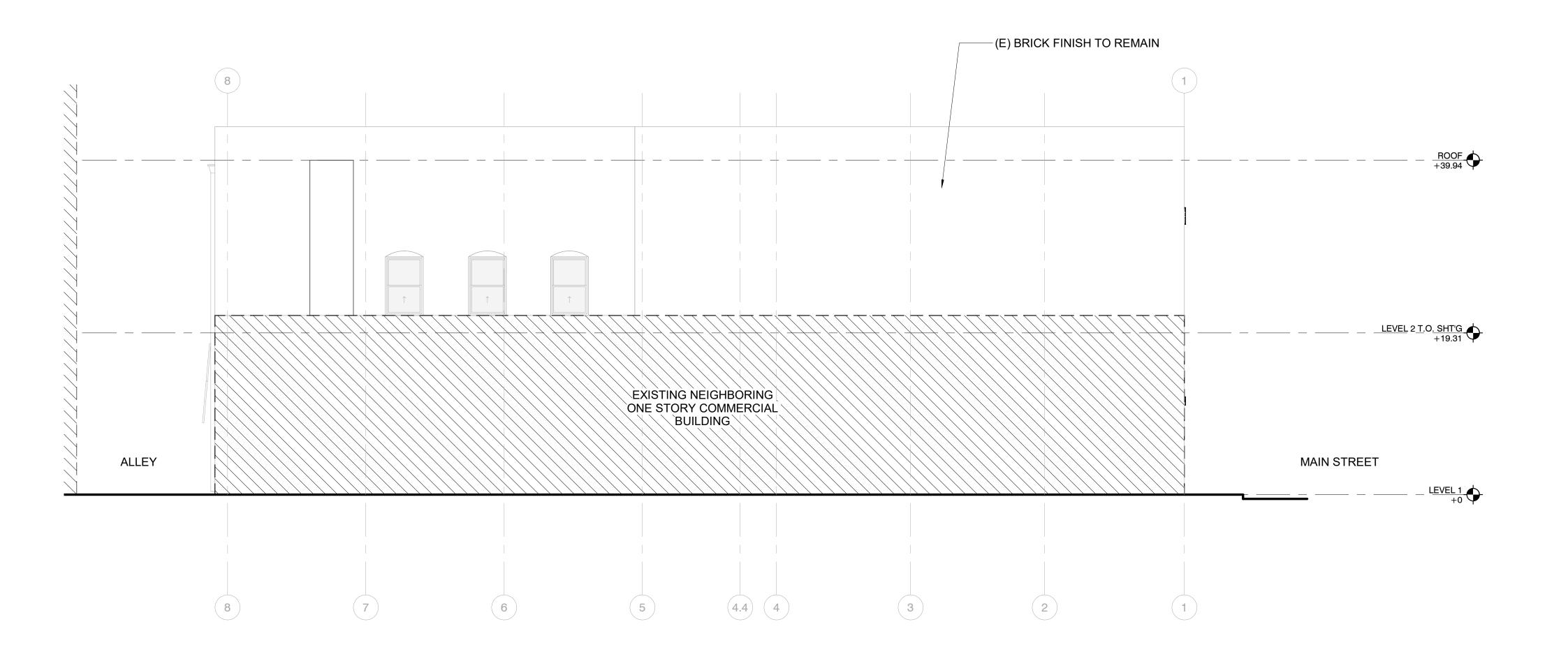
■ ISSUES & REVISIONS

EXTERIOR ELEVATIONS

■ SHEET NUMBER

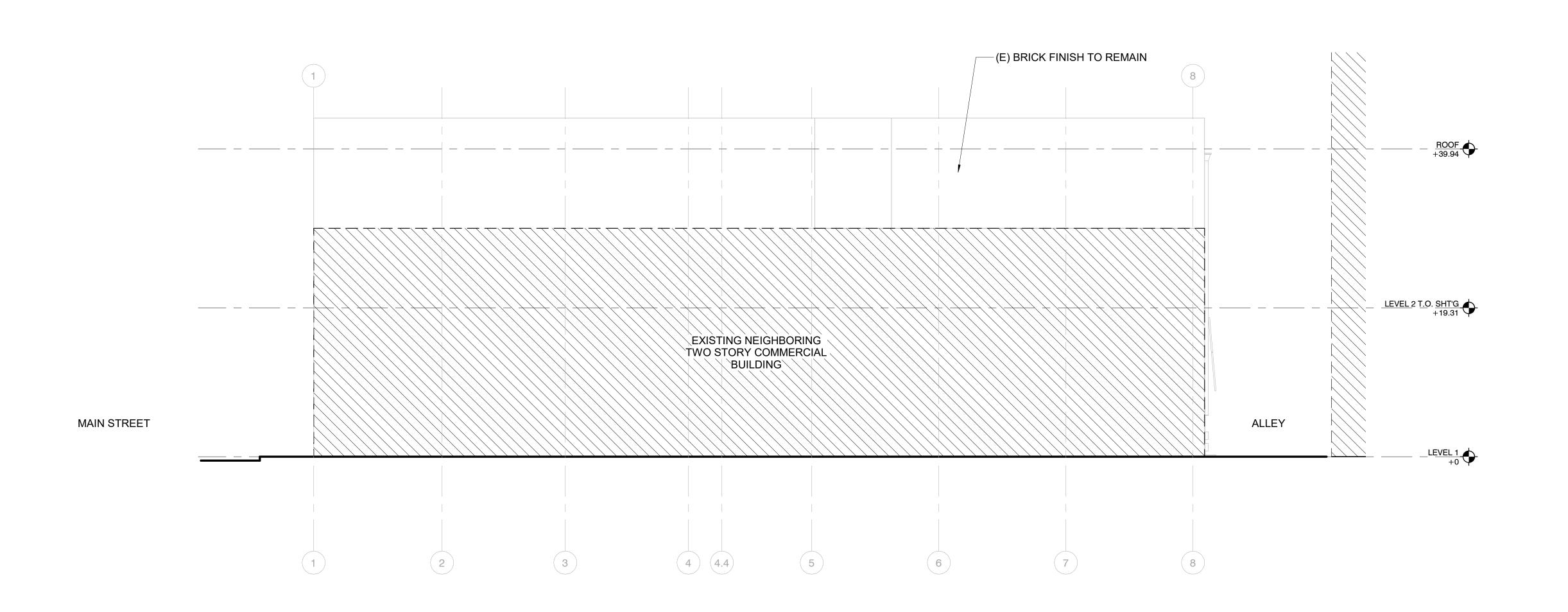
A200

REFER TO SHEET A200 FOR ELEVATION NOTES



2 EAST ELEVATION
1/8" = 1'-0"

1 WEST ELEVATION
1/8" = 1'-0"



■ PROJECT

■ CLIENT/OWNER

■ ARCHITECT

100 WEST BROADWAY SUITE 3000 LONG BEACH, CA 90802 (562) 810-3719

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MAIN ST. VISALIA

213 W. MAIN ST. VISALIA, CA 93291

No. Date Description

NOT FOR CONSTRUCTION

SCALE:

0' 2' 4'

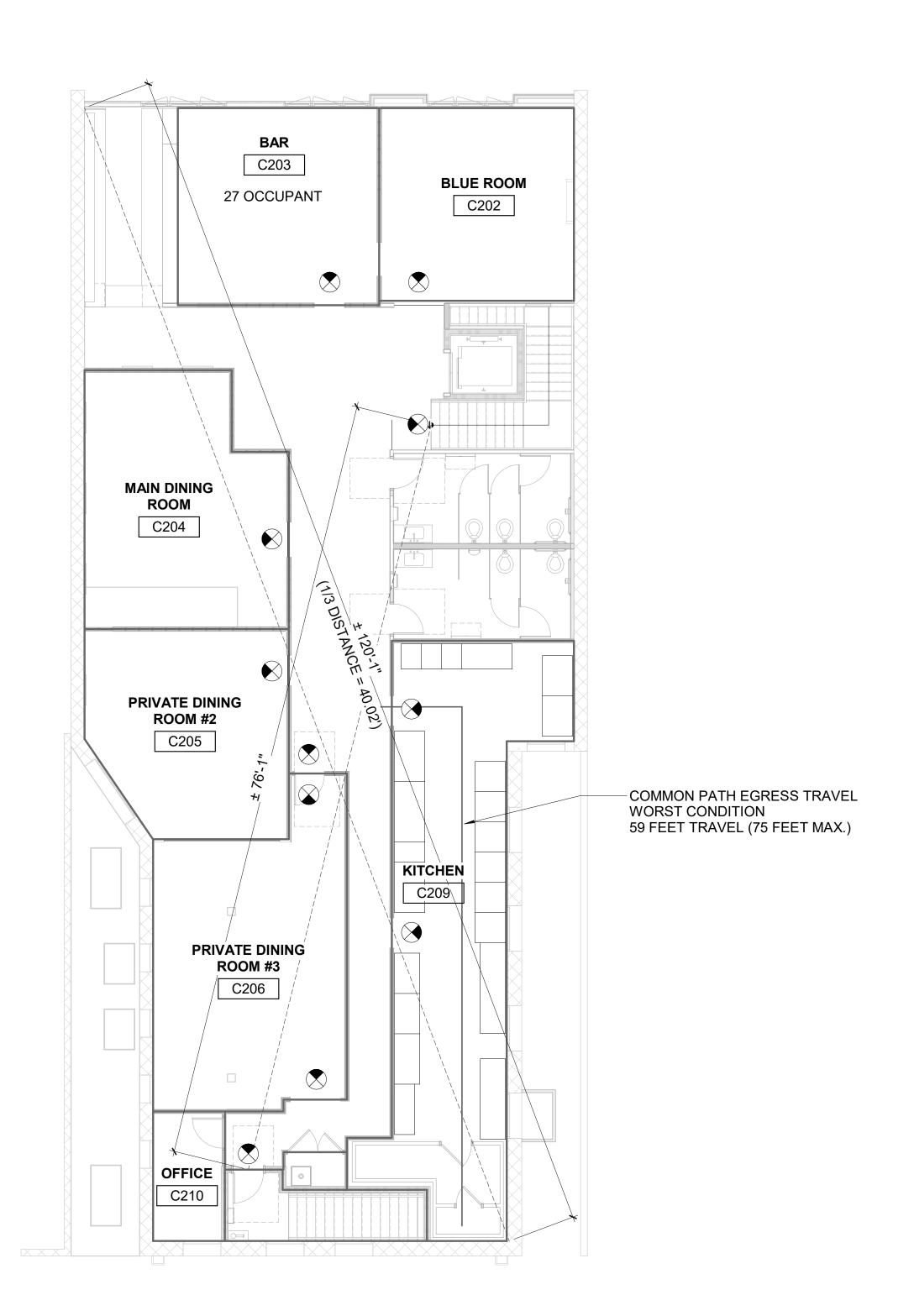
■ PROJECT NUMBER: 2020-114

■ SHEET TITLE

EXTERIOR ELEVATIONS

■ SHEET NUMBER

A201





OCCUPANT LOAD PER CBC TABLE 1004.5 (LEVEL 2)					
NAME AREA OCCUPANCY RATIO LOAD LOAD					
BAR	390.84 SF	A-2	15	26.1	27
BLUE ROOM	369.35 SF	A-2	15	24.6	25
MAIN DINING ROOM	474.69 SF	A-2	15	31.6	32
PRIVATE DINING #2	389.02 SF	A-2	15	25.9	26
KITCHEN	750.55 SF	A-2	200	3.8	4
OFFICE	91.59 SF	A-2	200	0.5	1
PRIVATE DINING #3	549.54 SF	A-2	15	36.6	37
STORAGE	23.63 SF	A-2	200	0.1	1
	•	•			153

