

CITY OF VISALIA
HISTORIC PRESERVATION ADVISORY COMMITTEE
Wednesday, August 9, 2023, at 5:30PM

CHAIR: Walter Deissler VICE-CHAIR: Tyler Davis

COMMITTEE MEMBERS:

Patty Kane, Jay Hohlbauch, Jordan Mulrooney, Karen Ayala

City of Visalia Administration Building
220 North Santa Fe Street, Visalia CA

AGENDA

A. Citizen's Comments

B. Meeting Minutes

1. July 12, 2023, Regular Meeting
2. July 26, 2023, Regular Meeting

C. Project Reviews

1. **HPAC No. 2023-13 (Continued Hearing):** A request by Rebecca Hernandez to remove and replace a freestanding sign within the O-C (Office Conversion) Zone. The project site is located at 904 West Main Street (APN: 093-225-007).
2. **HPAC No. 2023-16:** A request by Daniel Gonzalez to renovate a single-family home and add an accessory dwelling unit in the rear yard, located in the R-1-5 (Single Family Residential, 5,000 sq. ft. minimum site area) Zone. The project site is located at 806 South Church Street (APN: 097-086-015).

D. Discussion Items

1. Review – Annual Report to the Visalia City Council
2. Historic Preservation Ordinance – Exterior Alterations and Building Permit Requirements
3. Historic Recognition/Awards Program
4. Historic District Survey Project
 - a. Review of Properties
5. Committee and Staff Comments
 - a. Project Updates
6. Identification of Items for Future Agendas

E. Adjournment

In compliance with the Americans Disabilities Act, if you need special assistance to participate in meetings call (559) 713-4443 (Staff Representative) 48-hours in advance of the meeting. For Hearing Impaired – Call (559)

713-4900 (TTY) 48-hours in advance of the scheduled meeting time to request signing services. Visually Impaired - If enlarged print or a Braille copy is desired, please request in advance of the meeting and services will be provided as possible after the meeting. City Staff to the Committee is Cristobal Carrillo, Associate Planner, 559-713-4443, cristobal.carrillo@visalia.city.

Este Aviso es para informarle que habra una audiencia para el público ante el Comité de Preservación Histórica de la Ciudad de Visalia. Para más información, o para dar comentario público respecto a esta solicitud, por favor llame Cristobal Carrillo, Associate Planner, al numero (559) 713-4443 o cristobal.carrillo@visalia.city. Additional information about the Historic Preservation Advisory Committee may be found by contacting Cristobal Carrillo, Associate Planner at 559-713-4443, or emailing cristobal.carrillo@visalia.city.



CITY OF VISALIA

HISTORIC PRESERVATION ADVISORY COMMITTEE

Wednesday, July 12, 2023, at 5:30PM

CHAIR: Walter Deissler VICE-CHAIR: Tyler Davis

COMMITTEE MEMBERS:

Patty Kane, Jay Hohlbauch, Jordan Mulrooney, Karen Ayala

MEMBERS OF THE PUBLIC: Jerome Melgar

CITY STAFF: Cristobal Carrillo, Associate Planner

**All members
present.**

**City of Visalia Administration Building
220 North Santa Fe Street, Visalia CA**

AGENDA

A. Election of Chair and Vice-Chair

Deissler nominated himself for Chair. The motion was seconded by Kane. No other nominations were received. The motion passed by a vote of 6-0.

Deissler nominated Davis for Vice-Chair. The motion was seconded by Kane. No other nominations were received. The motion passed by a vote of 6-0.

B. Citizen's Comments

None.

C. Meeting Minutes

1. June 28, 2023, Regular Meeting

A motion was made by Kane, seconded by Hohlbauch, to approve the meeting minutes for June 28, 2023. The motion was approved 6-0.

D. Project Reviews

1. HPAC No. 2023-15: A request by Sonia Viruett for a freestanding sign, located within the O-C (Office Conversion) Zone. The project site is located at 432 South Church Street (APN: 097-052-007).

Staff presented its report and recommended that the HPAC approve the signage request. No public comment was received. Discussion occurred regarding the angle of the signage. After discussion a motion was made by Kane, seconded by Hohlbauch, to approve the signage as proposed. The motion passed 6-0.

E. Discussion Items

1. HPAC/Building Advisory Committee – Subcommittee Assignment

Staff noted that with Michael Kreps no longer on the HPAC, a replacement would need to be assigned to the HPAC/BAC subcommittee. Staff stated that the subcommittee was tasked with reviewing requests for demolition of historic structures and providing a recommendation to the HPAC for consideration. Davis volunteered to serve on the

HPAC/BAC subcommittee. A motion was then made by Deissler, seconded by Hohlbauch, to assign Davis to serve on the HPAC/BAC subcommittee. The motion passed 6-0.

2. Historic Recognition/Awards Program

Staff stated that they had reached out to former HPAC Liaison and City Principal Planner Andy Chamberlain for information on awards guidelines from years past but had not received any information. Staff was directed to reach out to Chamberlain again. Kane recommended that the Awards Subcommittee review the various awards guidelines available, to which the HPAC agreed. Mulrooney reported that he had checked with a plaque maker and that an estimate would be forthcoming.

3. Historic District Survey Project

The HPAC reviewed Areas A23, A24, A32, A33, and D4 of the Historic District Survey Project.

4. Committee and Staff Comments

a. Project Updates

Staff reported on ongoing efforts to have City communication staff publicize the vacancy on the HPAC.

5. Identification of Items for Future Agendas

Deissler requested that staff place an item on the agenda to discuss reviews of doors and other exterior alterations that don't require Building Permits. Staff also noted that the signage request for 904 West Main Street would likely return for HPAC review at the next regular meeting.

F. Adjournment

The meeting was adjourned at 6:25pm.

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CITY OF VISALIA

HISTORIC PRESERVATION ADVISORY COMMITTEE

Wednesday, July 26, 2023, at 5:30PM

CHAIR: Walter Deissler VICE-CHAIR: Tyler Davis

COMMITTEE MEMBERS:

Patty Kane, Jay Hohlbauch, Jordan Mulrooney, Karen Ayala

**Kane, Mulrooney,
and Ayala absent.
All other members
present. No
quorum achieved.**

MEMBERS OF THE PUBLIC: Chafic Dada, Zaid German, Kareem Dada, Damon Nilsson,
Jerome Melgar

CITY STAFF: Cristobal Carrillo, Associate Planner

**City of Visalia Administration Building
220 North Santa Fe Street, Visalia CA**

AGENDA

A. Citizen's Comments

None.

B. Meeting Minutes

1. July 12, 2023, Regular Meeting

No action taken as a quorum of the HPAC was not present. Item tabled to the August 9, 2023 meeting of the HPAC.

C. Project Reviews

1. **HPAC No. 2023-13 (Continued Hearing):** A request by Rebecca Hernandez to remove and replace a freestanding sign within the O-C (Office Conversion) Zone. The project site is located at 904 West Main Street (APN: 093-225-007).

No action taken as a quorum of the HPAC was not present. Item automatically continued to the meeting of August 9, 2023.

D. Discussion Items

1. Consultation with HPAC – 112 East Oak Avenue

Chafic Dada, Zaid German, Kareem Dada, and Damon Nilsson consulted with Deissler, Davis, and Hohlbauch regarding a preliminary proposal to convert the existing building at 112 East Oak Avenue into a coffee shop. Discussion occurred regarding potential exterior alterations, with the Committee providing guidance on what would be considered appropriate for the building.

2. Review – Annual Report to the Visalia City Council

No action taken as a quorum of the HPAC was not present. Item tabled to the August 9, 2023 meeting of the HPAC.

3. Historic Preservation Ordinance – Exterior Alterations and Building Permit Requirements

Item tabled to the August 9, 2023 meeting of the HPAC.

4. Historic Recognition/Awards Program

Staff stated that they had consulted with Andy Chamberlain, former City staff and HPAC Staff Liaison. Staff stated that Chamberlain did not recall any other written guidelines for the issuance of HPAC awards. Diessler noted that he had obtained a historic plaque from City staff in order to obtain estimates for their recreation. Additional discussion was tabled to the meeting of August 9, 2023.

5. Historic District Survey Project

a. Review of Properties

No action taken as a quorum of the HPAC was not present.

6. Committee and Staff Comments

a. Project Updates

Staff provided brief updates on proposals to add solar to the Fox Theater, and the HPAC vacancy.

7. Identification of Items for Future Agendas

None.

E. Adjournment

The meeting was adjourned at 5:58pm.

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City of Visalia



To: Historic Preservation Advisory Committee

From: Nathan Perez, Hourly Employee

Date: August 9, 2023

Re: HPAC No. 2023-13 (Continued Hearing): A request by Rebecca Hernandez to remove and replace a freestanding sign within the O-C (Office Conversion) Zone. The project site is located at 904 West Main Street (APN: 093-225-007)

RECOMMENDATION

Staff recommends that the Historic Preservation Advisory Committee (HPAC) approve the proposal as revised by the applicant and described in the report.

DISCUSSION

History

On June 14, 2023, staff presented its report and recommended that the HPAC approve the request as modified and conditioned by staff. The HPAC determined that the wood flooring material proposed was inappropriate and requested that the applicant provide a revised proposal based on recommendations from the Committee. A motion was then made to continue the item to the June 28, 2023, meeting of the HPAC, to allow time for the applicant to submit a revised signage proposal with committee recommendations.

On June 28, 2023, staff requested a second continuance for the project as the no revised submittal had been submitted by the applicant. Public comment was received from Sarah Catalina and Jacqueline Casillas, proprietors of Downtown Realty, the group requesting the signage. Both Catalina and Casillas requested guidance from the HPAC on the design of the proposed signage. Discussion followed, with the HPAC providing guidance as listed below:

- That the signage be more in keeping with the Craftsman/Arts & Crafts architecture of the existing building onsite;
- That more Craftsman or Arts & Crafts style ornamentation be placed on the signage, (such as using two posts to hold the sign, with caps on the post);
- That the signage be secured to the frame/posts of the sign; and
- That the signage contains design attributes similar to the signage located at 1004 W. Main Street.

Both Catalina and Casillas noted that the wood flooring material proposed on the signage was also used for signage at another Downtown Realty location in Porterville, CA. They requested that the HPAC allow the wood flooring material to be used at the Visalia Downtown Realty location to maintain brand consistency with the office in Porterville. The Committee stated that the material would be acceptable, so long as the above guidance was incorporated into the revised signage proposal. The item was then continued to a future unspecified date.

On July 26, 2023 the applicant submitted a revised plan for review by the HPAC. However, the item was continued for a third time due to a lack of quorum amongst the members of the HPAC. The item was automatically continued to the meeting of August 9, 2023. The analysis provided below is unchanged from that which was provided to the HPAC on July 26, 2023.

Revised Signage Elevation

The applicant submitted revised signage elevations as requested by the HPAC on July 18, 2023. As shown in revised Exhibit "B" the signage will include a wood boundary wrapped around the face of the signage and will be held aloft by two capped wooden posts.

With the addition of wood posts and caps, staff has determined that the revised signage is more compatible with the architecture and materials specific to the office onsite. As such, it is recommended that the signage be approved as proposed.

FINDINGS AND CONDITIONS

Staff recommends that the committee approve HPAC Item No. 2023-13 as modified by staff based upon the following findings:

1. That the project site is within the Historic District and is listed on the Local Register of Historic Structures.
2. That the proposal is consistent with the surrounding area, and the Historic District.
3. That the proposal is consistent with the Historic Preservation Ordinance and Historic Preservation Element.
4. That the proposal will not be injurious to the character of the surrounding area and Historic District.

And subject to the following revised conditions:

1. That the site be developed consistent with the site plan in Exhibit "A".
2. That the signage be developed consistent with the signage elevations in Exhibit "B".
3. That the project undergoes the appropriate City permitting process for exterior alterations and fencing on the project site.
4. That any other exterior alterations to the site shall be brought before this Committee for review and approval prior to the issuance of any Building Permits and/or their installation or construction.
5. That all other City codes, ordinances, standards, and regulations shall be met.
6. That the approval from the Historic Preservation Advisory Committee shall lapse and become void twelve months after the date on which it became effective, unless the conditions of the approval allowed a shorter or greater time limit, or unless prior to the expiration of twelve months a building permit is issued by the city and construction is commenced and diligently pursued toward completion on the site that was the subject of the approval.

ATTACHMENTS

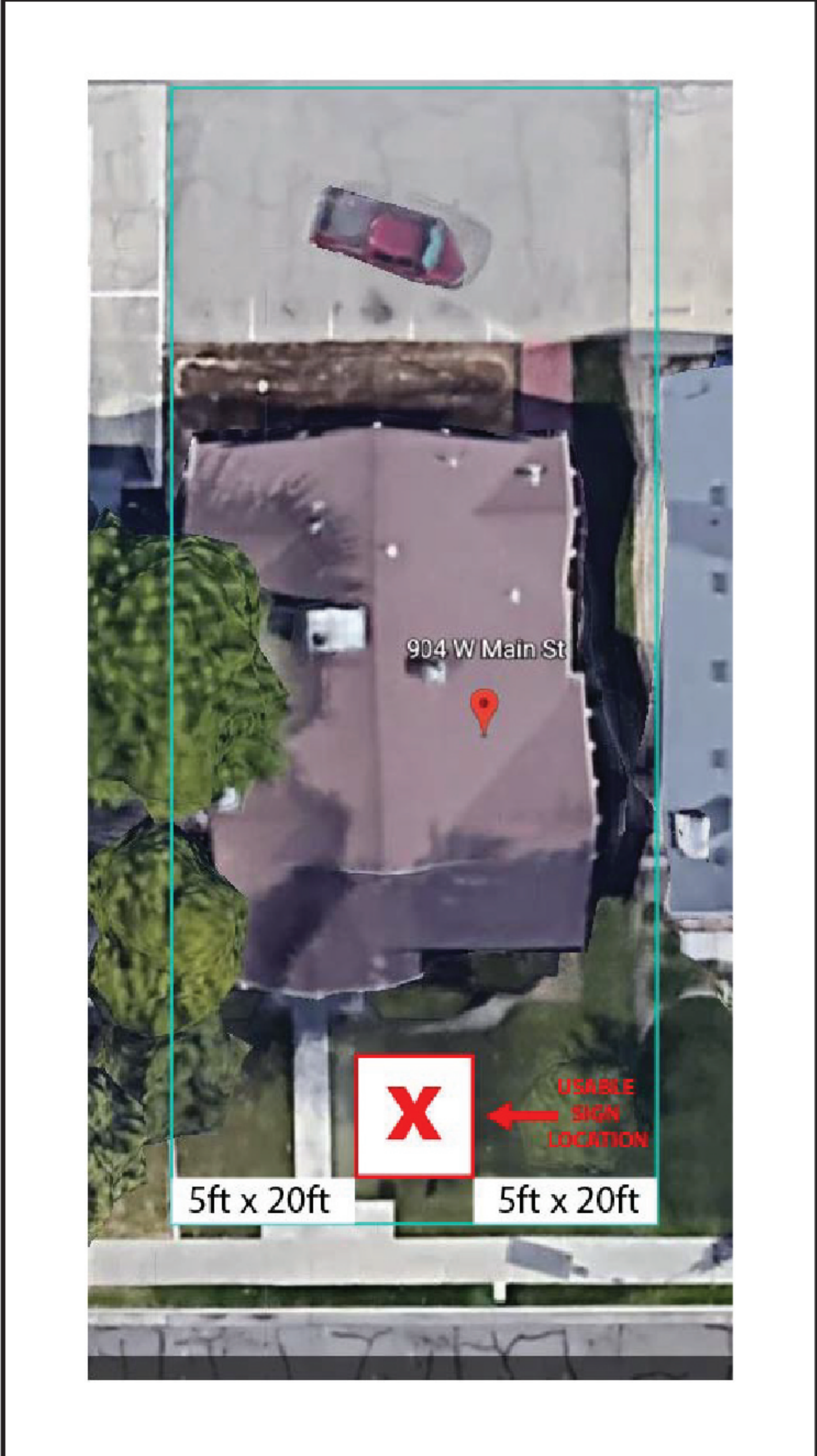
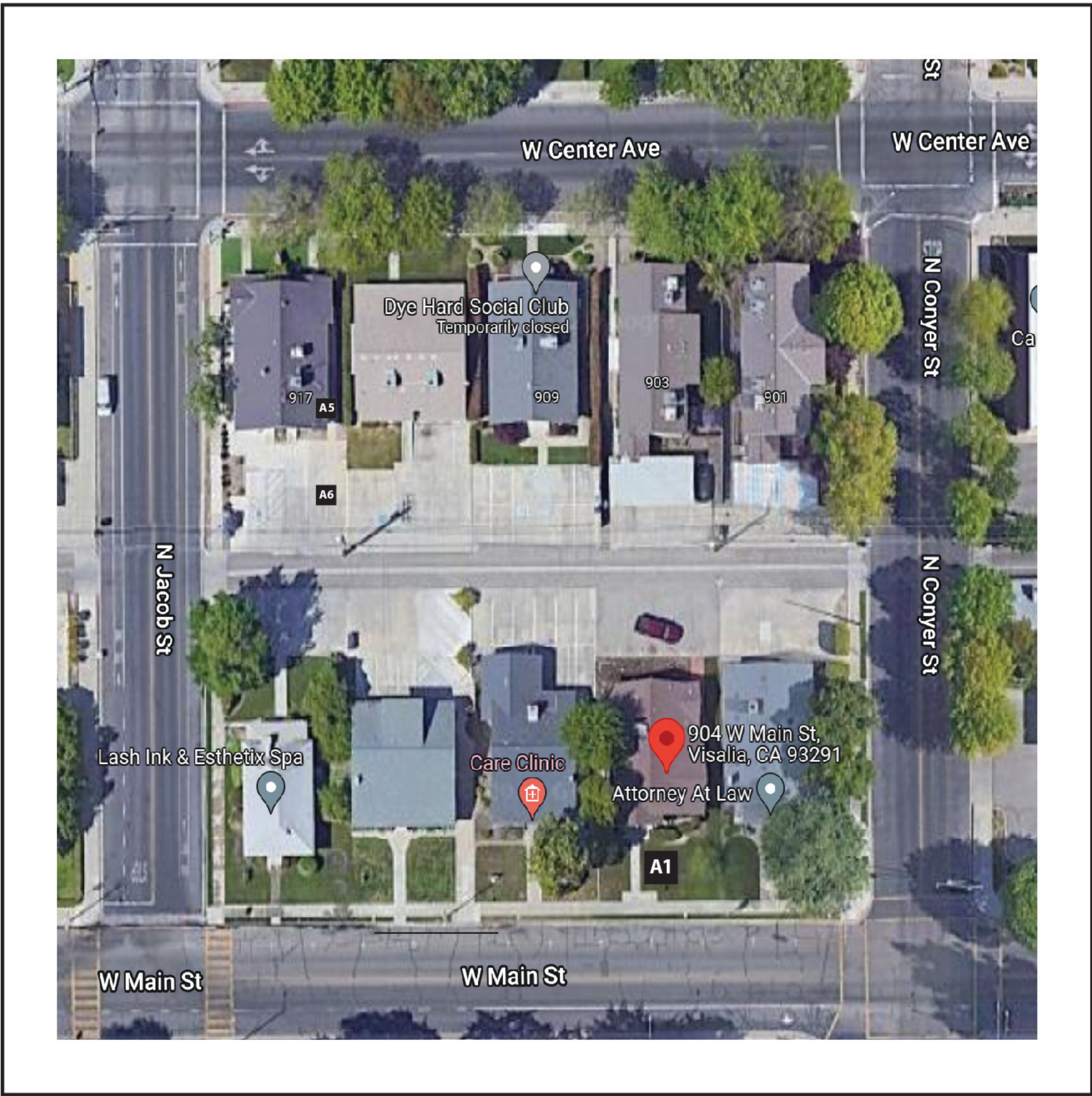
- Revised Exhibits “A” and “B” – Site Plan and Signage Elevations
- HPAC Item No. 2023-13, June 14, 2023 Staff Report
- HPAC Item No. 2023-13, June 28, 2023 Continuance Request
- HPAC Item No. 2023-13, July 26, 2023 Staff Report

APPEAL INFORMATION

According to the City of Visalia Zoning Ordinance Section 17.56.060, an appeal to the City Council may be submitted within ten days following the date of a decision by the Historic Preservation Advisory Committee (HPAC). An appeal shall be in writing and shall be filed with the City Clerk at 220 N. Santa Fe Street, Visalia CA. The appeal shall specify errors or abuses of discretion by the HPAC, or decisions not supported by the evidence in the record. The appeal form can be found on the city's website www.visalia.city or from the City Clerk.

Project Proposal

Downtown Realty Visalia



Project:
904 W MAIN ST, VISALIA, CA 93291

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Project Proposal

Downtown Realty Visalia

FREE STANDING EXTERIOR SIGNAGE



Owner/Landlord Approval

Name:

Signature:

Date:



Project:
904 W MAIN ST, VISALIA, CA 93291

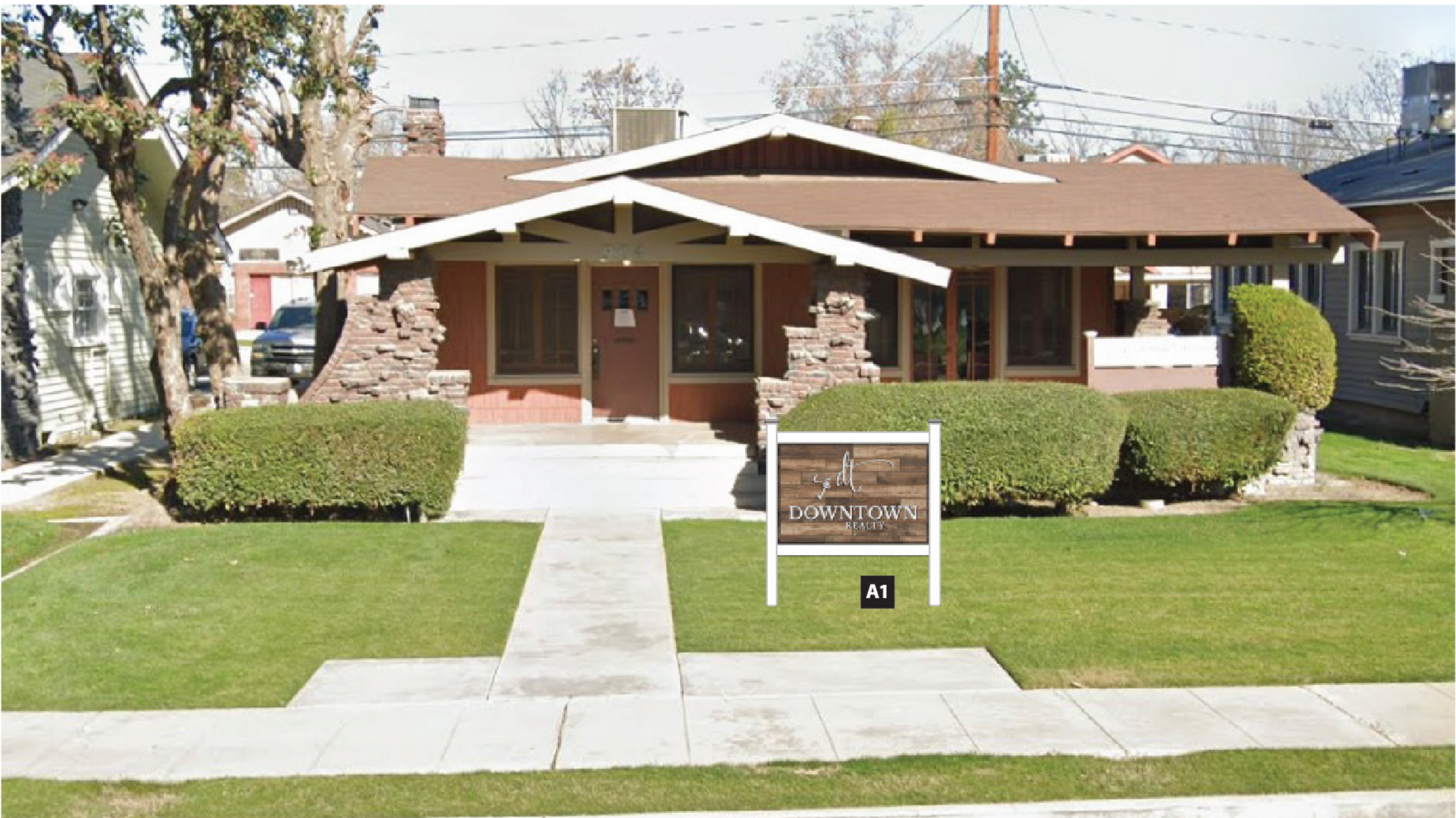
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Project Proposal

Downtown Realty Visalia

FREE STANDING EXTERIOR SIGNAGE

PAGE #	SIGN	LOCATION	TYPE	HEIGHT	WIDTH	SQ. FT.	Quantity
4-5	A ¹	BUILDING FRONT	FREE STANDING EXTERIOR SIGNAGE	5ft	5.67ft	28.35ft ²	1



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Project Proposal

Downtown Realty Visalia

SPECIFICATIONS:

A¹

13.5 FT²

Scale: 18mm to 1'

Building Sign:

FACES:	1" WOODEN BACKER WITH TILE WOOD FLOORING ADHERED OVER TOP. 1" METAL FRAME BORDER
DIMENSIONAL LETTERS/LOGO:	3MM BRUSH MILL ACM THAT WILL THEN BE MOUNTED TO SIGN WITH VHB TAPE AND SILICONE
CONNECTION:	HILLMAN STEEL SCREW EYE HOOK WITH 3/16 IN. QUICK LINKS
COLOR AND FINISHES:	
<div></div>	BRUSH MILL ACM
<div></div>	WOOD TILE FLOORING



Project Proposal

Downtown Realty Visalia

A1 FRAMING AND HANGING MATERIAL (CONT.)

SPECIFICATIONS:

A¹ **13.5 FT²** Scale: **18mm to 1'**

Building Sign:

WOODEN FRAMING: (4) 4" WIDE WOODEN POST FRAME
CONNECTION: CONCRETE FOOTING
18" INBEDMENT
18" X 12" HOLE
2500 PSI CONCRETE FILLED TO SURFACE

COLOR AND FINISHES:

☐ WOODEN POST





REPORT TO THE CITY OF VISALIA HISTORIC PRESERVATION ADVISORY COMMITTEE

HEARING DATE: June 14, 2023

PROJECT PLANNER: Cristobal Carrillo, Associate Planner
Phone: (559) 713-4443
E-mail: cristobal.carrillo@visalia.city

SUBJECT: Historic Preservation Advisory Committee Item No. 2023-13: A request by Rebecca Hernandez to remove and replace a freestanding sign within the O-C (Office Conversion) Zone. The project site is located at 904 West Main Street (APN: 093-225-007).

STAFF RECOMMENDATION

Staff recommends that the Historic Preservation Advisory Committee (HPAC) approve HPAC Item No. 2023-13 as modified by staff and described in the report.

SITE DATA

The site is zoned O-C (Office Conversion) and contains a single-family residence that has been converted into an office. The site is located within the Historic District and is listed on the Local Register of Historic Structures with a "Focus" classification. The structure displays "Craftsman Bungalow" architecture. The date of construction is 1912 according to the original City of Visalia Historic Survey.

PROJECT DESCRIPTION

The applicant is requesting approval to remove an existing freestanding sign and replace it with a new freestanding sign as shown in the site plan and elevations in Exhibits "A" and "B". The new signage will be located on the southern portion of the project site, in view of West Main Street. The signage will be approximately five feet tall, with the sign face approximately 13.5 square foot in size. The sign will be made from tile wood flooring material with a metal frame border, and will hang from a steel post frame. No illumination is proposed.