LEVEL 2 - PLUMBING FIXTURE CALCULATION

TOTAL OCCUPANT LOAD: 153 FEMALE: 76.5 = 77 OCCUPANT MALE: 76.5 = 77 OCCUPANTS CPC 2019 CHAPTER 4: TABLE 422.1 TYPE OF OCCUPANCY: A-2

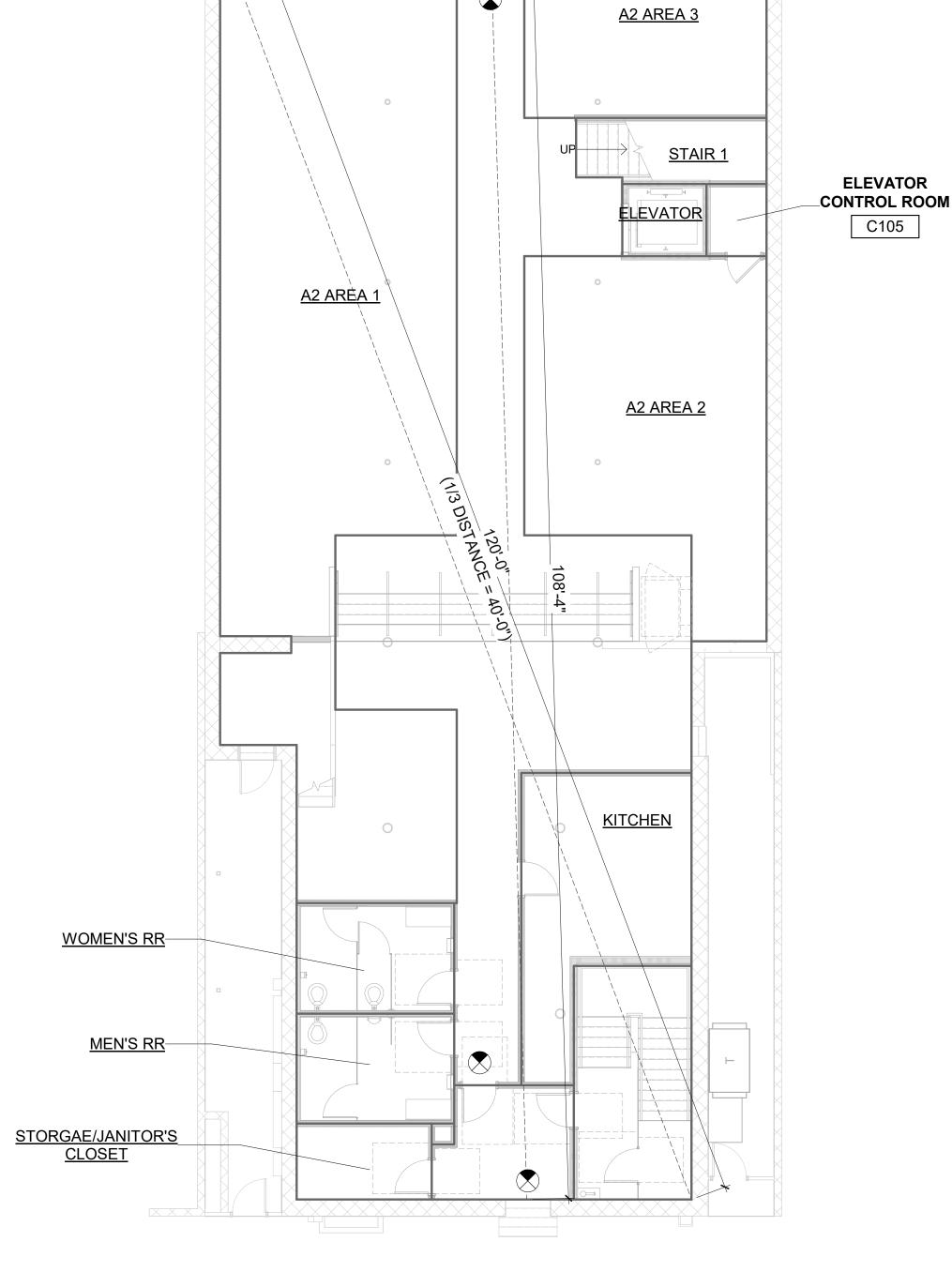
REQUIRED:
(86) FEMALE
3 WATER CLOSETS
1 LAVATORY
(86) MALE
2 WATER CLOSETS
1 URINAL 1 URINAL 1 LAVATORY

PROVIDED: FEMALE

HEMALE MALE

3 WATER CLOSETS 2 WATER CLOSETS

1 LAVATORY 1 URINAI 1 URINAL 1 LAVATORY



2 CODE ANALYSIS - LEVEL 1 1/8" = 1'-0"

OCCUPANT LOAD PER CBC TABLE 1004.5 (LEVEL 1)					
NAME	AREA	OCCUPANCY	RATIO	OCCUPANT LOAD	TOTAL OCCUPANT LOAD
A2 AREA 1	1,531.36 SF	A-2	60	25.5	26
A2 AREA 2	596.32 SF	A-2	60	9.9	10
A2 AREA 3	345.11 SF	A-2	60	5.8	6
KITCHEN	308.82 SF	A-2	200	1.5	2
STORGAE/JANITOR'S CLOSET	81.00 SF	A-2	200	0.4	1

LEVEL 1 - PLUMBING FIXTURE CALCULATION

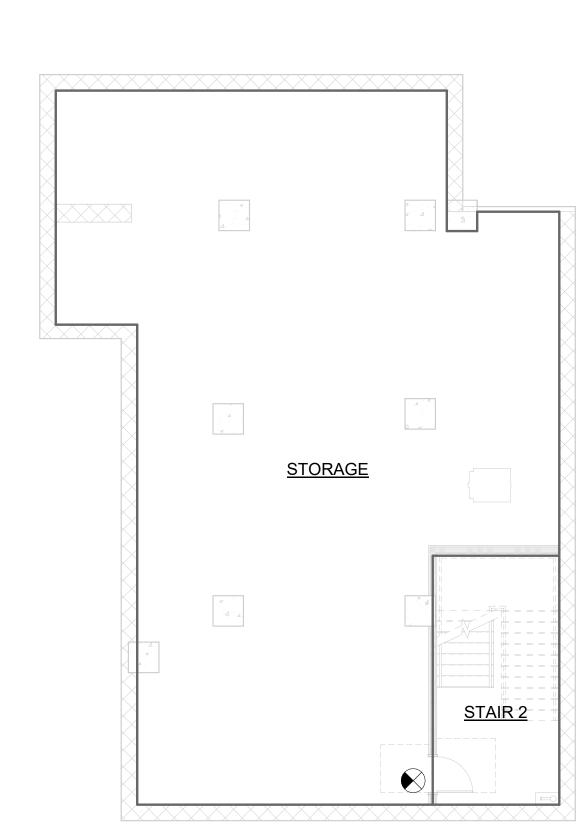
FEMALE: 22.5 = 23 OCCUPANT MALE: 22.5 = 23 OCCUPANTS CPC 2019 CHAPTER 4: TABLE 422.1 TYPE OF OCCUPANCY: A-2

REQUIRED: (27) FEMALE

(27) MALE 1 WATER CLOSETS 2 WATER CLOSETS 1 LAVATORY 1 URINAL 1 LAVATORY

PROVIDED: FEMALE

FEMALE MALE
2 WATER CLOSETS
1 LAVATORY 1 URINAI 1 URINAL 1 LAVATORY



3 CODE ANALYSIS - BASEMENT
1/8" = 1'-0"

OCCUPANT LOAD PER CBC TABLE 1004.5 (BASEMENT)					
NAME	AREA	OCCUPANCY	RATIO	OCCUPANT LOAD	TOTAL OCCUPANT LOAD
STORAGE	1,907.45 SF	A-2	200	9.5	10
	-				10

■ ARCHITECT

100 WEST BROADWAY SUITE 3000 LONG BEACH, CA 90802 (562) 810-3719

NEXT ARCHITECTURE EXPRESSLY RESERVES ITS COMMON LAW COPYRIGHT AND OTHER PROPERTY RIGHTS IN THESE DOCUMENTS. THESE DOCUMENTS ARE NOT TO BE REPRODUCED, CHANGED, OR COPIED IN ANY FORM OR MANNER WHATSOEVER. NOR ARE THEY TO BE ASSIGNED TO ANY THIRD PARTY WITHOUT FIRST OBTAINING THE EXPRESSED WRITTEN PERMISSION AND CONSENT OF NEXT ARCHITECTURE.

■ CLIENT/OWNER

■ PROJECT

MAIN ST. VISALIA

213 W. MAIN ST. VISALIA, CA 93291

■ ISSUES & REVISIONS Description

■ PROJECT NUMBER: 2020-114 ■ SHEET TITLE

CODE ANALYSIS -EGRESS, OCCUPANT LOAD

■ SHEET NUMBER

- Additional information and assistance in filling out this application can be found at the City of Visalia website (www.visalia.city) or by calling (559) 713-4440-



This application MUST be filled out in its entirety and submitted with an acceptable site plan (see site plan minimum requirements & submittal details on Page 2). Failure to provide all requested information may result in rejection of your application and exclusion from the Site Plan Review agenda.