DISCUSSION

Development Standards

Visalia Municipal Code (VMC) Section 17.48.110.C. 5 requires that all freestanding signs be setback a minimum of five feet from a property line abutting a street, and at least 20 feet from any side property boundary. Per Exhibit "A", the new sign will be placed so as to meet the required setbacks. Based on the elevations provided in Exhibit "B", the proposed signage also complies with requirements for height and area, which must not exceed 6 feet and 35 square feet, respectively, in the O-C Zone.



Normally the VMC requires freestanding signs to contain sign bases that are not less than 50% of the width of the widest part of the sign. However, for sites that contain residential conversions of structures, VMC Section 17.48.110.C.7 allows for the placement of posts, so long as they are compatible with the structure onsite and maintain a residential character/appearance. For historic properties, this typically consists of signage on two posts. Per the elevations provided, the proposed signage posts are considered appropriate.

Architectural Compatibility

Visalia Municipal Code Section 17.56.050.C.4 permits HPAC review of signage requests in the Historic District/Local Register. However, it limits review only to design and/or materials. Signage materials typically considered compatible within the Historic District and Local Register sites are wood and stone, or materials that mimic the appearance of wood and stone. Signage must also conform to the materials found on structures located on the same site.

As shown in Exhibit “B” the sign face will include segmented wood flooring material with metal elements in the sign face and posts to offset the wood. The segmented wood proposed in the signage is not in keeping with the primarily wood shingle design of the structure. Nor does the building feature any metal elements similar to what the signage contains. The proposed metal frame is also of a shape not in keeping with other signage in the immediate vicinity. Signage surrounding the project site is primarily on posts or a base, and made of wood or stone (see Figure 1). The only element of the sign that is considered suitable is the way it is hung from a rail.

Given the above, it is recommended that that the signage be modified to increase compatibility with the structure and immediate vicinity. Recommended modifications are as follows:

- That the sign face contain only wood elements and that the backdrop of the sign be a solid wood surface with no segmentation;
- That the steel frame be changed to a wooden frame;
- That the sign be secured to the ground via a “real estate” sign shaped post (see Exhibit “D”), in order to preserve the hanging element, or that it be secured to the ground via two posts.
- That the sign frame contain end details similar to the gable roof of the structure (see Exhibit “D”).

These recommendations are included with Condition No. 1 of this report. Alternatively, the HPAC can continue the item to its next regular meeting of June 28, 2023, and request the applicant to provide a revised submittal for review.



FINDINGS AND CONDITIONS

Staff recommends that the Committee approve HPAC Item No. 2023-13 as modified by staff based upon the following findings:

1. That the project site is within the Historic District and is listed on the Local Register of Historic Structures.
2. That the proposal as modified is consistent with the surrounding area, and the Historic District.
3. That the proposal as modified is consistent with the Historic Preservation Ordinance and Historic Preservation Element.
4. That the proposal as modified will not be injurious to the character of the surrounding area and Historic District.

And subject to the following conditions:

1. That the site shall be developed consistent with the site plan in Exhibit “A” and elevations in Exhibit “B”, except as modified below:
 - a. That the sign face shall contain only wood elements and that the backdrop of the sign shall be a solid wood surface with no segmentation;
 - b. That the steel frame of the sign shall be changed to a wooden frame;
 - c. That the sign shall be secured to the ground via a “real estate” sign shaped post, as depicted in Exhibit “D”, or that it be secured to the ground via two posts.
 - d. That the sign frame shall contain end details similar to the gable roof of the structure as depicted in Exhibit “D”.
2. That the project undergoes the appropriate City permitting process.
3. That any other exterior alterations to the site shall be brought before this Committee for review and approval prior to the issuance of any Building Permits and/or their installation or construction.
4. That all other City codes, ordinances, standards, and regulations shall be met.
5. That the approval from the Historic Preservation Advisory Committee shall lapse and shall become void twelve months after the date on which it became effective, unless the conditions of the approval allowed a shorter or greater time limit, or unless prior to the expiration of twelve months a building permit is issued by the city and construction is commenced and diligently pursued toward completion on the site that was the subject of the approval.

ATTACHMENTS

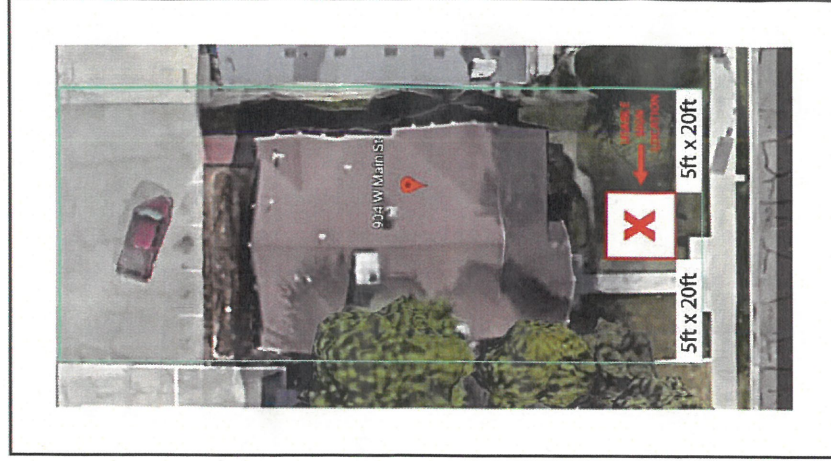
- Exhibit “A” – Site Plan
- Exhibit “B” – Signage Elevations
- Exhibit “C” – Building Elevations
- Exhibit “D” – Staff Recommended Signage Details
- Aerial Map
- Historic District and Local Register Map

APPEAL INFORMATION

According to the City of Visalia Zoning Ordinance Section 17.56.060, an appeal to the City Council may be submitted within ten days following the date of a decision by the Historic Preservation Advisory Committee (HPAC). An appeal shall be in writing and shall be filed with the City Clerk at 220 N. Santa Fe Street. The appeal shall specify errors or abuses of discretion by the HPAC, or decisions not supported by the evidence in the record. The appeal form can be found on the city’s website www.visalia.city or from the City Clerk.

Project Proposal

Downtown Realty Visalia



Project:
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Project Proposal

Downtown Realty Visalia



Owner/Landlord Approval

Name:

Signature:

Date:



Project:

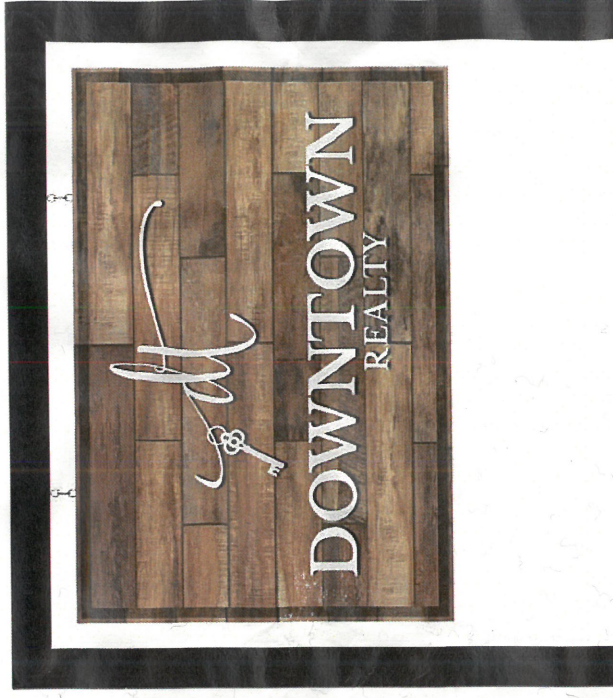
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Project Proposal

Downtown Realty Visalia

PAGE #	SIGN	LOCATION	TYPE	HEIGHT	WIDTH	SQ. FT.	Quantity
4-5	A1	BUILDING FRONT	FREE STANDING EXTERIOR SIGNAGE	5ft	5.67ft	28.35ft ²	1



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Project Proposal

Downtown Realty Visalia

SPECIFICATIONS:

A¹ **13.5 FT²** **Scale: 18mm to 1'**

Building Sign:

FACES:

1" WOODEN BACKER WITH TILE WOOD FLOORING ADHERED OVER TOP.

1" METAL FRAME BORDER

DIMENTIONAL LETTERS/LOGO:

3MM BRUSH MILL ACM THAT WILL THEN BE MOUNTED TO SIGN WITH VHB TAPE AND SILICONE

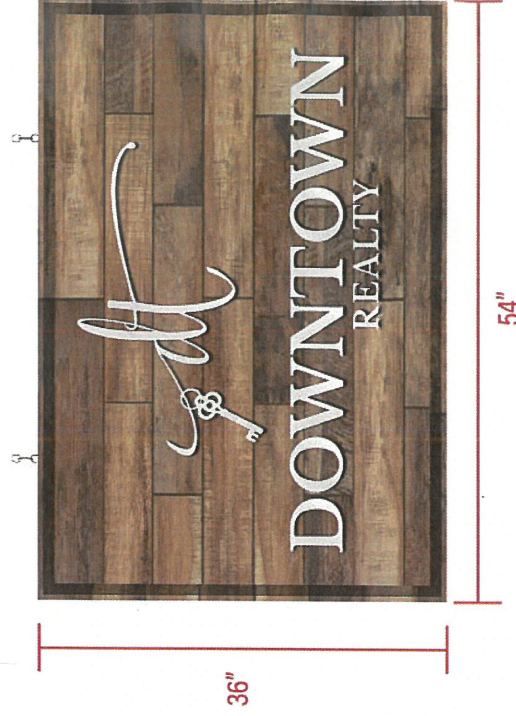
CONNECTION:

HILLMAN STEEL SCREW EYE HOOK WITH 3/16 IN. QUICK LINKS

COLOR AND FINISHES:

 BRUSH MILL ACM

 WOOD TILE FLOORING



Project:

904 W MAIN ST, VISALIA, CA 93291

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Project Proposal

Downtown Realty Visalia

PAGE 5

A1 FRAMING AND HANGING MATERIAL (CONT.)

SPECIFICATIONS:

A¹

13.5 FT² Scale: 18mm to 1'

Building Sign:

STEEL FRAMING:

(3) 4" WIDE STEEL POST WELDED INTO A 4" X 78" X 68" FRAME

CONNECTION:

CONCRETE FOOTING

18" INBEDMENT

18" X 12" HOLE

2500 PSI CONCRETE FILLED TO SURFACE

COLOR AND FINISHES:

STEEL POST



Project:

904 W MAIN ST, VISALIA, CA 93291

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EXHIBIT "C"

SOUTH



NORTH



WEST



EAST



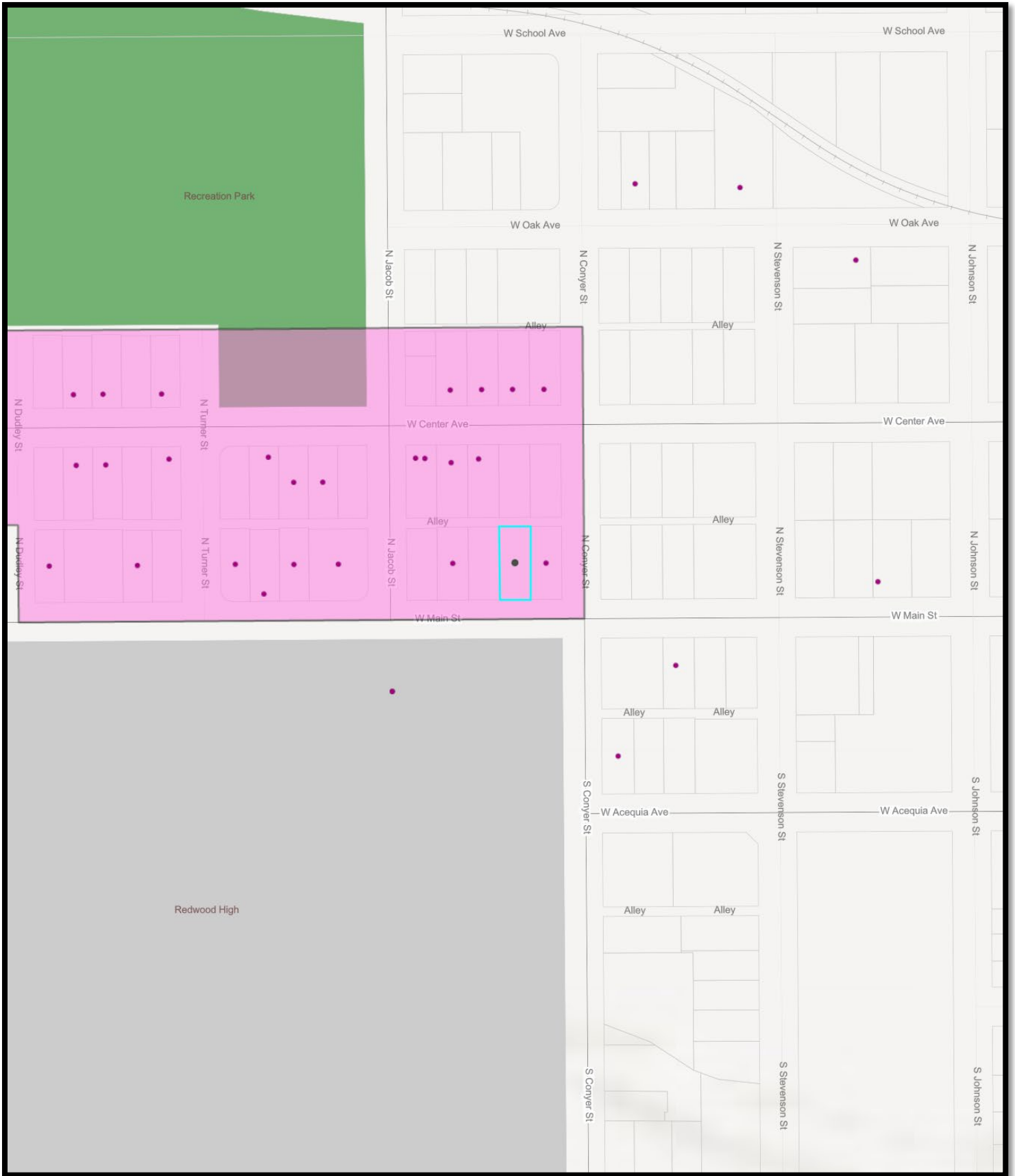
EXHIBIT "D"





AERIAL MAP

HPAC Item No. 2023-13 – New Signage



HISTORIC PRESERVATION AND LOCAL REGISTER MAP

City of Visalia

Memo



To: Historic Preservation Advisory Committee
From: Cristobal Carrillo, Associate Planner (559) 713-4443
Date: June 28, 2023
Re: A request to continue the public hearing for Historic Preservation Advisory Committee Item No. 2023-13 (Hernandez) to a future non-specific date.