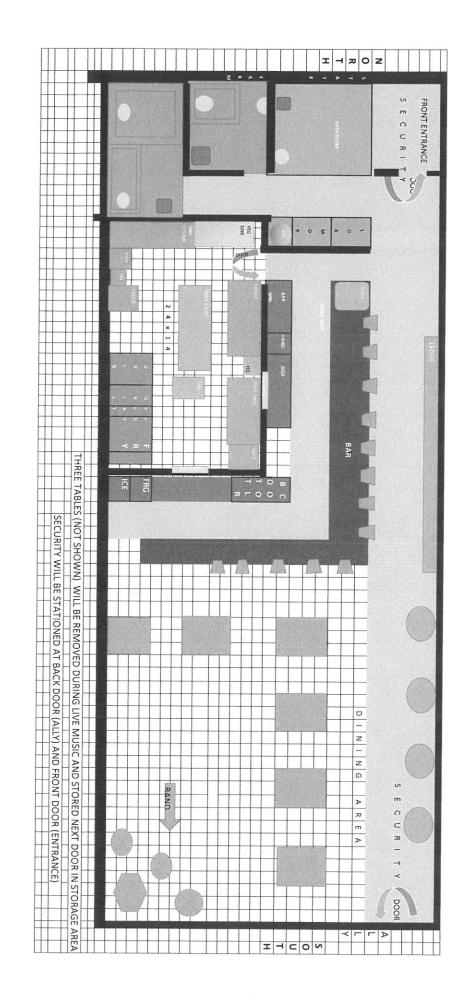
- Site Plan Review meetings are held on Wednesdays at 9am at City Hall East - 315 E Acequia Ave - Applicant(s) or Representative(s) must be present -

- Application submittal deadline is 4pm on Thursdays to be scheduled for the next available meeting -			
Project/Business Name: CORBY'S	Date: 3-16-2021		
Project Description: Obtaso Cup	for Lave Music		
Site Plan Review Resubmittal: Yes No Property Owner: Applicant(s) Name: Project Address/Location: Assessor Parcel Number: Parcel Size (Acreage or Square Feet): 3200	Resub. f Resubmittal, Previous Site Plan Review Number: Pef: 19-231 Se Man St- Vasala 93291 14 Building or Suite Square Footage: 2500		
Estimated Cost of Modifications to Building:	Date Received: 3/16/21 SPR Agenda: 324/21 Item No. Zone: D-MU SPR No. 21-039 Historic District: Yes No X Flood Zone: X AE X/AE X		
A SEPARATE, DETAILED OPERATIONAL STATEMENT IS HIGHLY RECOMMENDED FOR ALL SUBMITTALS			
Please Identify Any Unique or Specific Traffic Patterns That Will F (Provide Separate Attachment if Necessary):			
Describe Any Special Events Planned for the Facility:	2005		

Page 1 of 2 - Application continues on back of this page

SITE PLAN REQUIREMENTS	Submit a digital copy of the site plan(s) and completed application on a flash drive or equivalent (PDF format preferred, hard paper copies not accepted). Digital copies must be clear, legible, and on a layout sized appropriately to convey all necessary project information. Site plan shall provide for and indicate all of the following: North arrow All existing & proposed site features All existing & proposed site features Site dimensions, including building Existing and proposed fencing at site Public improvements (curbs, sidewalks, utility poles, hydrants, street lights, etc.) Parking stalls (include ADA) Site or equivalent (PDF format preferred, hard paper copies of equivalent (PDF format preferred, hard
REQUIRED SIGNATURE	Applicant Information (Final comments will be mailed to the name and address provided below) Name: Corey Morse Signature of Owner or Authorized Agent* Address: 22 E Man St City, State, Zip VISALA (A 93291 Owner Date Phone: 559-730-6646 Authorized Agent* Email: Corresponded agent, the "Agency Authorization" information below must be completed for this application to be considered acceptable.
AGENCY AUTHORIZATION FORM	AGENCY AUTHORIZATION OWNER: I, Loyd Mosley declare as follows; I am the owner of certain real property bearing assessor's parcel number (APN): OP4-296-014 AGENT: I designate OREY MORSE to act as my duly authorized agent for all purposes necessary to file an application for, and obtain a permit to relative to the property mentioned herein. I declare under penalty of perjury the foregoing is true and correct. Executed this 6 day of MACLIT 2021. OWNER Signatures AGENT Owner Mailing Address Owner Mailing Address Agent Mailing Address Agent Mailing Address Agent Mailing Address Agent Phone Number Agent Phone Number

Page 2 of 2



DATE: MARCH 16, 2021

TO: SITE PLAN REVIEW

FROM: CORBY'S 221 E. MAIN ST VISALIA 93291

Attached is resubmittal (do not have original SPR number) of floor plan for Corby's located at 221 E. Main St. Almost a year ago I met with SPR requesting a CUP for live music then COVID hit. We were told to resubmit a diagram, and show where security will be placed, and where tables will be stored during live music. Please see attached diagram where security will be placed, and foot note for table storage during live music.

Sincerely,

Corey Morse

- Additional information and assistance in filling out this application can be found at the City of Visalia website (www.visalia.city) or by calling (559) 713-4440-



This application MUST be filled out in its entirety and submitted with an acceptable site plan (see site plan minimum requirement details below). Failure to provide all requested information may result in rejection of your application and exclusion from the Site Plan Review agenda.

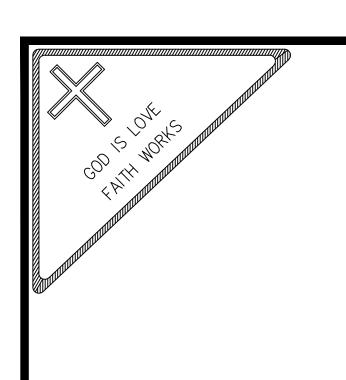
via Conference Call (713-4041)

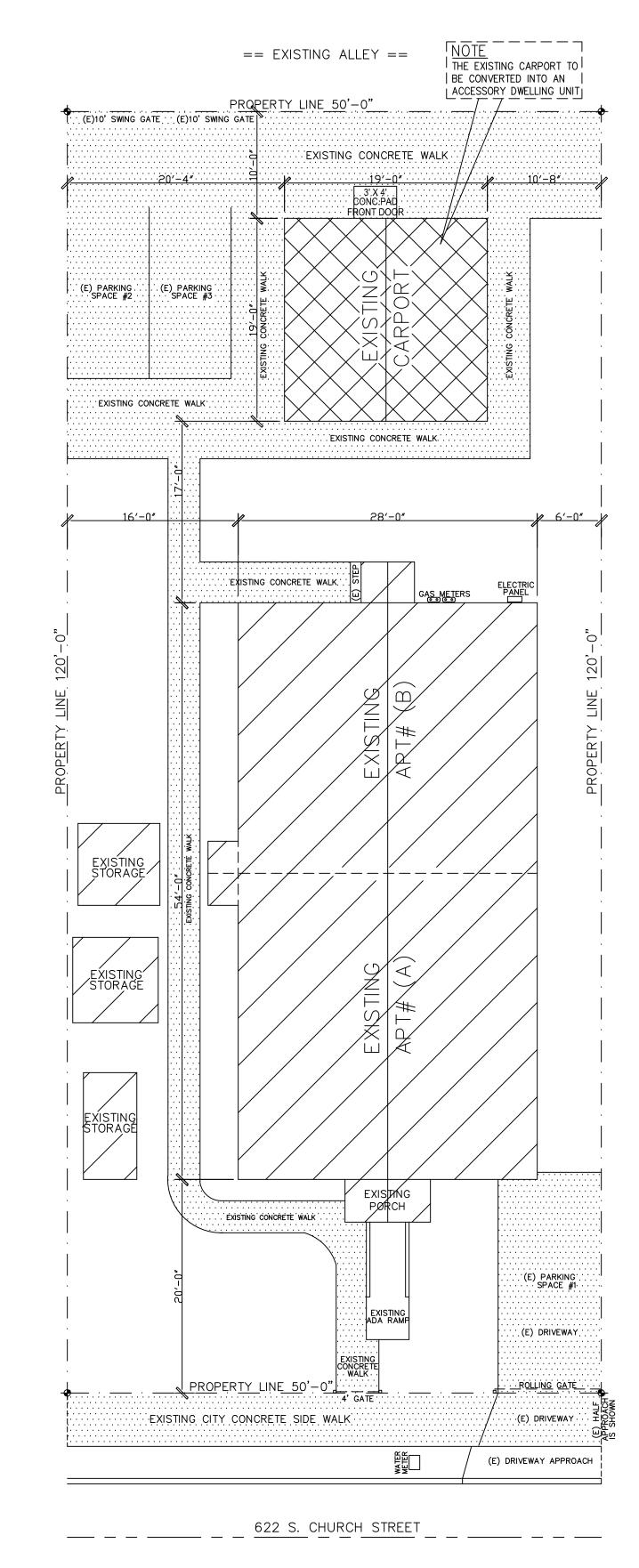
Call in

	- Site Plan Review meetings are held on Wednesdays at 9am at City Hall East = 315 E Acequia Ave - Applicant(s) or Representative(s) must be present - Email: susan.currier@visalia.city- Application submittal deadline is 4pm on Thursdays to be scheduled for the next available meeting -			
7	Project/Business Name: Ro.D.R.I.GUEZ APT'S Date: 03-15-21			
	Project Description: EXISTING 19'4'X19' CARPORT TO BE CONVERTED			
GENERAL PROJECT INFORMATION	INTO A 19-4"X19" ACCESSOR	Y DWELLING UNIT		
ORM	Site Plan Review Resubmittal: Yes W No If Resubmittal, Previous Site Pl	an Review Number:		
TINE	Property Owner: CARME CITA J. RODRIGUE	7		
SOJEC	Applicant(s) Name: CARME GTA J. RODA			
AL PF	Project Address/Location: 622 S. CHURCH 5T, Vi	SALIA, CA. 93277		
ENER	Assessor Parcel Number: 097-072-012			
9	Parcel Size (Acreage or Square Feet): 6,200 50.F7. Building or Suite So	quare Footage: 367 SQ.FT.		
	Are There Any Proposed Building Modifications: Yes No	THIS AREA FOR CITY STAFF USE ONLY		
	Estimated Cost of Modifications to Building: \$ 36,000	Date Received: 03/15/2021		
	Describe All Proposed Building Modifications: EXISTING CARPORT	SPR Agenda: 03/24/2021 Item No		
81	TO BE CONVERTED INTO A (NEW)	Zone: R-M-2 SPR No. 21-040		
	ACCESSORY DWELLING UNIT	Historic District: Yes No		
		Flood Zone: X AE X/AE		
	A SEPARATE, DETAILED OPERATIONAL STATEMENT IS HIGHLY RECOM	MENDED FOR ALL SUBMITTALS		
	Existing/Prior Building Use:			
	Proposed Building Use:			
-	Proposed Hours of Operation:			
RAFFIC INFORMATION	Days of Week In Operation (Circle): Su M T W Th F Sa			
DRM/	Number of Employees Per Day: Existing Propose	d		
C INF	Number of Customers Per Day (Estimated): Existing Proposed	d		
AFFI	Predicted Peak Operating Hour:			
& TF	Describe Any Truck Delivery Schedule & Operations:			
OPERATIONS				
PERA	Please Identify Any Unique or Specific Traffic Patterns That Will Require Accommodations For (Operations, Customers, or Employees		
0	(Provide Separate Attachment if Necessary):			
	Describe Any Special Events Planned for the Facility:			
	Page 1 of 2 - Application continues on back of the	nis page		

	SITE PLAN MINIMUM REQUIREMENTS					
	Plan(s) must be clear, legible, and on a sheet size appropriate to easily convey all necessary project information. Suggested minimum					
ENTS	sheet size for site plans is 11"x17" (Excludes tentative parcel and final maps)					
SITE PLAN REQUIREMENTS	 ⇒ Site plan shall provide for and indicate all of the following: North arrow Existing & proposed structures All existing & proposed site features Adjacent street names Accessible path of travel from right of way Site dimensions, including building Existing and proposed fencing at site Valley oak trees (show drip line) Public improvements (curbs, sidewalks, otility poles, hydrants, street lights, etc.) Parking stalls (include ADA) Submit 20 copies of the site plan with this application, folded to a legal size of 9" x 12" with the print on the outside (no rolled plans) 					
	Applicant Information (Final comments will be mailed to the name and address provided below)					
REQUIRED SIGNATURE	Name: CARMELITA J. RODIGUE Signature of Owner or Authorized Agent* Address: 1/52 A/AMITA 57 City, State, Zip TULANE CA.93 274 Phone: (559) 1679-0831 Email: CARMELITAR 1967 CGMAIL COM * If signed by an authorized agent, the "Agency Authorization" information below must be completed for this application to be considered acceptable.					
	AGENCY AUTHORIZATION					
	OWNER:					
	l,, declare as follows; I am the owner of certain real property bearing assessor's parcel number (APN):					
	parcernamber (AFN).					
	AGENT:					
2	I designate, to act as my duly authorized agent for all purposes necessary to file an application for, and obtain a permit to					
FOR	relative to the property mentioned herein.					
ZATION FORM	I declare under penalty of perjury the foregoing is true and correct.					
RIZA						
Executed this day of						
C/ Al	OWNER Signatures AGENT					
AGEN	OWNER Signatures AGENT					
	Signature of Owner Signature of Agent					
	Owner Mailing Address Agent Mailing Address					
	Owner Phone Number Agent Phone Number					

Page 2 of 2

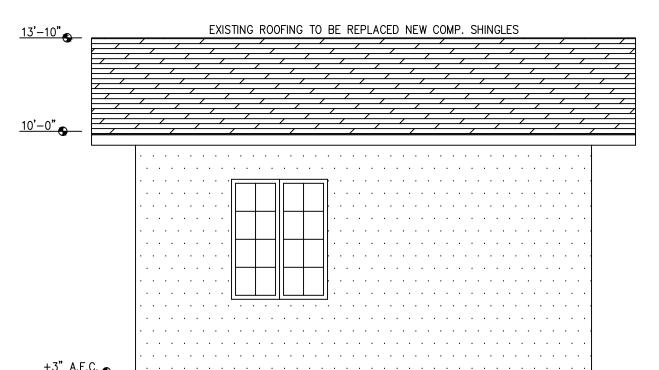


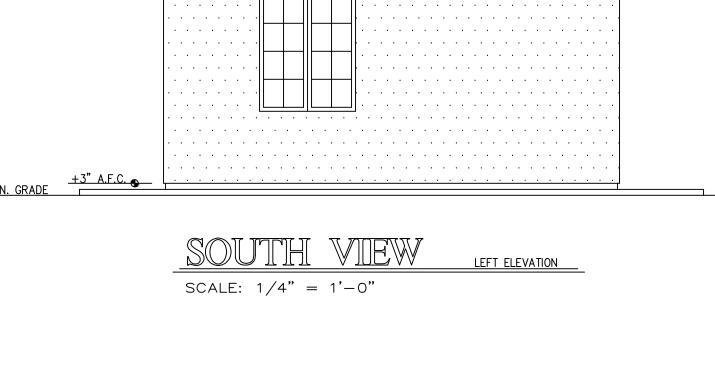


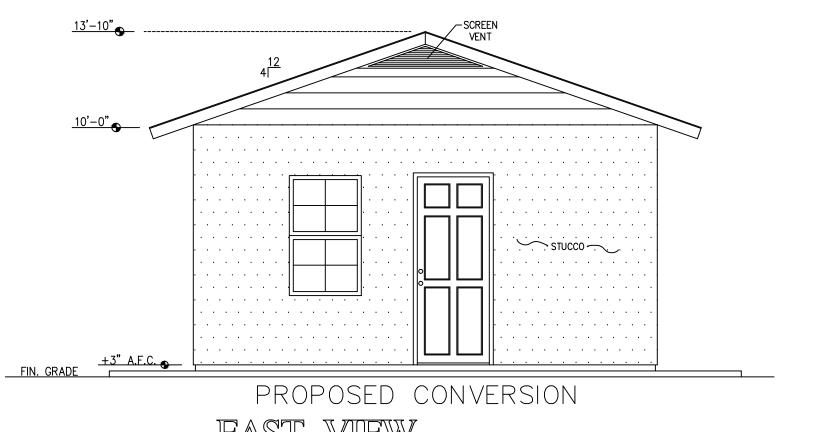
SCALE: 1/8" = 1'-0"'

NORTH

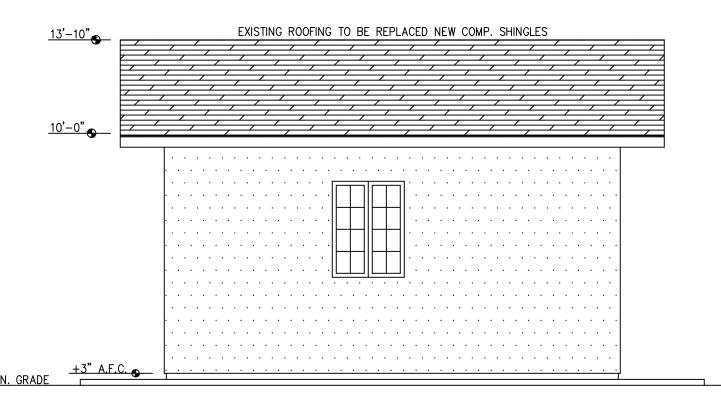
ALL THE WORK TO BE DONE IN ACCORDANCE W/PRESENT CODES AND REGULATIONS.



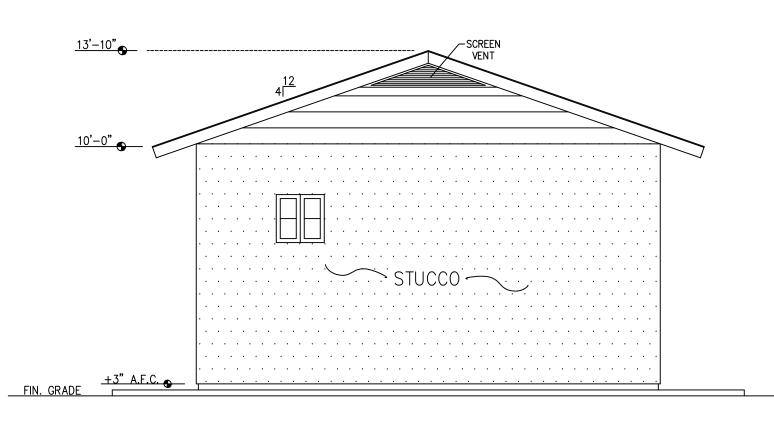




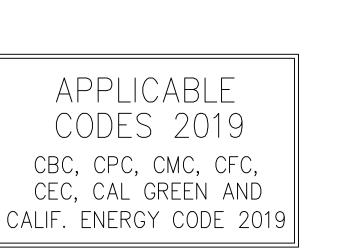
EAST VIEW FRONT ELEVATION SCALE: 1/4" = 1'-0"



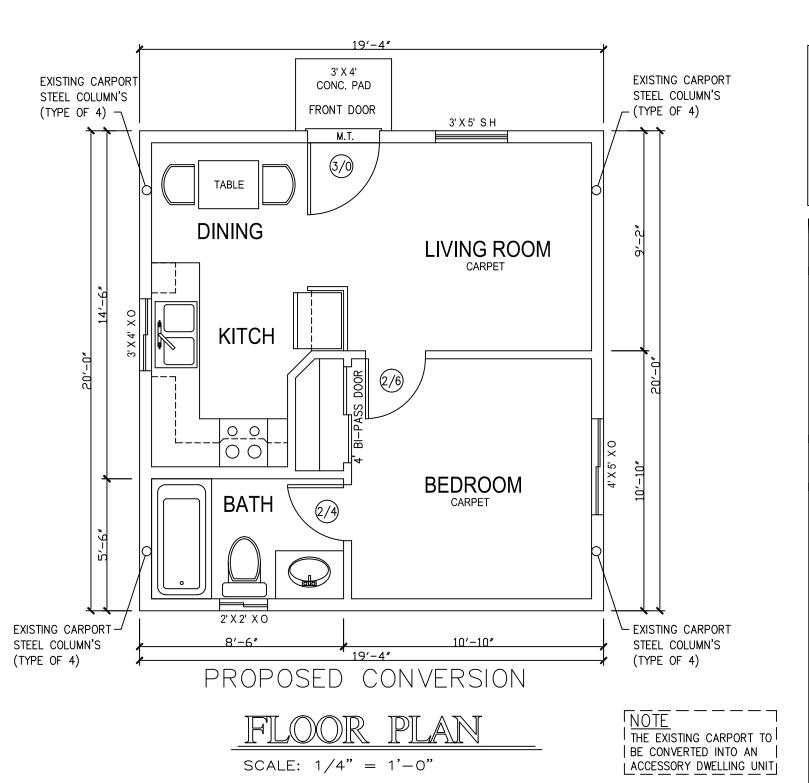
SCALE: 1/4" = 1'-0"



WEST VIEW REAR ELEVATION SCALE: 1/4" = 1'-0"



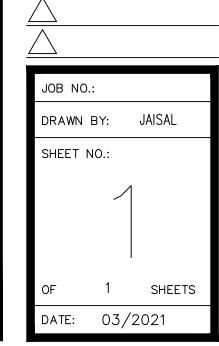
	SHEET INDEX
SHEET	DESCRIPTION
1	SITE PLAN
	FLOOR PLAN & ELEVATIONS



NOTE PROJECT ADDRESS TO BE POSTED AT JOB SITE W/4" HIGH NUMERALS ON CONSTRUCTION BACK GROUND WITH 1/2 MIN. STROKE

PLANNING DEPT APPROVAL

BUILDING DEPT APPROVAL



OWNER
CARMEN SAL
622 S. CHURCH S
VISALIA, CALIFOR

CONVERSION

- Additional information and assistance in filling out this application can be found at the City of Visalia website (www.visalia.city) or by calling (559) 713-4440-This application MUST be filled out in its entirety and submitted with an acceptable site plan (see site plan minimum requirement details below). Failure to provide all requested information may result in rejection of your application and exclusion from the Site Plan Review agenda. via Conference Call (713-4041) Call in Site Plan Review meetings are held on Wednesdays at 9am at City Hall East - 315 E-Acequia Ave - Applicant(s) or Representative(s) must be present Email: susan.currier@visalia.city- Application submittal deadline is 4pm on Thursdays to be scheduled for the next available meeting -Project/Business Name: Project Description: INFORMATION Site Plan Review Resubmittal: If Resubmittal, Previous Site Plan Review Number, Property Owner: GENERAL PROJECT Applicant(s) Name: Project Address/Location: Assessor Parcel Number: Parcel Size (Acreage or Square Feet): **Building or Suite Square Footage:** Are There Any Proposed Building Modifications: Yes (No (V) --- THIS AREA FOR CITY STAFF USE ONLY ---Estimated Cost of Modifications to Building: Describe All Proposed Building Modifications: Historic District: X/AE Flood Zone: AE (- - A SEPARATE, DETAILED OPERATIONAL STATEMENT IS HIGHLY RECOMMENDED FOR ALL SUBMITTALS - -Existing/Prior Building Use: Proposed Building Use: Proposed Hours of Operation: OPERATIONS & TRAFFIC INFORMATION Days of Week In Operation (Circle): Number of Employees Per Day: Existing Proposed Number of Customers Per Day (Estimated): Proposed Predicted Peak Operating Hour: Describe Any Truck Delivery Schedule & Operations: Please Identify Any Unique or Specific Traffic Patterns That Will Require Accommodations For Operations, Customers, or Employees Describe Any Special Events Planned for the Facility