RECOMMENDATION

Staff recommends that the Historic Preservation Advisory Committee (HPAC) continue HPAC Item No. 2023-13 to a future non-specific date. Staff's recommendation is due to delays in securing approval of revised signage from the property owner.

DISCUSSION

Staff has received correspondence from Rebecca Hernandez, the project representative, requesting the HPAC continue HPAC Item No. 2023-13 for a new freestanding sign to a future unspecified date. Hernandez has stated that they have been unable to secure approval from the property owner for a revised signage design.

Staff supports the applicant's request for continuance as it will provide additional time for the applicant to consult with the property owner to revise the signage request.

ATTACHMENTS

1. Correspondence from Rebecca Hernandez, June 22, 2023

RE: City of Visalia: Historic Preservation Advisory Committ...



Rebecca Hernandez <rhernand...

To ● Cristobal Carrillo



4:17 PM

Retention Policy 45 Day Retention (45 days)

Expires 08/06/2023

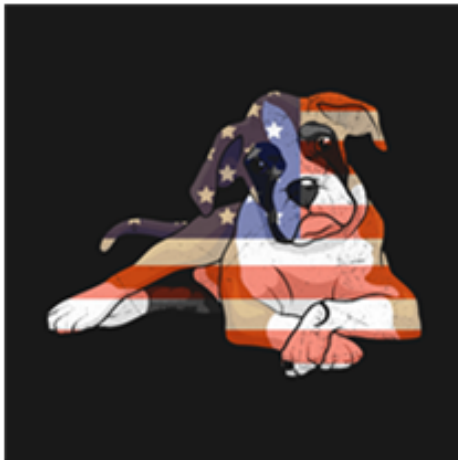
You replied to this message on 06/22/2023 4:18 PM.

Hi Cristobal,

We will need to reschedule for a "unspecified date" as we have not been able to get the changes approved by the owner.

As soon as I do, I will get them over to you.

Thank you,



REBECCA HERNANDEZ

Permit Expeditor

Office: **559.544.6133**

RHernandez@McDivittSigns.com

www.McDivittSigns.com

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City of Visalia



To: Historic Preservation Advisory Committee

From: Nathan Perez, Hourly Employee

Date: July 26, 2023

Re: HPAC No. 2023-13 (Continued Hearing): A request by Rebecca Hernandez to remove and replace a freestanding sign within the O-C (Office Conversion) Zone. The project site is located at 904 West Main Street (APN: 093-225-007)

RECOMMENDATION

Staff recommends that the Historic Preservation Advisory Committee (HPAC) approve the proposal as revised by the applicant and described in the report.

DISCUSSION

History

On June 14, 2023, staff presented its report and recommended that the HPAC approve the request as modified and conditioned by staff. The HPAC determined that the wood flooring material proposed was inappropriate and requested that the applicant provide a revised proposal based on recommendations from the Committee. A motion was then made to continue the item to the June 28, 2023, meeting of the HPAC, to allow time for the applicant to submit a revised signage proposal with committee recommendations.

On June 28, 2023, staff requested a second continuance for the project as the no revised submittal had been submitted by the applicant. Public comment was received from Sarah Catalina and Jacqueline Casillas, proprietors of Downtown Realty, the group requesting the signage. Both Catalina and Casillas requested guidance from the HPAC on the design of the proposed signage. Discussion followed, with the HPAC providing guidance as listed below:

- That the signage be more in keeping with the Craftsman/Arts & Crafts architecture of the existing building onsite;
- That more Craftsman or Arts & Crafts style ornamentation be placed on the signage, (such as using two posts to hold the sign, with caps on the post);
- That the signage be secured to the frame/posts of the sign; and
- That the signage contains design attributes similar to the signage located at 1004 W. Main Street.

Both Catalina and Casillas noted that the wood flooring material proposed on the signage was also used for signage at another Downtown Realty location in Porterville, CA. They requested that the HPAC allow the wood flooring material to be used at the Visalia Downtown Realty location to maintain brand consistency with the office in Porterville. The Committee stated that the material would be acceptable, so long as the above guidance was incorporated into the revised signage proposal. The item was then continued to a future unspecified date.

Revised Signage Elevation

The applicant submitted revised signage elevations as requested by the HPAC on July 18, 2023. As shown in revised Exhibit “B” the signage will include a wood boundary wrapped around the face of the signage and will be held aloft by two capped wooden posts.

With the addition of wood posts and caps, staff has determined that the revised signage is more compatible with the architecture and materials specific to the office onsite. As such, it is recommended that the signage be approved as proposed.

FINDINGS AND CONDITIONS

Staff recommends that the committee approve HPAC Item No. 2023-13 as modified by staff based upon the following findings:

1. That the project site is within the Historic District and is listed on the Local Register of Historic Structures.
2. That the proposal is consistent with the surrounding area, and the Historic District.
3. That the proposal is consistent with the Historic Preservation Ordinance and Historic Preservation Element.
4. That the proposal will not be injurious to the character of the surrounding area and Historic District.

And subject to the following revised conditions:

1. That the site be developed consistent with the site plan in Exhibit “A”.
2. That the signage be developed consistent with the signage elevations in Exhibit “B”.
3. That the project undergoes the appropriate City permitting process for exterior alterations and fencing on the project site.
4. That any other exterior alterations to the site shall be brought before this Committee for review and approval prior to the issuance of any Building Permits and/or their installation or construction.
5. That all other City codes, ordinances, standards, and regulations shall be met.
6. That the approval from the Historic Preservation Advisory Committee shall lapse and become void twelve months after the date on which it became effective, unless the conditions of the approval allowed a shorter or greater time limit, or unless prior to the expiration of twelve months a building permit is issued by the city and construction is commenced and diligently pursued toward completion on the site that was the subject of the approval.

ATTACHMENTS

- Revised Exhibits “A” and “B” – Site Plan and Signage Elevations
- HPAC Item No. 2023-13, June 14, 2023 Staff Report
- HPAC Item No. 2023-13, June 28, 2023 Continuance Request

APPEAL INFORMATION

According to the City of Visalia Zoning Ordinance Section 17.56.060, an appeal to the City Council may be submitted within ten days following the date of a decision by the Historic Preservation Advisory Committee (HPAC). An appeal shall be in writing and shall be filed with the City Clerk at 220 N. Santa Fe Street, Visalia CA. The appeal shall specify errors or abuses of discretion by the HPAC, or decisions not supported by the evidence in the record. The appeal form can be found on the city's website www.visalia.city or from the City Clerk.



REPORT TO THE CITY OF VISALIA HISTORIC PRESERVATION ADVISORY COMMITTEE

HEARING DATE: August 9, 2023

PROJECT PLANNER: Nathan Perez, Hourly Employee
Phone: (559) 713-4449
E-mail: nathan.perez@visalia.city

SUBJECT: Historic Preservation Advisory Committee Item No. 2023-16: A request by Daniel Gonzalez to renovate a single-family home and add an accessory dwelling unit in the rear yard, located in the R-1-5 (Single Family Residential, 5,000 sq. ft. minimum site area) zone. The project site is located at 806 South Church Street (APN: 097-086-015).

STAFF RECOMMENDATION

Staff recommends that the Historic Preservation Advisory Committee (HPAC) approve the proposed renovations as described in the findings and conditions of this report.

SITE DATA

The site is zoned R-1-5 (Single Family Residential, 5,000 sq. ft. minimum site area) zone and is located within the Historic District. The building is not listed on the Local Register of Historic Structures. The site contains a two-bedroom, "Minimal Traditional" style house with a driveway that spans one third of the lot along the northern property line.



PROJECT DESCRIPTION

The applicant is requesting approval to conduct a renovation of the 611 sq. ft. existing residence significantly damaged due to fire in 2020. The building has remained unoccupied since that time. Per the building elevations and operational statement in Exhibits "C" and "D", renovations will consist of installing new 1x6 lateral siding on the fire-damaged north exterior wall to match the existing siding, installing new windows at existing openings, adding new sheet rock, new wiring, new air conditioning, new roof shingles, and new paint. Renovations will seek to restore the appearance of the building prior to the fire, except for alterations removing and replacing a door with a window on the southern exterior, addition of fascia board to the west and east exteriors, and addition of a gable roof over a portion of the residence that juts out from the southeast corner. Per the operational statement and the floor plan in Exhibit "B", there will be one kitchen and two bedrooms in the renovated house.

Additionally, a 768 sq. ft. accessory dwelling unit with a 72 sq. ft. covered porch is planned in the rear yard east of the main dwelling, with a design intended to match the existing structure. Per Exhibit "B", the ADU will also contain one kitchen and two bedrooms. Building elevations for the ADU specify that siding, doors, and windows will be designed to match the main house. However, the ADU will also include front facing gables and a large, covered porch,

unlike the main house. According to the site plan in Exhibit “A”, the ADU will be accessed by a 4 ft. wide concrete sidewalk that will connect to the driveway. No covered parking is proposed for either residence.

DISCUSSION



Land Use Compatibility

The subject site is zoned R-1-5, which permits placement of a single-family residence as well as an ADU, subject to Building Permit approval. All sites immediately adjacent to the subject property are also zoned R-1-5 and contain residential development. Furthermore, there are six properties on the same street as the project site that contain two or more dwelling units, with the site immediately to the north containing a duplex. As such, the proposed use is considered compatible with the site and surrounding area.

Development Standards

The residence has been in place since at least the 1970's. A carport was located on the property but was attached to the duplex at 203 and 205 East Laurel, and thus appears to have never been employed by the occupants of 806 South Church Street for covered parking (see Figure 1). Since the applicant intends to restore the main house without increasing its size or relocating the structure, staff has determined that due to its grandfathered nature, any existing nonconformities such as lack of covered parking are permitted to remain.

As for the ADU, they are permitted by right in residential zones, subject to historic preservation review (if applicable) and issuance of a Building Permit. Furthermore, per California Government Code section 65852.2d, if an ADU is located within a historic district, it is exempt from city parking standards. As such, no additional onsite parking is required for the ADU.

All other development standards for the R-1-5 Zone have been met.

Architectural Compatibility

Section 17.56.100 of the Historic Preservation Ordinance provides the HPAC with criteria to evaluate exterior alterations to buildings within the Historic District. The sections relevant to this proposal require that the HPAC consider the following:

- Height and Scale. New buildings should be constructed to a height within a reasonable average height of existing adjacent buildings.

- Spacing of Buildings on Street. A rhythm of recurrent building masses to separations should be retained.
- Relationship of materials and textures, so that any alterations enhance neighborhood qualities such as compatibility, similarity, and continuity.
- Relationship of architectural details and roof shapes, so that alterations are compatible in appearance with surrounding structures.
- Directional Expression of Front Elevations. Structural shape, placement of openings, and architectural details should be used to give a compatible appearance with adjacent structures that may be horizontal, vertical or nondirectional in nature.
- Landscaping should reflect the predominant quality and quantity of landscaping within the surrounding area. The concern here is more with mass and continuity.

Main Dwelling

Per the elevations in Exhibit “C” and operational statement in Exhibit “D”, the applicant proposes restoring the main house to its original appearance, save for alterations removing a doorway, adding a gable, and adding fascia. The removal of the door on the southern exterior and replacement with a window will not be detrimental to the historic aesthetic of the main dwelling, as it will not be visible from the street. Changes to the fascia would remove one of the few remaining historic details of the residence. Condition No. 6 is recommended requiring the west and east roofs to contain exposed rafter tails. Lastly, the addition of a gable to the portion of the main residence that juts out on the southern exterior would not be in keeping with the existing architecture of the main residence. It is also a feature that would not also not add aesthetic value as it would not be visible from the street. As such, Condition No. 7 is recommended requiring that no gable roof be added to the southern building exterior.



Accessory Dwelling Unit

The ADU exterior will match the main dwelling. However, the ADU differs from the main house in the shape of its vents and the shape of its roof. Staff recommends the inclusion of Condition No. 5 requiring that the roof vents be rectangular to match those found on the main house. The front facing gables are also inconsistent with the side facing gables of the main house, but such inconsistency will be disguised by the subordinate nature of the ADU, which will be located in the rear yard of the property and not be visible from the street. With the difference in roofs being hardly visible from the public right-of-way, staff recommends that the elevations of the ADU stay unchanged. Alternatively, the HPAC can add a condition requiring the roof shape of the ADU to match the hip roof of the main dwelling, in order to increase compatibility of roof shapes, as is recommended in the Historic Preservation Ordinance.

Windows

All windows will be replaced with windows of similar sizes to the original. Window styles for the western exterior of the main residence as shown in Exhibit “C” differ from the window

types for the original building (see Figure 2). It is recommended that Condition No. 8 be included requiring the proposed replacement windows on the western exterior of the main residence contain 12 grids similar to the original windows.

Landscaping

The site contains many mature trees onsite, with two in the center of the rear yard and more along the southern property boundary (see Figure 3). It is unclear if the two trees in the center of the rear yard will be removed for the construction of the ADU. Given the four trees are so far removed from the public right-of-way and thus contribute little to the aesthetic appeal of the historic neighborhood, the applicant will not be required to maintain the existing trees onsite, but additional landscaping and irrigation will be required to be included with the Building Permit submittal. This shall be included as Condition of Approval No. 3.