Page 1 of 2 - Application continues on back of this page

	SITE PLAN MINIMUM REQUIREMENTS
	Plan(s) must be clear, legible, and on a sheet size appropriate to easily convey all necessary project information. Suggested minimum
NTS	sheet size for site plans is 11"x17" (Excludes tentative parcel and final maps)
SITE PLAN REQUIREMENTS	Site plan shall provide for and indicate all of the following: North arrow Existing & proposed structures All existing & proposed site features All existing & proposed site features Refuse enclosures & containers Existing and proposed fencing at site Valley oak trees (show drip line) Public improvements (curbs, sidewalks, Existing & proposed landscaping utility poles, hydrants, street lights, etc.) Parking stalls (include ADA) Submit 20 copies of the site plan with this application, folded to a legal size of 9" x 12" with the print on the outside (no rolled plans)
	Applicant Information (Final comments will be mailed to the name and address provided below)
REQUIRED SIGNATURE	Name: Signature of Owner or Authorized Agent* Address: 100 W ACLOVIA City, State, Zip VISALIA (VA 9329) Phone: 39 024 - 2362 Email: AVOISTIC WANDOWN Authorized Agent* * If signed by an authorized agent, the "Agency Authorization" information below must be completed for this application to be considered acceptable.
	AGENCY AUTHORIZATION
	OWNER:
	I,
	parcel number (APN):
IZATION FORM	AGENT: I designate 1000 to act as my duly authorized agent for all purposes necessary to file an application for, and obtain a permit to 1000
NOIL	I declare under penalty of perjury the foregoing is true and correct.
	10th March
틹	Executed this day of, 20_2
₹ C	OWNER Signatures AGENT
AGENCY AUTHOR	1/1/21/1 (6/1
	Signature of Owner Signature of Agent
	1001 W Arenza Avenue
	Owner Mailing Address Agent Mailing Address
	(559) 1024-2367_
	Owner Phone Number Agent Phone Number
\perp	Page 2 of 2

KAWEAH DELTA MEDICAL CENTER HOSPITAL SITE PLAN

- Additional information and assistance in filling out this application can be found at the City of Visalia website (www.visalia.city) or by calling (559) 713-4440-



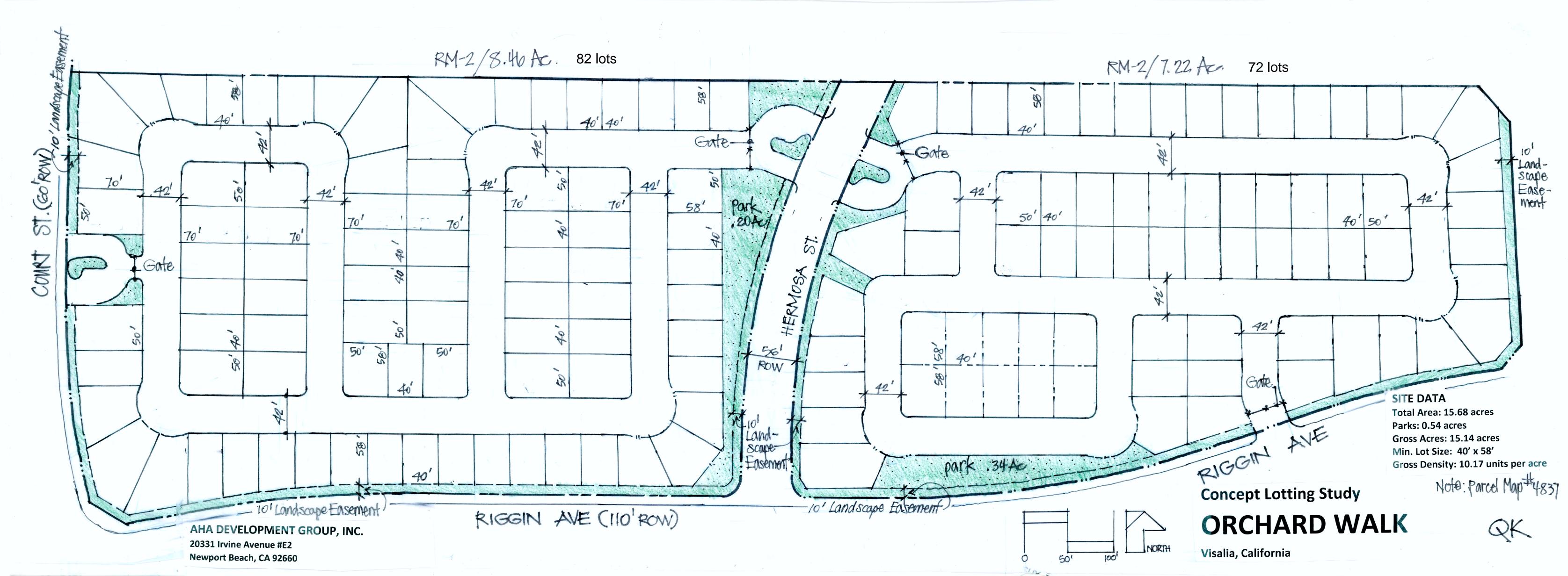
This application MUST be filled out in its entirety and submitted with an acceptable site plan (see site plan minimum requirements & submittal details on Page 2). Failure to provide all requested information may result in rejection of your application and exclusion from the Site Plan Review agenda.

- Site Plan Review meetings are held on Wednesdays at 9am at City Hall East - 315 E Acequia Ave - Applicant(s) or Representative(s) must be present -- Application submittal deadline is 4pm on Thursdays to be scheduled for the next available meeting -March 18, 2021 Project/Business Name: Orchard Walk Medium Density Project Date: Project Description: Development of vacant parcel into 154 Single-Family Residential lots GENERAL PROJECT INFORMATION Yes No X Site Plan Review Resubmittal: If Resubmittal, Previous Site Plan Review Number: Property Owner: AHA Development Group, Inc., 20331 Irvine Avenue, Suite #E2, Newport Beach, CA 92660 Applicant(s) Name: QK, 901 E. Main Street, Visalia, CA 93292 Project Address/Location: Northeast corner of N. Court Street and W. Riggin Avenue Assessor Parcel Number: 7 9 3 1 0 0 0 4 and 005 15.68 acres Parcel Size (Acreage or Square Feet): Building or Suite Square Footage: Are There Any Proposed Building Modifications: Yes () No (X) -- THIS AREA FOR CITY STAFF USE ONLY --Date Received: 03/19/2021 Estimated Cost of Modifications to Building: SPR Agenda: 03/24/2021 Item No. Describe All Proposed Building Modifications: Zone: R-M-2 SPR No. 21-042 Yes No X Historic District: AE X/AE Flood Zone: - - A SEPARATE, DETAILED OPERATIONAL STATEMENT IS HIGHLY RECOMMENDED FOR ALL SUBMITTALS - -Undeveloped - Vacant Existing/Prior Building Use: Small Lot Single-Family Development Proposed Building Use: Proposed Hours of Operation: OPERATIONS & TRAFFIC INFORMATION Days of Week In Operation (Circle): Su M T W Th F Number of Employees Per Day: Existing Proposed Number of Customers Per Day (Estimated): Existing Proposed Predicted Peak Operating Hour: Describe Any Truck Delivery Schedule & Operations: Please Identify Any Unique or Specific Traffic Patterns That Will Require Accommodations For Operations, Customers, or Employees (Provide Separate Attachment if Necessary): Describe Any Special Events Planned for the Facility:

Page 1 of 2 - Application continues on back of this page

	SITE PLAN MINIMUM REQUIREMENTS			
	Submit a digital copy of the site plan(s) and completed application on a flash drive or equivalent (PDF format preferred, hard paper copies			
TS	not accepted).			
MEN	Digital copies must be clear, legible, and on a layout sized appropriately to copyey all necessary project information			
IIRE	Digital copies must be clear, legible, and on a layout sized appropriately to convey all necessary project information.			
SITE PLAN REQUIREMENTS	Site plan shall provide for and indicate all of the following: - North arrow - All existing & proposed site features - Site dimensions, including building - Existing and proposed fencing at site - Public improvements (curbs, sidewalks, utility poles, hydrants, street lights, etc.) - North arrow - Existing & proposed structures - Adjacent street names - Accessible path of travel from ADA stall - Accessible path of travel from ADA stall - Location and width of drive approaches to the control of Visalia Municipal Code Section 16	o site		
	Applicant Information (Final comments will be mailed to the name and address provided below)			
3	Cignature of Ourses or Authorized Agents			
TUR	Name: AHA Development Group, Inc. Signature of Owner or Authorized Agent* 20331 Irvine Avenue, Suite #E2 3/18/21			
IGNA	Address: 20331 Irvine Avenue, Suite #E2 Owner Date			
ED S	City, State, Zip Newport Beach, CA 92660 Owner Date			
REQUIRED SIGNATURE	Phone: (949) 612-9170 Authorized Agent* Date			
REC	Email: matt@ahadevelopment.com Authorized Agent Date			
	* If signed by an authorized agent , the "Agency Authorization" information below must be completed for this application to be considered acceptable.			
	AGENCY AUTHORIZATION			
	OWNER:			
	I, AHA Development Group, Inc. , declare as follows; I am the owner of certain real property bearing assessor's			
	I, AHA Development Group, Inc. declare as follows; I am the owner of certain real property bearing assessor's parcel number (APN):			
	,			
	parcel number (APN):			
	parcel number (APN): 079 310 004 and 005 AGENT:			
ХМ	parcel number (APN): 079 310 004 and 005 AGENT: I designate _QK c/o Steve Brandt, to act as my duly authorized agent for all purposes necessary to file			
I FORM	parcel number (APN):			
PA TRESTERNA	parcel number (APN):			
N THESE AND	parcel number (APN):			
PA TRESTERNA	parcel number (APN):			
PA TRESTERNA	parcel number (APN):			
IN THESE OF	parcel number (APN):			
AGENCY AUTHORIZATION FORM	parcel number (APN):			
IN THESE OF	parcel number (APN): 079 310 004 and 005 AGENT: I designate _QK c/o Steve Brandt, to act as my duly authorized agent for all purposes necessary to file an application for, and obtain a permit to Major Site Plan Review relative to the property mentioned herein. I declare under penalty of perjury the foregoing is true and correct. Executed this 18th day of March, 20 21 OWNER Signature of Agent Signature of Agent			
IN THESE OF	parcel number (APN): 079 310 004 and 005 AGENT: I designate OK c/o Steve Brandt, to act as my duly authorized agent for all purposes necessary to file an application for, and obtain a permit to Major Site Plan Review relative to the property mentioned herein. I declare under penalty of perjury the foregoing is true and correct. Executed this 18th day of March, 20 21 OWNER Signatures AGENT Signature of Owner			
PA TRESTERNA	parcel number (APN): 079 310 004 and 005 AGENT: I designate _QK c/o Steve Brandt, to act as my duly authorized agent for all purposes necessary to file an application for, and obtain a permit to Major Site Plan Review relative to the property mentioned herein. I declare under penalty of perjury the foregoing is true and correct. Executed this 18th day of March, 20 21 OWNER Signature of Agent Signature of Agent			
IN THESE OF	parcel number (APN): 079 310 004 and 005 AGENT: I designateQK c/o Steve Brandt, to act as my duly authorized agent for all purposes necessary to file an application for, and obtain a permit to Major Site Plan Review relative to the property mentioned herein. I declare under penalty of perjury the foregoing is true and correct. Executed this18th day of March, 20 21 OWNER Signatures AGENT			
IN THESE OF	parcel number (APN): 079 310 004 and 005 AGENT: I designateQK c/o Steve Brandt, to act as my duly authorized agent for all purposes necessary to file an application for, and obtain a permit to			
PA TRESTERNA	parcel number (APN): 079 310 004 and 005 AGENT: I designateQK c/o Steve Brandt, to act as my duly authorized agent for all purposes necessary to file an application for, and obtain a permit to Major Site Plan Review relative to the property mentioned herein. I declare under penalty of perjury the foregoing is true and correct. Executed this 18th day of March, 20_21 OWNER Signatures AGENT			

Page 2 of 2



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This application MUST be filled out in its entirety and submitted with an acceptable site plan (see site plan minimum requirements & submittal details on Page 2). Failure to provide all requested information may result in rejection of your application and exclusion from the Site Plan Review agenda.

- Site Plan Review meetings are held on Wednesdays at 9am at City Hall East - 315 E Acequia Ave - Applicant(s) or Representative(s) must be present -

	 Application submittal deadline is 4pm on Thursdays to be scheduled for the scheduled for	the next available meeting -		
	Project/Business Name: P.K. Deli exterior stacco	Date: 3/12/2071		
NOL	Project Description: Staces the Front of the build	TO GIVE IT A		
MA	Site Plan Review Resubmittal: Yes No Will If Resubmittal, Previous Site Plan Review Number:			
NFOF	Property Owner: Robert & Lena Vanderham			
ECT	Applicant(s) Name: Exposto Acoust - EMC Construction			
PROJ	Project Address/Location: 219 0 COLVE 57			
GENERAL PROJECT INFORMATION	Assessor Parcel Number: 0 9 4 3 3 5 0 1 1			
GEN	Parcel Size (Acreage or Square Feet): 0.4701 Building or Suite Square Footage:			
	Are There Any Proposed Building Modifications: Yes No	THIS AREA FOR CITY STAFF USE ONLY		
		Date Received:		
	- 100	SPR Agenda: 03/24/2021 Item No		
	Describe All Proposed Building Modifications: Adding Crown Molding	Zone: D-MU SPR No. 21-043		
	awnings and popouts to the windows	Historic District: Yes No X		
		Flood Zone: X AE X X/AE		
10000000	A SEPARATE, DETAILED OPERATIONAL STATEMENT IS HIGHLY RECOMMENDED FOR ALL SUBMITTALS			
	A SEPARATE, DETAILED OPERATIONAL STATEMENT IS HIGHLY RECOM	IMENDED FOR ALL SUBMITTALS		
	\mathbb{R}^{-1}	IMENDED FOR ALL SUBMITTALS		
	Existing/Prior Building Use:	IMENDED FOR ALL SUBMITTALS		
	Existing/Prior Building Use: Rotal	¥		
NO	Existing/Prior Building Use: Proposed Building Use: Proposed Hours of Operation:	¥		
MATION	Existing/Prior Building Use: Proposed Building Use: Proposed Hours of Operation:	· ·		
NEORMATION	Existing/Prior Building Use: Proposed Building Use: Proposed Hours of Operation:	ed		
FFIC INFORMATION	Existing/Prior Building Use: Proposed Building Use: Proposed Hours of Operation: Days of Week In Operation (Circle): Number of Employees Per Day: Number of Customers Per Day (Estimated): Existing Proposed Proposed Proposed Proposed Proposed Proposed Proposed Proposed	ededededed		
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& TRAFFIC	Existing/Prior Building Use: Proposed Building Use: Proposed Hours of Operation: Days of Week In Operation (Circle): Number of Employees Per Day: Number of Customers Per Day (Estimated): Predicted Peak Operating Hour: Describe Any Truck Delivery Schedule & Operations: A Company Truck Delivery Schedule & Operations: Proposed Hours And Truck Delivery Schedule & Operations:	ed ed edy opperating his is just an extention		
& TRAFFIC	Existing/Prior Building Use: Proposed Building Use: Proposed Hours of Operation: Days of Week In Operation (Circle): Number of Employees Per Day: Number of Customers Per Day (Estimated): Predicted Peak Operating Hour: Describe Any Truck Delivery Schedule & Operations: Please Identify Any Unique or Specific Traffic Patterns That Will Require Accommodations For	ed ed cdy opperative Lis is just an extention r Operations, Customers, or Employees		
U	Existing/Prior Building Use: Proposed Building Use: Proposed Hours of Operation: Days of Week In Operation (Circle): Number of Employees Per Day: Number of Customers Per Day (Estimated): Predicted Peak Operating Hour: Describe Any Truck Delivery Schedule & Operations: Please Identify Any Unique or Specific Traffic Patterns That Will Require Accommodations For	ed ed edy opperating his is just an extention		
& TRAFFIC	Existing/Prior Building Use: Proposed Building Use: Proposed Hours of Operation: Days of Week In Operation (Circle): Number of Employees Per Day: Number of Customers Per Day (Estimated): Predicted Peak Operating Hour: Describe Any Truck Delivery Schedule & Operations: Please Identify Any Unique or Specific Traffic Patterns That Will Require Accommodations For	ed ed cdy opperative Lis is just an extention r Operations, Customers, or Employees		
& TRAFFIC	Existing/Prior Building Use: Proposed Building Use: Proposed Hours of Operation: Days of Week In Operation (Circle): Number of Employees Per Day: Number of Customers Per Day (Estimated): Predicted Peak Operating Hour: Describe Any Truck Delivery Schedule & Operations: Please Identify Any Unique or Specific Traffic Patterns That Will Require Accommodations For (Provide Separate Attachment if Necessary):	ed ed edy opperative Lis is just an extention r Operations, Customers, or Employees		
& TRAFFIC	Existing/Prior Building Use: Proposed Building Use: Proposed Hours of Operation: Days of Week In Operation (Circle): Number of Employees Per Day: Number of Customers Per Day (Estimated): Predicted Peak Operating Hour: Describe Any Truck Delivery Schedule & Operations: Please Identify Any Unique or Specific Traffic Patterns That Will Require Accommodations For (Provide Separate Attachment if Necessary):	ed ed edy opperative Lis is just an extention Toperations, Customers, or Employees		

	SITE PLAN MINIMUM REQUIREMENTS ⇒ Submit a digital copy of the site plan(s) and completed a reality if			
S	and completed application on a flash drive or equivalent (PDF format preferred, hard paper copies			
1EN]	not accepted).			
SITE PLAN REQUIREMENTS	Digital copies must be clear, legible, and on a layout sized appropriately to convey all necessary project information.			
EQU	⇒ Site plan shall provide for and indicate all of the following:			
ANR	- North arrow - Existing & proposed structures - Loading/unloading areas			
E PL	- All existing & proposed site features - Adjacent street names - Accessible path of travel from right of way			
SIT	 Site dimensions, including building Existing and proposed fencing at site Refuse enclosures & containers Valley oak trees (show drip line) Accessible path of travel from ADA stall Location and width of drive approaches to site 			
	 Existing and proposed fencing at site Public improvements (curbs, sidewalks, Existing & proposed landscaping Location and width of drive approaches to site Tentative maps shall adhere to requirements 			
	utility poles, hydrants, street lights, etc.) - Parking stalls (include ADA) of Visalia Municipal Code Section 16			
	Applicant Information (Final comments will be mailed to the name and address provided below)			
JRE	Name: Frueble Aceueb Signature of Owner or Authorized Agent*			
VATC	Address: 3165 Rd 160			
SIG	City, State, Zip () Salice A 93292 Owner Date			
IRED	Phone: (559) 972-7306			
REQUIRED SIGNATURE	Email: emcconstruction 79@Vahos.com Authorized Agent* Date			
14	* If signed by an authorized agent , the "Agency Authorization" information below must be completed for this application to be considered acceptable.			
\dashv				
	AGENCY AUTHORIZATION			
	OWNER:			
	I,, declare as follows; I am the owner of certain real property bearing assessor's			
	parcel number (APN):			
	AGENT:			
	Engla Naus			
>	I designate			
FOR	an application for, and obtain a permit to			
NO.				
IZAT	I declare under penalty of perjury the foregoing is true and correct.			
HOR	Executed this day of			
AGENCY AUTHORIZATION FOR				
ENC	OWNER Signatures AGENT			
AG				
	Signature of Owner Signature of Agent			
	3115 P. 1160			
	Owner Mailing Address Agent Mailing Address			
	Visalia at 93292			
	(559) 977 - 7306			

Page 2 of 2

CITY OF VISALIA

315 E Acequia Ave Visalia, CA 93291 559-713-4444

PLAN CHECK CONDITION/REVISION LIST

Date:

February 25, 2021

Project Contact:

ERNESTO ACEVES

Plan Check No.:

B204848

Project Address:

219 N COURT ST

Project Description:

Please refer to the City's stamped status on the plans to determine whether a plan re-submittal is required.

The items noted below delineate the conditions/revisions of the City. Based on the status of the plans, please address the conditions/revisions as necessary.

Each line item includes a Tag number and a PDF page number, if applicable, for easy reference to the reviewed plans.

If your plans require a re-submittal (based on plan status), re-submit a complete revised set of plans to the City for additional review.