Right-of-Way Improvements

Adjustments to City sidewalk and driveway adjacent to the project site are specified in Exhibit “A”. Existing sidewalks along Church Street contain 5 ft. concrete path with a decorative grid pattern that is carried throughout the Church Street frontage (see Exhibit “E”). Staff recommends that the HPAC include Condition No. 4 requiring the applicant to continue the grid pattern on the sidewalk if adjustments to the driveway are required by City Engineering staff. Staff also recommends requiring any unpaved right-of-way areas along Church Street to be landscaped. This is included within Condition of Approval No. 3.

FINDINGS AND CONDITIONS

For HPAC Item No. 2023-16 staff recommends that the Committee approve the proposal, subject to the findings and conditions listed below:

Findings

1. That the project site is within the Historic District and is not listed on the Local Register of Historic Structures.
2. That the proposed alterations to the main house and design of the accessory dwelling unit as conditioned are consistent with residential use of the property, the surrounding area, and the Historic District.
3. That the proposed alterations to the main house and design of the accessory dwelling unit as conditioned are consistent with the Historic Preservation Ordinance and Historic Preservation Element.
4. That the proposed alterations to the main house and design of the accessory dwelling unit as conditioned will not be injurious to the character of the Historic District.

Conditions

1. That the site be developed consistent with the site plan in Exhibit “A”, floor plan in Exhibit “B”, and elevations in Exhibits “C”.

2. That the site and building elevations be developed consistent with the operational statement in Exhibit “D”.
3. Landscaping and irrigation plans shall be included with the Building Permit submittal. Additional landscaping shall be placed in any unpaved right-of-way areas located along Church Street.
4. That if repair and replacement of the existing sidewalk along Church Street is done, the grid pattern as shown in Exhibit “E” shall be replicated.
5. That the roof vents for the Accessory Dwelling Unit shall be rectangular to match those found on the main dwelling unit.
6. That the west and east roofs of the main dwelling contain exposed rafter tails.
7. That no gable roof shall be added to the portion of the southern building exterior that juts out from the main dwelling.
8. That the proposed replacement windows on the western exterior of the main dwelling contain 12 grids similar to the original windows of the structure.
9. That the project undergoes the appropriate City permitting process for exterior alterations and fencing on the project site.
10. That any other exterior alterations to the site shall be brought before this Committee for review and approval prior to the issuance of any Building Permits and/or their installation or construction.
11. That all other City codes, ordinances, standards, and regulations shall be met.
12. That the approval from the Historic Preservation Advisory Committee shall lapse and shall become void twelve months after the date on which it became effective, unless the conditions of the approval allowed a shorter or greater time limit, or unless prior to the expiration of twelve months a building permit is issued by the city and construction is commenced and diligently pursued toward completion on the site that was the subject of the approval.

ATTACHMENTS

- Exhibit “A” – Site Plan
- Exhibit “B” – Floor Plan
- Exhibit “C” – Building Elevations
- Exhibit “D” – Operational Statement
- Exhibit “E” – Existing Sidewalk
- Exhibit “F” – Existing Building Elevations
- Aerial Map
- Historic District and Local Register Map

APPEAL INFORMATION

According to the City of Visalia Zoning Ordinance Section 17.56.060, an appeal to the City Council may be submitted within ten days following the date of a decision by the Historic Preservation Advisory Committee (HPAC). An appeal shall be in writing and shall be filed with the City Clerk at 220 N. Santa Fe Street. The appeal shall specify errors or abuses of discretion by the HPAC, or decisions not supported by the evidence in the record. The appeal form can be found on the city’s website www.visalia.city or from the City Clerk.

SITE NOTES :

EXHIBIT "A"

ORGANICS AND FILLS THAT MAY BE LEFT NECESSARY WITH 90% COMPACTION.

2. SURFACE WATER SHALL BE DRAINED AWAY FROM THE BUILDING AT A 5% SLOPE FOR AT LEAST THE FIRST 10' FEET FROM THE BUILDING CONCRETE PAD OR EXTERIOR FOUNDATION FOOTING WITH A MIN. FALL OF 6". CRC R401.3, CALGREEN 4.106.3
3. IMPERVIOUS SURFACES WITHIN 10' OF THE BUILDING FOUNDATION SHALL SLOPE A MINIMUM OF 2% AWAY FROM THE BUILDING.
4. LOT SHALL BE DRAINED FROM REAR TO FRONT W/ A MINIMUM OF 1% AND TO AN APPROVED DRAINAGE SYSTEM . INSTALLATION OF OBSTRUCTIONS, I.E., BLOCK FENCES, WOOD FENCES, ROCKS, LANDSCAPING, MOUNDS, ETC., CAN NOT BLOCK FLOW .
5. DRIVEWAYS TO RESIDENTIAL GARAGES SHALL HAVE A MAXIMUM SLOPE OF TWELVE PERCENT (12%) FOR A MINIMUM DISTANCE OF TWENTY FEET (20') FROM THE GARAGE. NO PORTION OF THE DRIVEWAY SHALL EXCEED A GRADE OF EIGHTEEN PERCENT (18%).
6. NO ON-SITE WATER RETENTION OR DRAINAGE INTO ADJACENT PROPERTIES / DRAIN TO THE STREET OR DESIGNED BASING.
7. ANY VERTICAL CUT AND FILL DIFFERENTIAL IN EXCESS OF 12" BETWEEN ADJACENT PROPERTIES BY AN APPROVED RETAINING WALL. WOOD RETAINING WALLS SHALL NOT BE USED TO RETAIN MORE THAN 24" OF SOIL. RETAINING WALLS THAT ARE 2 FEET IN HEIGHT MEASURED FROM THE BOTTOM OF THE FOOTINGS, POSTS, KEYS OR STRUCTURE TO THE TOP OF THE WALL AND THAT RETAINS 12 INCHES OR MORE OF SOIL, REQUIRES PERMITS AND INSPECTIONS. SUBMIT ENGINEERED DESIGN.
8. REPAIR ALL DAMAGED AND/OR OFF GRADE CONCRETE STREET IMPROVEMENTS AS DETERMINED BY THE CONSTRUCTION MANAGEMENT ENGINEER PRIOR TO OCCUPANCY.
9. TWO WORKING DAYS BEFORE COMMENCING EXCAVATION OPERATIONS WITHIN THE STREET RIGHT-OF-WAY AND/OR UTILITY EASEMENTS. ALL EXISTING UNDERGROUND FACILITIES SHALL HAVE BEEN LOCATED BY UNDERGROUND SERVICES ALERT (USA). CALL 1-800-624-2444.
10. ANY SURVEY MONUMENTS WITHIN THE AREA OF CONSTRUCTION SHALL BE PRESERVED OR RESET BY A PERSON LICENSED TO PRACTICE LAND SURVEYING IN THE STATE OF CALIFORNIA.
11. MAXIMUM SLOPES OF ADJOINING GUTTERS, ROAD SURFACE IMMEDIATELY ADJACENT TO THE CURB RAMP, OR ACCESSIBLE ROUTE SHALL NOT EXCEED 1:20 (5%) WITHIN 48" OF THE BOTTOM OF THE CURB RAMP.

NOTES :

1. APPROVED PLANS AND RELATED DOCUMENTS MUST AVAILABLE AT THE JOB SITE DURING ANY INSPECTIONS.
2. TWO WORKING DAYS BEFORE COMMENCING EXCAVATION OPERATIONS WITHIN STREET RIGHT-OF-WAY AND/OR UTILITY EASEMENT ALL EXISTING UNDERGROUND FACILITIES SHALL HAVE BEEN LOCATED BY UNDERGROUND SERVICE ALERT (USA) CALL 1-800--642-2444.
3. REPAIR ALL DAMAGED AN/OR OFF-GRADE CONCRETE STREET IMPROVEMENTS AS DETERMINED BY THE CONSTRUCTION MANAGEMENT ENGINEER PRIOR TO OCCUPANCY - TWO WORKING DAYS BEFORE COMMENCING EXCAVATION OPERATIONS WITHIN STREET RIGHT-OF-WAY AND/OR UTILITY EASEMENT ALL EXISTING UNDERGROUND FACILITIES SHALL HAVE BEEN LOCATED BY UNDERGROUND SERVICE ALERT (USA) CALL 1-800-642-2444.
4. ANY SURVEY MONUMENTS WITHIN THE AREA OF CONSTRUCTION SHALL BE PRESERVED OR RESET BY A PERSON LICENSE TO PRACTICE LAND SURVEYING IN THE STATE OF CALIFORNIA.
5. CHANGES FROM THE APPROVED PLANS DURING THE COURSE OF CONSTRUCTION SHALL CAUSE CONSTRUCTION TO BE SUSPENDED UNTIL SUCH TIME AS THE PLANS CAN BE AMENDED BY THE DESIGNER AND SUBMITTED TO THE COUNTY FOR REVIEW AND APPROVAL.

SEPARATE SUBMITTALS :

ALL SEPARATE SUBMITTALS SHALL FIRST BE SUBMITTED TO THE REGISTERED DESIGN PROFESSIONALWHO SHALL REVIEW THEM AND FORWARD THEM TO THE BUILDING OFFICIAL WITH A NOTATION INDICATING THAT THE DEFERRED SUBMITTAL DOCUMENTS HAVE BEEN REVIEWED AND HAVE BEEN FOUND TO BE IN GENERAL CONFORMANCE WITH THE DESIGN OF THE BUILDING. THE DEFERRED SUBMITTAL ITEMS SHALL NOT BE INSTALLED UNTIL THE DEFERRED DOCUMENTS HAVE BEEN APPROVED BY THE BUILDING OFFICIAL. CBC 107.3.4.2 THE FOLLOWING ELEMENTS ARE TO BE CLASSIFIED AS DEFERRED:

1. FIRE SPRINKLER SYSTEM

GOVERNING CODES :

ALL WORK AND MATERIAL SHALL BE PERFORMED AND INSTALLED IN COMPLIANCE WITH THE FOLLOWING CODES AS ADOPTED AND AMENDED BY THE GOVERNING JURISDICTION. NOTHING IN THESE PLANS IS TO BE CONSTRUED TO PERMIT WORK NOT CONFORMING TO THESE CODES.

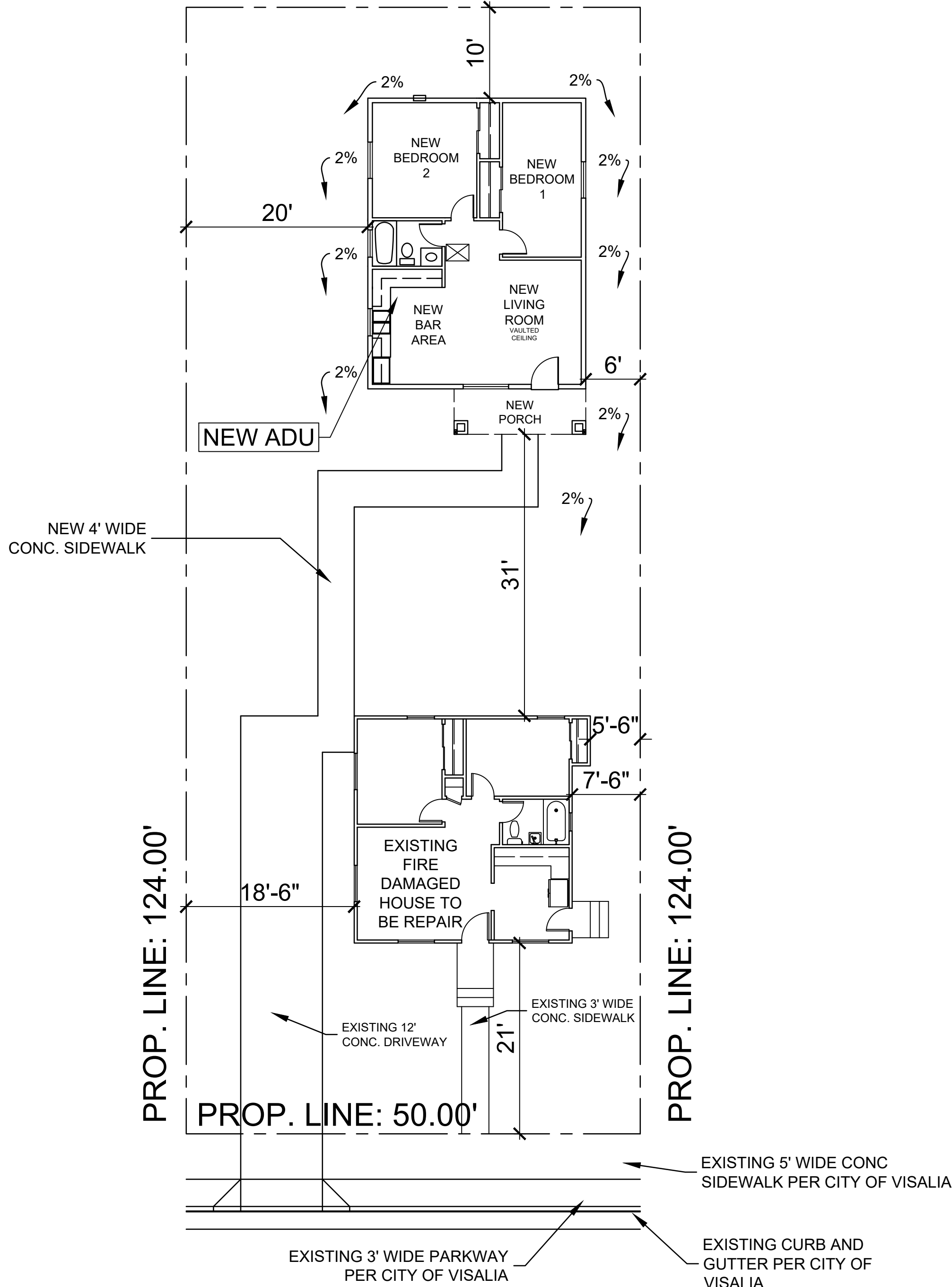
1. 2022 CALIFORNIA BUILDING CODE
2. 2022 CALIFORNIA RESIDENTIAL CODE
3. 2022 CALIFORNIA PLUMBING CODE
4. 2022 CALIFORNIA MECHANICAL CODE
5. 2022 CALIFORNIA ELECTRICAL CODE
6. 2022 CALIFORNIA ADMINISTRATIVE CODE
7. 2022 CALIFORNIA ENERGY CODE & TITLE 24 AND 25, CALIFORNIA CODE OF REGULATIONS
8. CALIFORNIA ENERGY EFFICIENCY STANDARDS (CEECE) 2022
9. SAFETY ORDERS OF THE STATE DIVISION OF INDUSTRIAL SAFETY
10. CITY OF VISALIA ORDINANCES
11. COUNTY OF TULARE ORDINANCES
12. APPLICABLE SEC. OF THE CA. ENERGY CONSERVATION STANDARDS
13. 2021 INTERNATIONAL BUILDING CODE

SEPARATE SUBMITTALS :

NAME OF FORM	STATE OF CALIFORNIA, 2016 RESIDENTIAL COMPLIANCE FORM
CF - 1R FORM :	RESIDENTIAL PERFORMANCE CERTIFICATE OF COMPLIANCE (PERFORMANCE COMPLIANCE METHOD) FOR NEWLY CONSTRUCTED BUILDINGS, ADDITIONS, AND ALTERATIONS
CF - 2R FORM :	RESIDENTIAL CERTIFICATE OF INSTALLATION TO BE PROVIDED AND FILED BY AN APPROVED HERS RATER.
CF - 3R FORM :	RESIDENTIAL CERTIFICATE OF VERIFICATION FOR EACH ITEM INSTALLED PER THE FILED TITLE 24 ENERGY DOCUMENTATION. THIS FORM IS TO BE PROVIDED AND FILED BY AN APPROVED HERS RATER.

EXISTING ALLEY

PROP. LINE: 50.00'



GENERAL NOTES :

1. GENERAL CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND SHALL NOTIFY THE OWNER AND THE DESIGNER OF ANY DISCREPANCIES PRIOR TO COMMENCING ANY WORK AND OR CONSTRUCTION. ALL BUILDING SUBCONTRACTORS SHALL PERFORM THERE APPROPRIATE WORK TO CODES AND, REGULATIONS AND INDUSTRY STANDARDS.
2. DO NOT SCALE DRAWINGS / ALL DIMENSIONS SHALL HAVE PRECEDENCE AT ALL TIMES.
3. JOB CARD REQUIRED TO BE AVAILABLE FOR SIGNATURE AT JOB SITE.
4. A CHEMICAL TOILET IS REQUIRED ON-SITE DURING CONSTRUCTION. CBC 3305.1
5. FINISH FLOOR ELEVATION IS TO BE 8" ABOVE THE CROWN OF THE STREET.
6. A CONSTRUCTION WASTE MANAGEMENT PLAN IS REQUIRED FOR THIS PROJECT. THE PLAN IS TO BE FINALIZED PRIOR TO OCCUPANCY.
7. PROVIDE CONSTRUCTION SITE ADDRESS : APPROVED NUMBERS OR ADDRESS SIGNS SHALL BE PROVIDED FOR ALL CONSTRUCTION SITES . THEY SHALL BE PAINTED ON THE FACE OF THE CURB ON THE FRONT SIDE OF THE LOT PRIOR TO THE FIRST INSPECTION . CURB NUMBERS SHALL BE MIN. OF 3" INCHES IN HEIGHT AND HAVE CONTRASTING OR REFLECTING BACKGROUND AND PERMANENTLY PAINTED ON THE CURB FACE . TEMPORARY STREET NAMES SHALL BE PAINTED ON THE CURBS OF ALL STREETS AND THE STREET INTERSECTIONS IN THE EVENT THAT NO CURB EXISTS. TEMPORARY CONSTRUCTION SITE ADDRESS SIGNS AND TEMPORARY STREET NAME SIGNS SHALL BE POSTED AT A HEIGHT OF BETWEEN 48" AND 72" . SUCH TEMPORARY SIGNS SHALL BE WEATHER RESISTANT ON APPROVED MATERIAL. ALL NUMBERS AND NAME SIGNS SHALL BE MAINTAINED TO THE SATISFACTION OF THE FIRE MARSHAL AND BUILDING OFFICIAL .
8. APPROVED ADDRESS NUMBERS SHALL COMPLY WITH THE ADDRESS STANDARD APPROVED BY THE FIRE MARSHAL AND THE BUILDING OFFICIAL . INSTALL STREET ADDRESS NUMERALS, AT LEAST 4 INCHES HIGH WITH MINIMUM 1/2 INCH STROKE, MOUNTED ON A CONTRASTING BACKGROUND COLOR CLEARLY VISIBLE FROM THE STREET AND IS REFLECTIVE . (VISIBLE TO TRAFFIC IN BOTH DIRECTIONS)
9. ADDRESS NUMBERS SHALL BE DISPLAYED ON A BUILDING OR LAND IN SUCH A MANNER AS TO BE VISIBLE FROM THE STREET OR ROAD ON WHICH THE BUILDING OR LAND FRONTS. WHERE THE BUILDING IS LOCATED MORE THAN 50 FEET FROM THE MAIN ROADWAY, THE NUMBER SHALL BE DISPLAYED AT THE ENTRANCE OF THE DRIVEWAY AND BE READABLE FROM BOTH DIRECTIONS. ADDRESSES MOUNTED TO BUILDINGS SHALL USE SAME SIZE CONFIGURATION. ALL NUMBERS OR SIGNS SHALL BE MAINTAINED IN A NEAT AND ORDERLY MANNER SO AS TO REMAIN READABLE.
10. CHANGES FROM THE APPROVED PLANS DURING THE COURSE OF CONSTRUCTION SHALL CAUSE CONSTRUCTION TO BE SUSPENDED UNTIL SUCH TIME AS THE PLANS CAN BE AMENDED BY THE DESIGNER AND SUBMITTED TO THE COUNTY FOR REVIEW AND APPROVAL. CRC R106.4. CHANGES FROM THE APPROVED PLANS DURING CONSTRUCTION OTHER THAN :

A. CABINET CHANGES WHEN NOT BEING SUPPORTED ENTIRELY BY THE ROOF STRUCTURE .
B. INTERIOR DOOR AND FIREPLACE RELOCATION SHOWN ON THE APPROVED PLAN .
C. A SINGLE NON BEARING WALL RELOCATION WHEN NOT CREATING AN ADDITIONAL ROOM .
D. INTERIOR NON STRUCTURAL WALL FINISHES; SHALL CAUSE PLAN APPROVAL AND CONSTRUCTION TO BE SUSPENDED , A NEW PLAN CHECK (FOR A NEW FLOOR PLAN SHOWING CHANGES) WILL BE SUBMITTED FOR REVIEW AND APPROVAL THROUGH THE NORMAL PLAN CHECK PROCESS .
9. ANY VERTICAL CUT OR FILL DIFFERENTIAL IN EXCESS OF 12" BETWEEN ADJACENT PROPERTIES SHALL BE SUPPORTED BY AN APPROVED RETAINING WALL . WOOD RETAINING WALLS SHALL NOT BE USED TO RETAIN MORE THAN 24" OF SOIL. THE GRADE DIFFERENTIAL BETWEEN ADJACENT PROPERTIES MAY BE RELIEVED BY A SLOPED NOT TO EXCEED TWO HORIZONTAL TO ONE VERTICAL ON THE LOW PROPERTY IF APPROVED BY THE OWNER OF SAID LOW PROPERTY IN A FORM OF A RECORDED EASEMENT OR COVENANT RUNNING WITH THE LAND AS APPROVED BY THE CITY ATTORNEY .
10. BUILDER SHALL PROVIDE THE ORIGINAL OCCUPANT WITH A LIST OF THE HEATING, COOLING, WATER HEATING, AND LIGHTING SYSTEMS AND CONSERVATION OF SOLAR DEVICES INSTALLED IN THE BUILDING AND INSTRUCTIONS ON HOW TO USE THEM EFFICIENTLY .
11. AFTER OCTOBER 1, 2010, ANY LOW RISE RESIDENTIAL HOMES REQUIRING HERS VERIFICATION WILL BE REQUIRED TO SUBMIT A REGISTERED CF-1R.
12. ALL NEW PIPING FOR WATER AND SEWER TO BE PVC SCH. 40 OR BETTER.
13. INSTALL NON-REMOVABLE BACKFLOW PREVENTION DEVICES ON ALL HOSE BIBBS.
14. THERE SHALL NOT BE ANY DEMOLITION TO EXISTING SHEAR WALLS, AND/OR STRUCTURAL FRAME, WITH OUT WRITTEN DIRECTION FROM ARCHITECT OR ENGINEER.

OWNER ADDRESS : LEGAL :

DANIEL GONZALEZ
398 S QUINCE AVE
EXETER CA 93221
(559)-393-9533

APN: 097-086-015

BUILDING DATA :

BUILDING USE :	SINGLE FAMILY
EXISTING RESIDENCE & ADDITION	
OCCUPANCY :	R-3/U
CONSTRUCTION TYPE :	V - B
ZONING / CLASSIFICATION :	R-1-B, RESIDENTIAL
OCCUPANT LOAD :	LESS THAN 10
NUMBER OF STORIES :	1
ALLOWABLE BLD'G HEIGHT :	35'-0"
EXISTING RESIDENCE :	611 SQ. FT.
NEW ADU:	768 SQ. FT.
NEW PORCH:	72 SQ. FT.
TOTAL AREA :	1,451 SQ. FT.

SHEET INDEX :

A-1	SITE PLAN
A-2	EXISTING FLOOR PLAN
A-3	FLOOR PLAN FIRE REPAIR
A-4	ELEVATIONS FIRE REPAIR
A-5	ROOF FRAMING PLAN FIRE REPAIR
A-6	ELECTRICAL PLAN FIRE REPAIR
A-67	MECHANICAL PLAN FIRE REPAIR
A-8	FIRE REPAIR TITLE 24
A-9	GREEN CODE
A-10	DETAILS

CODE & DESIGN LOADS :

CODE: ALL CONSTRUCTION SHALL CONFORM TO THE 2019 CBC, 2019 CRC, & THE 2018 IBC			
DESIGN LOADS:		SNOW DATA	
ROOF :	21.0 P.S.F. DEAD LOAD 16.0 P.S.F. LIVE LOAD	GROUND SNOW LOAD SNOW EXPOSURE FACTOR, C _e	0.0 PSF N/A
FLOOR :	12.0 P.S.F. DEAD LOAD 40.0 P.S.F. LIVE LOAD	THERMAL FACTOR, C _t SNOW LOAD IMPORTANCE FACTOR, I	N/A N/A
DECK :	12.0 P.S.F. DEAD LOAD 40.0 P.S.F. LIVE LOAD	SLIPPERY ROOF SNOW DENSITY, FLAT ROOF SNOW LOAD, P _f	N/A N/A
EXT. WALLS :	15.0 P.S.F. DEAD LOAD	WIND FORCES: ASCE 7-10 C.B.C. 1609.6	ALTERNATE ALL HEIGHTS METHOD
CONSTRUCTION TYPE: SIMPLE SEISMIC:		BASIC WIND = 110 M.P.H. STRENGTH 85 MPH AWS EXPOSURE = C	
SOIL SITE CLASS: D SEISMIC DESIGN CATEGORY: D OCCUPANCY - STANDARD CONFIGURATION - REGULAR DESIGN CATEGORY CONSIDERATION - FLEXIBLE DIAPHRAGM STRUCTURAL SYSTEM - BEARING WALL: SHEAR PANELS			

GONZALEZ GROUP DUPLEX

806 S CHURCH ST VISALIA CA

93277-2711

SITE PLAN

SCALE : 1"= 10'-0"