Plan Check Expiration Date and Extensions:

The permit will expire within 180 calendar days of inactivity between permit submittals. Under certain circumstances, applicants may request an extension of the 180 calendar days at the discretion of the Building Official. Inactive permits that have expired will be discarded by the City of Visalia 365 days, including the initial 180 days, after permit inactivity.

Building Dept.

- 1. Provide a complete set of plans, with site plan, including all work to be done. [Comment 0004] Document-Page: PLAN-001 See the last question on page 2 below.
- 2. Provide project data information. [Comment 0005] Document-Page: PLAN-001This usually includes the APN. I'll need that number and then will add all the data in a text box on the Cover Sheet.
- Show where 20 percent of the adjusted cost of construction will be used for accessible path of travel 11B-202.4 [Comment 0009] Document-Page: PLAN-001 Add a NOTE??
- 4. Encroachment permits are required for all work done in the public way. [Comment 0010] Document-Page: PLAN-001 Will you get this Encroachment Permit??
- 5. This project is located in a hazard flood zone. [Comment 0011] Document-Page: PLAN-001 ???
- 6. All buildings shall be identified with approved address. It shall be legible and placed in a position that is visible from the street. Numbers shall be not less then 4 inches in height and shall contrast with the background. [Comment 0012] Document-Page: PLAN-001 I'll add this note.
- 7. Signs shall be by separate permit. [Comment 0001] Document-Page: PLAN-002 Add Note??
- Provide attachment detail, calculated for 20 psi live load and basic wind speed of 95. [Comment 0002] Document-Page: PLAN-002 This depends on Pg. 2, #2.
- 9. Awning with less then 15 feet of clearance above the sidewalk shall not extend into or occupy more then two-thirds the width of the sidewalk measured from the building. [Comment 0003] Document-Page: PLAN-002 I'll add this as a note?

Building Dept.

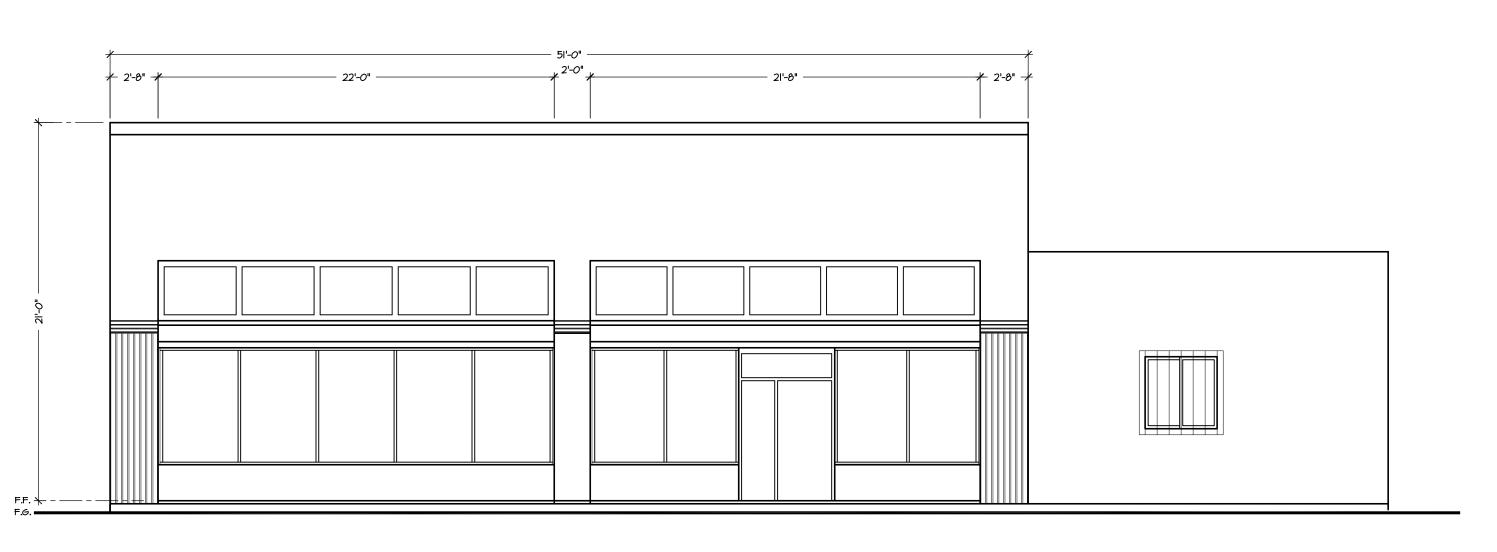
- 10. Provide detail, include dimensions of inset. Show landings at new door. [Comment 0006] Document-Page: PLAN-002 We already noted that the door was from the other permit. They didn't accept that.
- 11. Provide installation details on lights, glass block, corbel, etc. [Comment 0007] Document-Page: PLAN-002 We'll say no glass block, but where to get installation details for lights and corbels??
- 12. Provide energy analysis (Title 24) meeting 2019 Cal Energy Code. [Comment 0008] Document-Page: PLAN-002 The new door could have triggered this. Was Title-24 done on the other permit? If they press the point, this would have to be done by the architect or someone with access to his plans, or they will have to be redrawn at an added cost! As you know, the floor plan area, ceiling height, and all windows and doors are used in the calculation, as well as HVAC information.

Planning Dept.

- 1. Awning materials shall be cloth or canvas, based on Zoning Ordinance Standards applicable to new and alteration to existing buildings in the downtown retail overlay district (Section 17.58.080). [Comment 0013] Document-Page: PLAN-002 I'm sure I've seen other buildings in Visalia with similar horizontal metal awnings . . . If they really don't allow them, we might have to change them to cloth or eliminate the awnings??
- 2. Site Plan Review required for exterior renovations within the downtown retail design district, per Zoning Ordinance Section 17.58.050. File application for & complete Site Plan Review before submitting for building permit. Now they tell you! [Comment 0014] Document-Page: PLAN-002 Is there a Site Plan for the interior plans? If you do need me to do a Site Plan, I will have to charge for that under the "after-the-fact" requests. Hopefully there is one on the other set of plans, but if not, how did that set get approved? Maybe as it says it's only required on exterior renovations.

New Elevations for

219 North Court Street Visalia, California



ORIGINAL / EXISTING FRONT ELEVATION



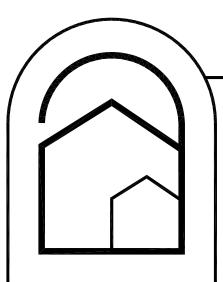
PROPOSED FRONT ELEVATION (COURT STREET / EAST SIDE)

SHEET INDEX :

AI COVER SHEET

A2 FRONT & NORTH SIDE ELEVATIONS

REAR & SOUTH SIDE ELEVATIONS



BUILDER:
EMC CONSTRUCTION

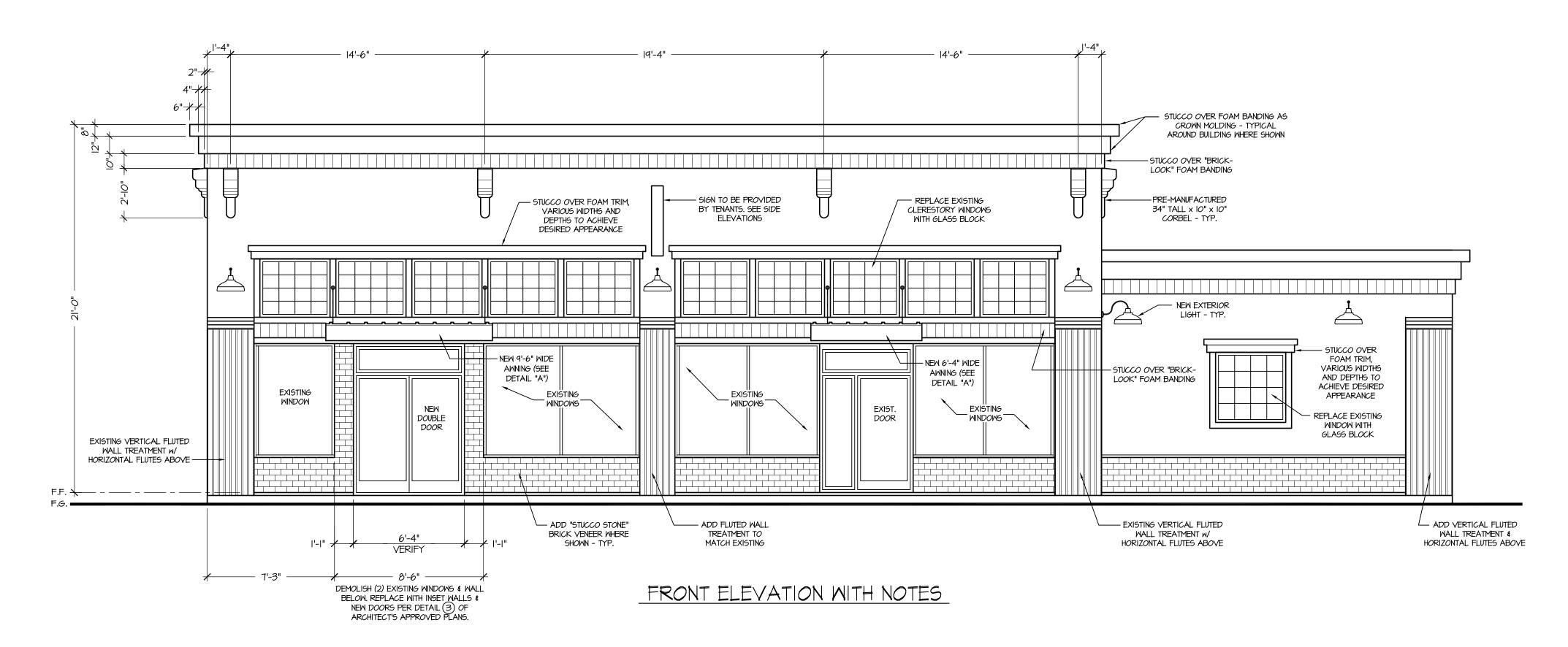
• Phone: (559) 972-7306 • emcconstruction79@yahoo.com