JESSE VARGAS

DATE : MARCH 18 2023

JOB: GONZALEZ GROUP DUPLEX

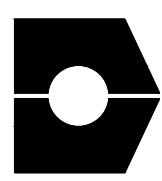
DRAWN BY : JESSE VARGAS

CONTENTS : SITE PLAN

PROJECT ID : ##-AAA-##

VARGAS DESIGN

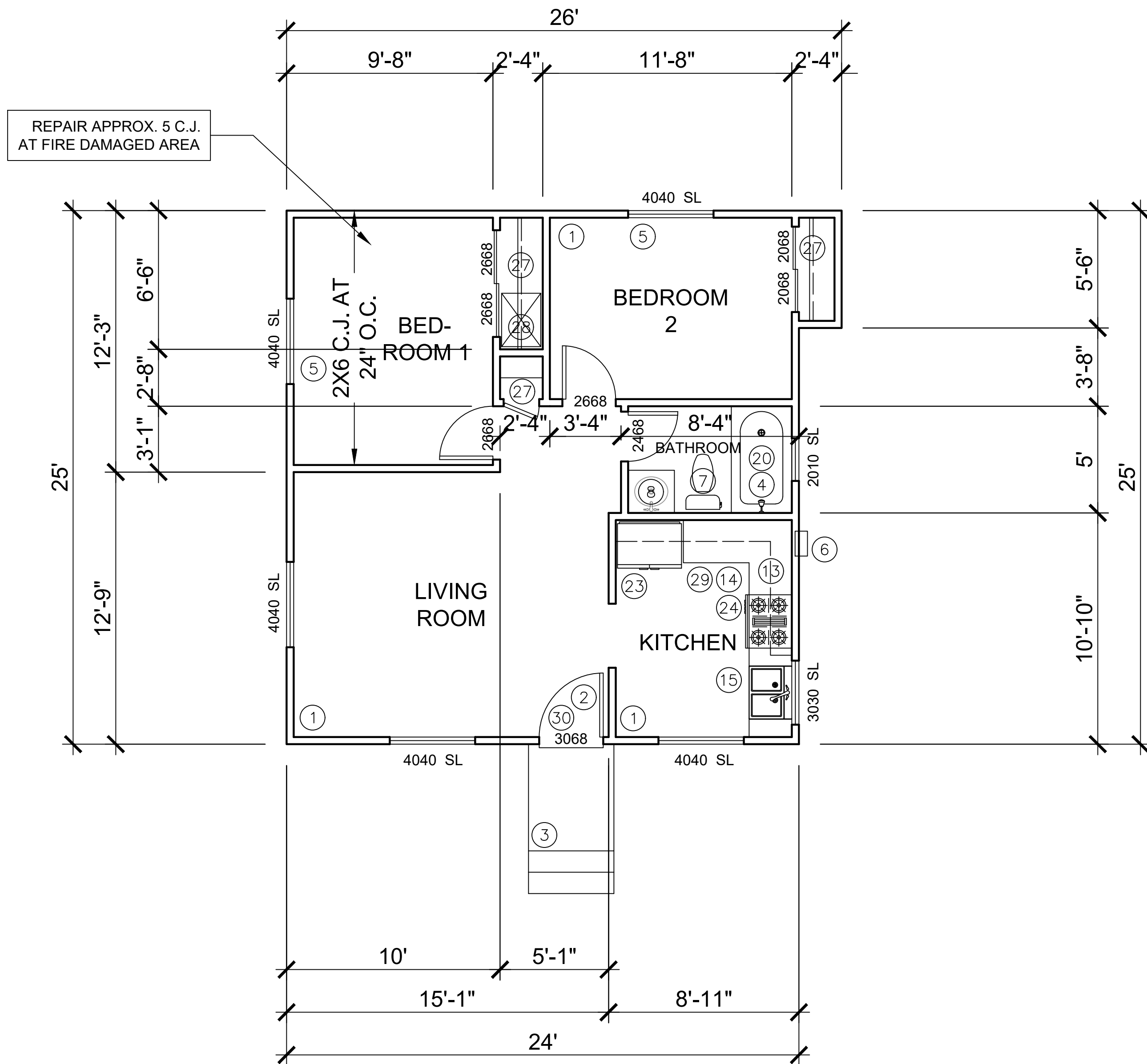
445 S. MAPLE DR. REEDLEY, CA. 93654 (559)-859-1931



SHEET NO.

1

EXHIBIT "B"
- MAIN
RESIDENCE



GENERAL NOTES :

- | | |
|--|--|
| 1. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS, AND CONDITIONS BEFORE STARTING ANY WORK. DO NOT SCALE FROM DRAWINGS, WRITTEN DIMENSIONS HAVE PRECEDENCE OVER ALL ELSE. ANY DISCREPANCIES SHALL BE REPORTED TO THE DESIGNER IMMEDIATELY PRIOR TO COMMENCING ANY WORK. | 6. ALL TUBS AND SHOWERS SHALL BE INSTALLED PRIOR TO COMPLETE FRAMING OF ALL BATHS. INSTALL BRASS FERRULE FITTING. |
| 2. DRAWING ORGANIZATION : THE ORGANIZATION OF THESE DRAWINGS IS NOT INTENDED TO CONTROL THE DIVISION OF WORK AMONG SUBCONTRACTORS. IT SHALL BE THE GENERAL CONTRACTOR'S RESPONSIBILITY TO DIVIDE THE WORK. | 7. SHOWER AND TUB ENCLOSURES SHALL CONFORM TO C.P.C. 412.7 AND SHALL HAVE A MINIMUM INTERIOR AREA OF 1024 SQUARE INCHES ABLE TO ENCOMPASS A 30" INCH DIAMETER CIRCLE. |
| 3. ROOMS W/ FIXED GLASS SHALL HAVE A MIN. OF 2 AIR CHANGES PER HOUR WITH 1/5 FROM OUTSIDE AIR. BATHROOMS AND LAUNDRY ROOMS SHALL HAVE A MIN. OF 5 AIR CHANGES PER HOUR. | 8. SHOWERS SHALL HAVE WATERPROOF FINISH AT WALLS UP TO AT LEAST "70" INCHES ABOVE THE SHOWER DRAIN. SHOWER CURTAINS OR SHOWER SAFETY GLAZING ENCLOSURES ARE REQUIRED. SHOWER DOORS MAY BE NOT LESS THAN 22" MINIMUM WIDTH. |
| 4. LATH AND PLASTER SHALL COMPLY WITH CRC 730.6. WALL AND CEILING FINISHES SHALL HAVE A SMOKE- DEVELOPED INDEX OF NOT GREATER THAN 450. WALL & CEILING FINISHES SHALL HAVE A FLAME SPREAD INDEX OF NOT GREATER THAN 200 & HAVE MINIMUM FLAME SPREAD RATING OF CLASS 3 PER CBC TABLE 803.5. & CRC 8302.9. | 9. SHOWER/TUB AND SHOWER VALVES TO BE POSI- TEMP PRESSURE BALANCING VALVES. |
| 5. CEMENT, FIBER-CEMENT OR GLASS MAT GYPSUM BACKERS IN COMPLIANCE WITH ASTM C 1178, C 1288 OR C 1325 AND INSTALLED IN ACCORDANCE WITH MANUFACTURER RECOMMENDATIONS SHALL BE USED AS A BASE FOR WALL TILE IN TUB AND SHOWER AREAS AND WALL AND CEILING PANELS IN SHOWER AREAS. WATER-RESISTANT GYPSUM BACKING BOARD SHALL BE USED AS A BASE FOR TILE IN WATER CLOSET COMPARTMENT WALLS WHEN INSTALLED IN ACCORDANCE WITH GA-216 OR ASTM C 840 AND MANUFACTURER RECOMMENDATIONS. REGULAR GYPSUM WALLBOARD IS PERMITTED UNDER TILE OR WALL PANELS IN OTHER WALL AND CEILING AREAS WHEN INSTALLED IN | 10. PROVIDE MANUFACTURER'S INSTALLATION INSTRUCTIONS FOR ALL CIRCULATING-TYPE TUBS ON THE JOB-SITE FOR INSPECTION PURPOSES. |
| | 11. ALL TUB AND SHOWER VALVES ARE TO BE SINGLE CONTROL PRESSURE BALANCING OR THERMOSTATIC ANTI-SCALD TYPE. |
| | 12. PROVIDE A NON-REMOVABLE TYPE BACK-FLOW PREVENTION DEVICE ON ALL HOSE BIBBS. |
| | 13. WATER HAMMER ARRESTORS SHALL BE INSTALLED AT THE FOLLOWING |

- QUICK-ACTING SHUT-OFF VALVES [CPC 609.10].
- A. AUTOMATIC WASHING MACHINE (HOT AND COLD WATER).
- B. ICEMAKER.
- C. DISHWASHER.
- AT THE TIME OF FILL, EACH FIXTURE SHALL HAVE A REMOVABLE TAG APPLIED STATING:
- "THIS NEW PLUMBING SYSTEM WAS FIRST FILLED AND FLUSHED ON _____ (DATE) BY _____ (NAME), THE STATE OF CALIFORNIA REQUIRES THAT THE SYSTEM BE FLUSHED AFTER STANDING AT LEAST ONE WEEK AFTER THE FILL DATE SPECIFIED ABOVE. IF THIS SYSTEM IS USED EARLIER THAN ONE WEEK AFTER THE FILL DATE, THE WATER MUST BE ALLOWED TO RUN FOR AT LEAST TWO MINUTES PRIOR TO USE FOR HUMAN CONSUMPTION. THIS TAG MAY NOT BE REMOVED PRIOR TO THE COMPLETION OF THE REQUIRED SECOND FLUSHING, EXCEPT BY THE BUILDING OWNER OR OCCUPANT."
- PIPING PASSING UNDER OR THROUGH WALLS SHALL BE PROTECTED FROM BREAKAGE. NO PLUMBING PIPING SHALL BE DIRECTLY EMBEDDED IN CONCRETE OR MASONRY VOIDS. ANY PIPING PASSING THROUGH CONCRETE FLOORS ON THE GROUND SHALL BE SEALED.
- COOK TOP CLEARANCES ARE REQUIRED TO BE 30" VERTICAL AND 6" HORIZONTAL FROM ALL COMBUSTIBLE MATERIALS AND SHALL BE INSTALLED PER THE MANUFACTURER. (CMC SECTION 916)
- FLEX-DUCT SHALL NOT BE PERMITTED FOR HOOD EXHAUST SYSTEMS .

19. ALL WINDOWS, DOORS AND SLID'G. GLASS DOORS SHALL BE DUAL-GLAZED PANE UNLESS NOTED OTHERWISE ON THESE PLANS.
20. TEMPERED GLASS IS REQUIRED IN DOOR PANELS, IN GLAZING THAT COMES WITHIN A 24" ARC OF A DOOR, WHEN BOTTOM EXPOSED EDGE IS WITHIN 60" OF A WALKING SURFACE, IN DOORS AND ENCLOSURES FOR BATHTUBS AND SHOWERS.
21. DRYER VENT SHALL NOT EXCEED A COMBINED VERTICAL AND HORIZONTAL LENGTH OF 14' FEET INCLUDING (2) TWO 90 DEGREE ELBOWS. SEE MECHANICAL PLAN FOR ADDITIONAL NOTES AND SPECIFICATIONS.
22. INSULATE ALL EXTERIOR WALLS WITH R-19 MIN. BATT INSULATION, AND CEILINGS WITH R-38 MIN. INSULATION, UNLESS NOTED OTHERWISE ON THESE PLANS AND DRAWINGS.
23. BLOWN INSULATION : BLOWN OR POUR TYPE INSULATION MATERIAL SHALL ONLY BE USED IN ATTIC SPACES WHERE SLOPE DOES NOT EXCEED 2.5 : 12 PITCH.
24. WHEN EAVE VENTS ARE INSTALLED BAFFLES SHALL BE IN PLACE AT THE TIME OF FRAMING INSPECTION.
25. AFTER THE INSTALLATION OF WALL, CEILING OR FLOOR INSULATION, THE INSTALLER SHALL POST IN A CONSPICUOUS LOCATION IN THE BUILDING, A CERTIFICATE SIGNED BY THE INSTALLER STATING THAT THE INSTALLATION WAS PERFORMED IN ACCORDANCE WITH THE TITLE 24 REQUIREMENTS.

26. ATTIC ACCESS : (SIZE NOTED ON DRAWINGS). THE ATTIC SHALL BE WEATHER-STRIPPED, AND INSULATION EQUIVALENT TO THAT OF THE CEILING SHALL BE INSTALLED ON THE PANEL IN THE ATTIC SIDE OF CEILING & GASKETED TO PREVENT AIR LEAKAGE.
27. PROVIDE FIRE-BLOCKING AT THE 10' FT. HEIGHT INTERVALS AND AT ALL OF THE FLOOR AND CLG. LEVELS.
28. FINGER JOINTED STUDS ARE NOT ALLOWED IN STRUCTURAL WALLS (BEARING OR SHEAR WALLS) WITHOUT ENGINEERING ANALYSIS OR ESR APPROVAL TO SUBSTANTIATE EQUIVALENCY.
29. MANUFACTURER'S CERTIFICATION OF GLU-LAM BEAMS MUST BE PROPERLY IDENTIFIED FOR THE LOCATION AND SPECIFIC JOB, AND BE PROVIDED BEFORE THE FRAMING INSPECTION.
30. PROVIDE R-12 OR GREATER TANK INSULATION WHERE ENERGY FACTOR IS LESS THAN 0.58. PIPE INSULATION TO BE R-12 OR GREATER AS REQUIRED BY SECTION 150 (j)(2)
31. FLASH AND COUNTER-FLASH AT ROOF TO VERTICAL WALL JUNCTION.
32. A VAPOR BARRIER IS REQUIRED PER THE TITLE 24 ENERGY ANALYSIS. SEE ROOF FRAMING PLAN FOR NOTES.
33. EGRESS DOOR TO BE NOT LESS THAN 78" FROM TOP OF THRESHOLD TO THE BOTTOM OF THE DOOR STOP.

NOTICE :

ALL UNAUTHORIZED COPIES OF ANY VARGAS
CONSTRUCTION PLANS OR DOCUMENTS ARE
VOID AND TO BE CONSIDERED INADEQUATE
FOR BUILDING USE.

ADDITIONAL NOTES :

THE ATTIC ACCESS DOOR SHALL HAVE PERMANENTLY ATTACHED INSULATION USING ADHESIVE OR MECHANICAL FASTENERS. THE ATTIC ACCESS SHALL BE GASKETED TO PREVENT AIR LEAKAGE. (CALIFORNIA ENERGY CODE 150.0)

ISOLATION VALVES AND HOSE BIBBS REQUIRED FOR
TANK-LESS WATER HEATER. (SECTION §110.3(C) 7)

- A. INSTANTANEOUS WATER HEATERS WITH AN INPUT RATING OF 6.8KBTU/HR. (2 KW) OR GREATER NEED AN ISOLATION VALVE ON COLD WATER SUPPLY AND HOT WATER LEAVING WATERHEATER.
- B. EACH VALVE NEEDS A HOSE BIBB OR OTHER FITTING ALLOWING FOR FLUSHING THE WATER HEATER WHEN THE VALVES ARE CLOSED.

GALVANIZED MALLEABLE IRON, GALVANIZED WROUGHT IRON, OR GALVANIZED STEEL ARE PROHIBITED MATERIALS FOR WATER SUPPLY AND BUILDING WATER PIPING BOTH UNDERGROUND AND IN BUILDINGS

ALL PLUMBING CONVEYING OR DISPENSING WATER FOR HUMAN CONSUMPTION SHALL COMPLY WITH AB 1953 FOR LEAD CONTENT.

COMBUSTION APPLIANCES SHALL BE PROPERLY VENTED AND AIR SYSTEMS SHALL BE DESIGNED TO PREVENT BACK DRAFTING.