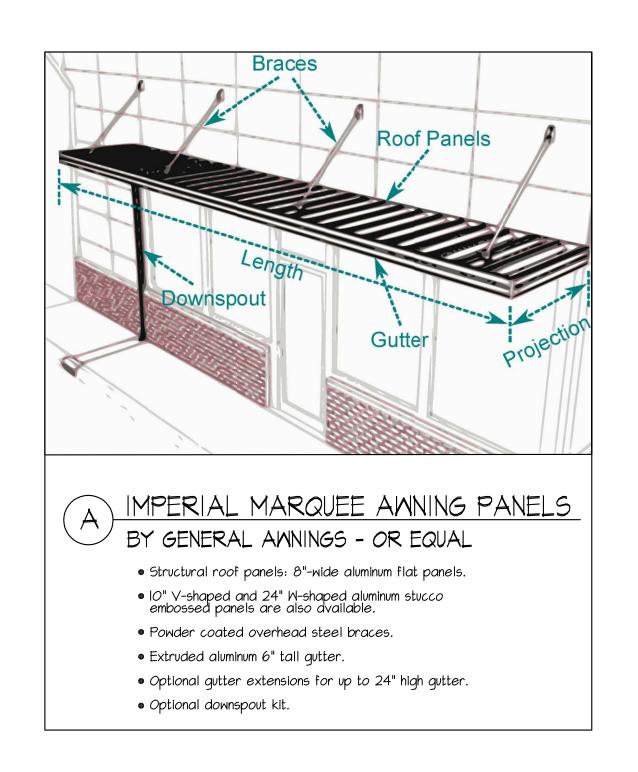
DRAWN BY: PAM GIST ~ (559) 280-1432

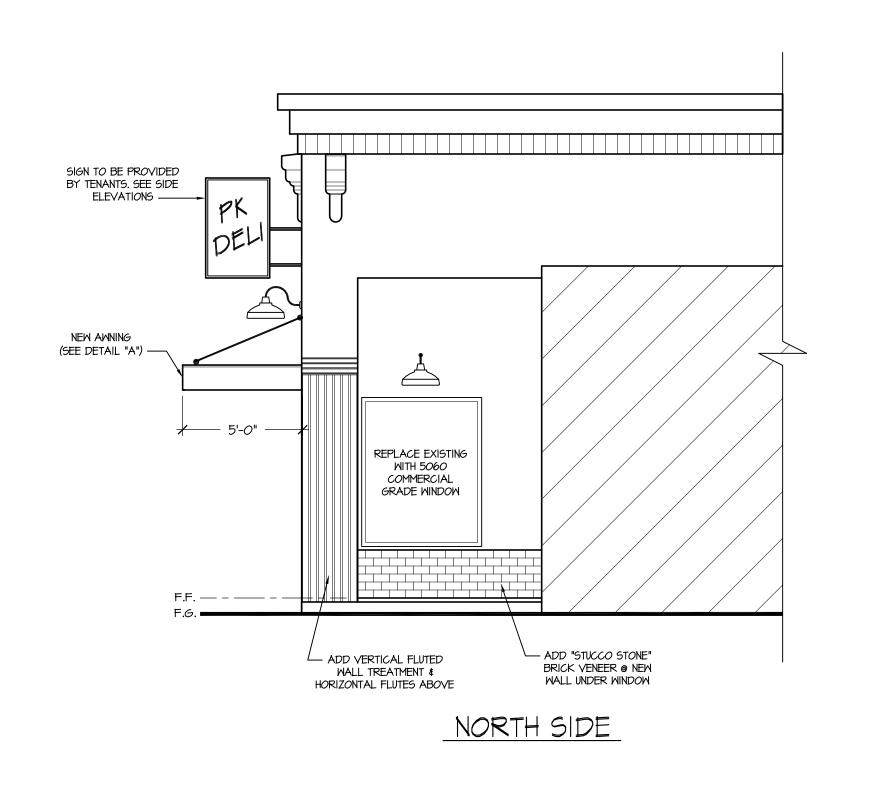
pam@drawingboardusa.com

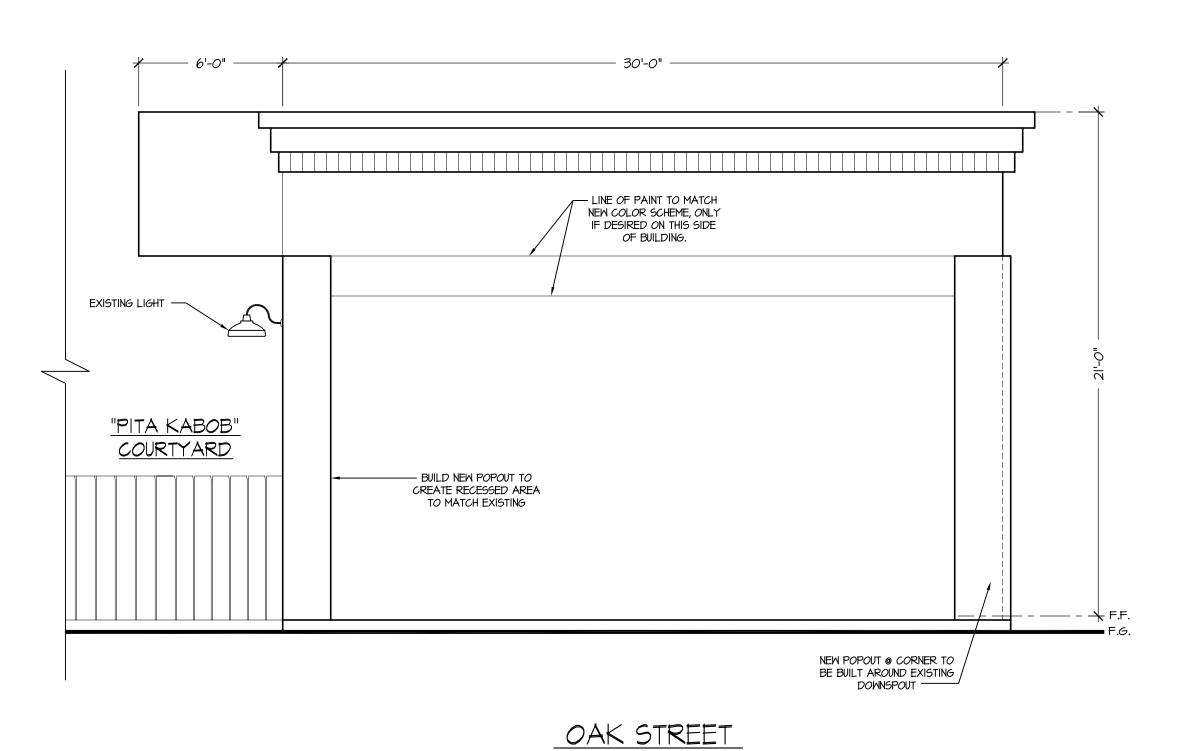
NEW ELEVATIONS
FOR

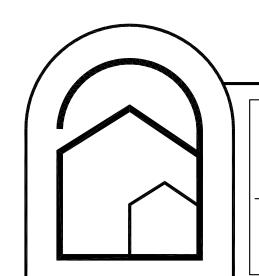
219 NORTH COURT STREET VISALIA, CALIFORNIA 93291 ROBERT & LENA VANDERHAM sheet number:











BUILDER:

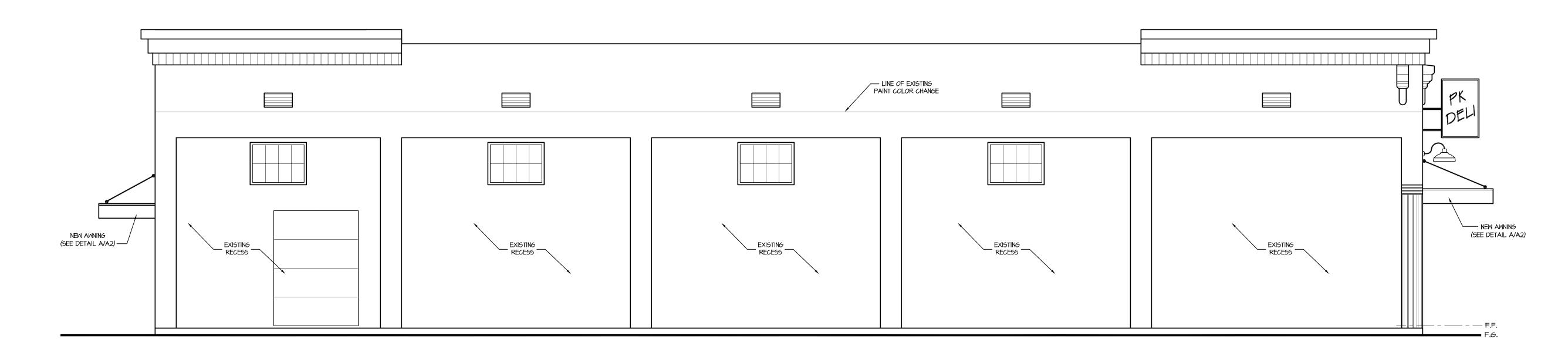
EMC CONSTRUCTION

• Phone: (559) 972-7306 • emcconstruction79@yahoo.com

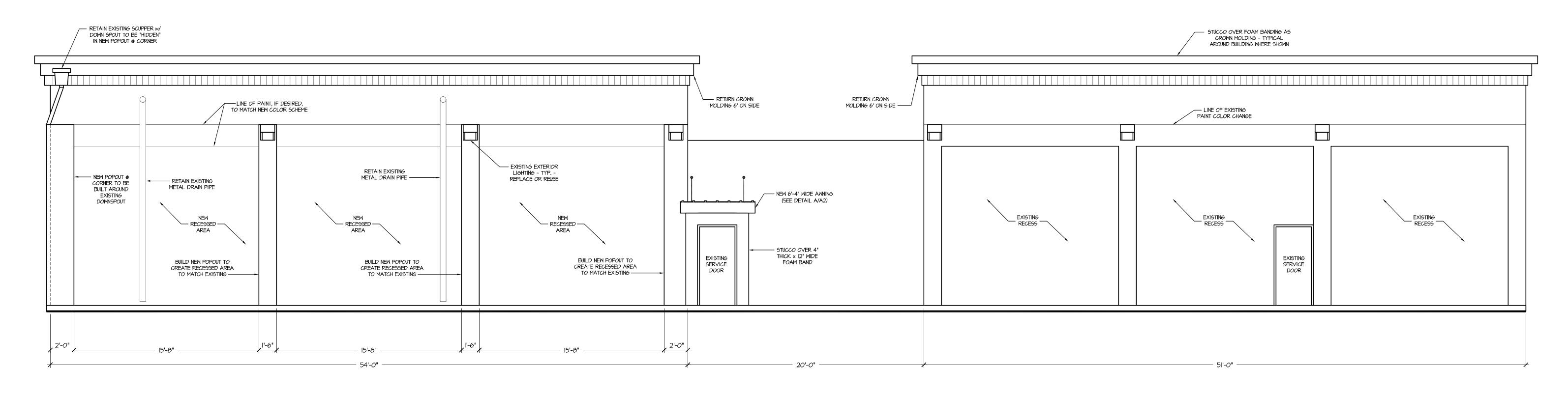
DRAWN BY:
PAM GIST ~ (559) 280-1432
pam@drawinqboardusa.com

NEW ELEVATIONS
FOR
219 NORTH COURT STREET
VISALIA, CALIFORNIA 93291
ROBERT & LENA VANDERHAM

sheet number:



ALLEY / SOUTH SIDE



REAR ELEVATION (PARKING LOT / WEST SIDE)