AIR INLETS THAT ARE PART OF THE VENTILATION DESIGN SHALL BE LOCATED A MINIMUM OF 10 FEET FROM KNOWN SOURCES OF CONTAMINATION SUCH AS STACK, VENT, EXHAUST HOOD OR VEHICLE EXHAUST

KEY NOTES :

- (1) INSTALL 1/2" THK. TYPE "X" GYPSUM BOARD AT GARAGE WALLS AND CEILINGS INCLUDING ANY POSTS AND EXPOSED BEAMS .
- (2) INSTALL 1-3/4" THK. SOLID CORE WOOD DOOR WITH SELF CLOSER & SELF-LATCHING AND WEATHER-STRIPPING .
- (3) MAXIMUM ELEVATION CHANGE AT THRESHOLD TO BE 1-1/2" MAXIMUM .
- (4) BATHUB (60"x32") AND SHOWER WITH CERAMIC TILE ON (3) THREE WALLS UP TO 70" HIGH MINIMUM / PROVIDE BRASS FERRULE FITTING .
- (5) MAXIMUM WINDOW SILL HEIGHT NOT TO EXCEED 44" ABOVE FINISH FLOOR / EMERGENCY EGRESS
- (6) GAS FIRED TANKLESS WATER HEATER (RINNAI)
- (7) WATER CLOSET W/ MIN. 32 INCHES IN WIDTH & 24 INCHES CLEAR IN FRONT / 1.2 GALLON MAX. CAPACITY AND SHALL BE LOW-FLOW WATER TYPE .
- (8) LAVATORY OVER TILED COUNTER
- (9) CLOTHES WASHER SPACE & DRYER SPACE. DRYER VENT DUCT SHALL BE 6" DIAMETER (OR EQUAL CROSS SECTION) SMOOTH SHT. METAL EXTENDING TO EXTERIOR W/ BACK DRAFT DAMPER PER U.B.C. AND U.M.C.
- (10) LINE OF SOFFIT ABOVE OR CHANGE IN CEIL'G HEIGHT / SEE PLAN FOR HEIGHT.
- (11) TYPICAL ARCHED SOFFIT
- (12) PLASTIC LAMINATE COUNTER TOP AND SPLASH W/ CABINETS BELOW. / VERIFY DOOR DESIGN W/MANUF.
- (13) UPPER CABINET / WALL MOUNTED . / VERIFY DOOR DESIGN WITH MANUFACTURER
- (14) GRANITE COUNTER TOP AND SPLASH WITH CABINETS BELOW. / VERIFY DOOR DESIGN W/MANUF.
- (15) TWO COMPARTMENT KITCHEN SINK WITH DISPOSAL VERIFY WITH OWNER
- (16) BUILT-IN DISHWASHER / INSTALL AS PER MANUFACTURER'S RECOMMENDATIONS .
- (17) TILE COUNTER AND SPLASH WITH FULL MIRROR .
- (18) OVAL TUB (60"x42") SET ON RAISED CERAMIC TILE PLATFORM / PROVIDE BRASS FERRULE FITTING OR 12"x12" PANEL .
- (19) SHOWER WITH FULL HEIGHT CERAMIC TILE FINISH OVER WATER RESISTANT FIBER REINFORCED OR CEMENT. PROVIDE BRASS FERRULE FITTING OR 12"x12" PANEL . PROVIDE TEMP. GL. DOOR.
- (20) CURTAIN AND ROD AT TUB / SHOWER.
- (21) ZERO CLEARANCE FIREPLACE WITH TEMPERED GLASS DOORS / SEE FLOOR PLAN FOR MODEL
NO. AND I.C.B.O. REPORT NUMBER / INSTALL WITH THE MANUFACTURER'S MOST RECENT RECOMMENDATIONS.
- (22) 16" WIDE CERAMIC TILE HEARTH (12" HIGH) AT GAS FIREPLACE .
- (23) REFRIGERATOR SPACE / PROVIDE WATER FOR ICE MAKER (COORDINATE WITH PLUMBING)

4 BURNER GAS RANGE WITH 30" WIDE HOOD W/ TWO SPEED FAN AND LIGHT ABOVE . / PROVIDE 6" HORIZ. CLEARANCE FROM BURNERS AND 30" VERTICAL CLEARANCE TO COMBUSTIBLE MATERIAL. INSTALL PER MANUFACTURER'S SPECS.
- (24) BUILT-IN MICROWAVE SPACE . PROVIDE BREAD BOARD AT SEPARATION AND VERIFY DIMENSIONS AND INSTALLATION REQUIRE-MENTS WITH MANUFACTURER .
- (25) FIVE (5) 12" DEEP FIXED SHELVES .
- (26) ONE (1) ROD, ONE (1) SHEL IN CLOSET .
- (27) 22"x30" ATTIC OPENING W/ INSULATION AND GASKET
- (28) 16" WIDE X 42" HIGH RAISED COUNTER TOP
- (29)

SAFETY REQUIREMENTS :

- (30) PROVIDE A PEEP HOLE OR VISION PANEL AT DOOR
- PROVIDE A STEEL PLATE AT THE DEAD BOLT STRIKER, SOLID SHIM 6" ABOVE AND BELOW WITH 2- #8 x 2" LG. SCREWS .
- WINDOWS SHALL MEET THE MIN. STANDARDS AS ESTABLISHED BY THE U.B.C. STANDARDS .
- PROVIDE DEAD BOLTS AT ALL EXTERIOR DOORS .
- (31) OPTIONAL STONE VENEER . VERIFY W/ OWNER .
- (32) A/C UNIT LOCATION O/V CONC. PAD . VERIFY LOCATION W/ MECHANICAL CONTRACTOR

33 36" x 48" CONCRETE LANDING W/ 1/2" - 1-1/2" MAX. STEP DOWN AT ENTRY. NOT MORE THAN 7-3/4" BELOW THE TOP OF THE THRESHOLD PROVIDED THAT THE DOOR DOES NOT SWING OVER THE LANDING OR FLOOR.

34 FUR OUT WALL AS NEEDED SO THAT THE GYP. BOARD IS FLUSHED.

EXISTING RESIDENCE: 611 SQ. FT.

FLOOR PLAN

SCALE : $1/4" = 1'-0"$

JESSE VARGAS

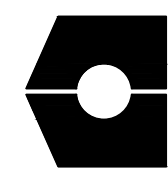
DATE: MARCH 18 2023

JOB: GONZALEZ GROUP DUPLEX

DRAWN BY :
JESSE VARGAS

CONTENTS: FLOOR PLAN

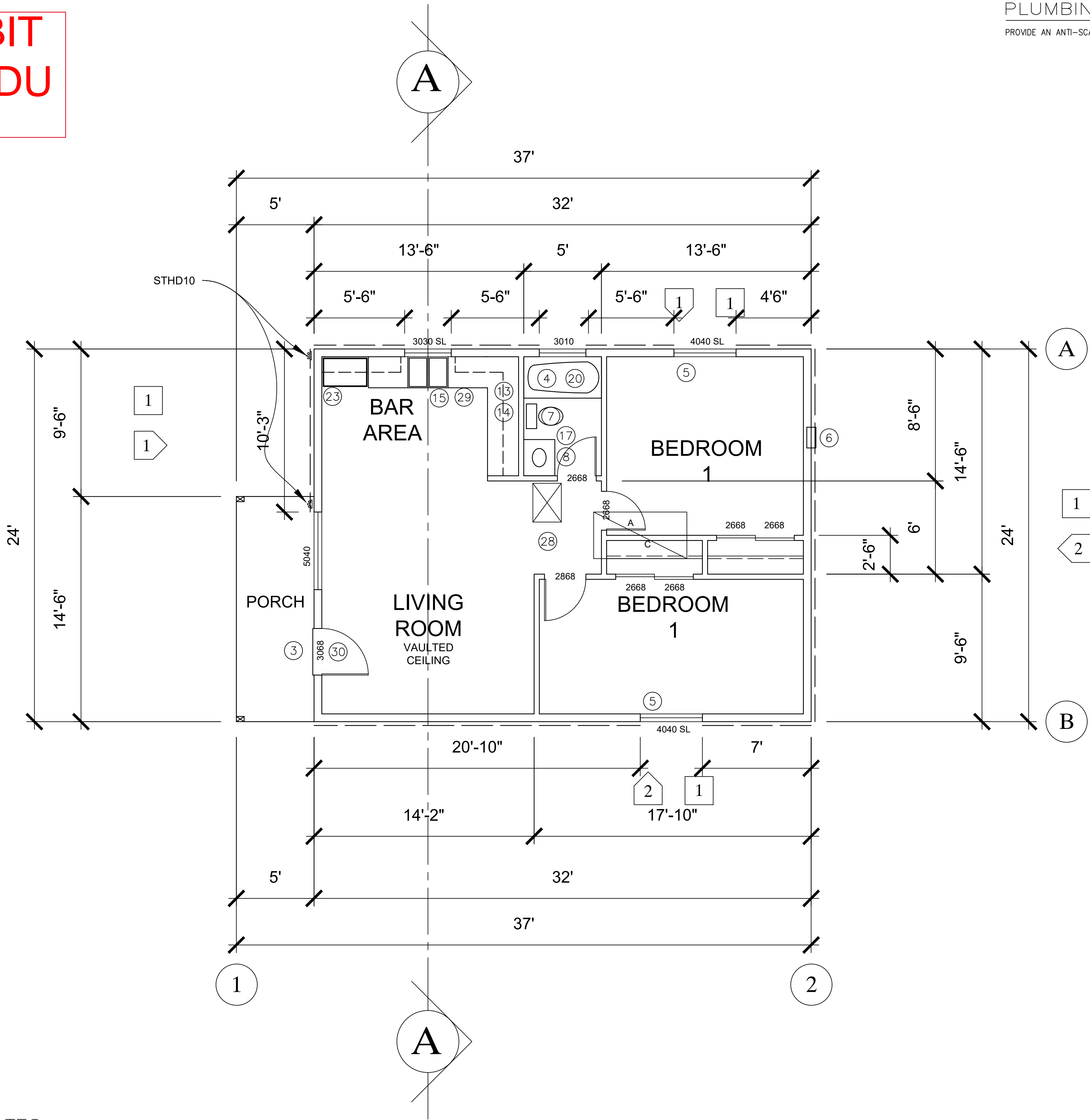
VARGAS DESIGN
4445 S. MAPLE DR. REEDLEY, CA 93654 (559)-859-1931



SHEET NO.

3

EXHIBIT
"B" - ADU



PLUMBING NOTES :

PROVIDE AN ANTI-SCALD VALVE AT THE TUB / SHOWER

SHEARWALL LEGEND :

TYPE	SHEATING	EDGE NAILING	FILED NAILING
1	3/8" APA STRUCTURAL PANEL 24/0 CDX OR OSB	8d AT 6" O.C.	8d AT 8" O.C.
2	7/8" STUCCO	16 GAGE X 7/8 STAPLES AT 6" O.C. AT STUDS, TOP AND SILL PLATE, BLKG	

NOTE:
ALL PANEL EDGES TO BE BLOCKED UNO
2. ALL NAILS TO BE COMMON NAILS
3. * PROVIDE 3x MEMBER OR dbi STUDS SPIKED WITH 16d AT 4" O.C. AT ABUTTING PANEL EDGES
4. ** PROVIDE 3xmini MEMBER AT ABUTTING PANEL EDGES

ADDITIONAL NOTES :

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B. EACH VALVE NEEDS A HOSE BIBB OR OTHER FITTING ALLOWING FOR FLUSHING THE WATER HEATER WHEN THE VALVES ARE CLOSED.
GALVANIZED MALLEABLE IRON, GALVANIZED WROUGHT IRON, OR GALVANIZED STEEL ARE PROHIBITED MATERIALS FOR WATER SUPPLY AND BUILDING WATER PIPING BOTH UNDERGROUND AND IN BUILDINGS
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- OR WALL PANELS IN OTHER WALL AND CEILING AREAS WHEN INSTALLED IN ACCORDANCE WITH GA-216 OR ASTM C 840. CRC R702.4.2.
- ALL TUBS AND SHOWERS SHALL BE INSTALLED PRIOR TO COMPLETE FRAMING OF ALL BATHS . INSTALL BRASS FERRULE FITTING .
- SHOWER AND TUB ENCLOSURES SHALL CONFORM TO C.P.C. 412.7 AND SHALL HAVE A MINIMUM INTERIOR AREA OF 1024 SQUARE INCHES ABLE TO ENCOMPASS A 30" INCH DIAMETER CIRCLE .
- SHOWERS SHALL HAVE WATERPROOF FINISH AT WALLS UP TO AT LEAST 70" INCHES ABOVE THE SHOWER DRAIN. SHOWER CURTAINS OR SHOWER SAFETY GLAZING ENCLOSURES ARE REQUIRED . SHOWER DOORS MAY BE NOT LESS THAN 22" MINIMUM WIDTH .
- SHOWER/TUB AND SHOWER VALVES TO BE POSI- TEMP PRESSURE BALANCING VALVES .
- PROVIDE MANUFACTURER'S INSTALLATION INSTRUCTIONS FOR ALL CIRCULATING-TYPE TUBS ON THE JOB-SITE FOR INSPECTION PURPOSES.
- ALL TUB AND SHOWER VALVES ARE TO BE SINGLE CONTROL PRESSURE BALANCING OR THERMOSTATIC ANTI-SCALD TYPE.
- PROVIDE A NON-REMOVEABLE TYPE BACKFLOW PREVENTION DEVICE ON ALL HOSE BIBBS .

- WATER HAMMER ARRESTORS SHALL BE INSTALLED AT THE FOLLOWING QUICK-ACTING SHUT-OFF VALVES [CPC 609.10]:
A. AUTOMATIC WASHING MACHINE (HOT AND COLD WATER).
B. ICEMAKER.
C. DISHWASHER.
- AT THE TIME OF FILL, EACH FIXTURE SHALL HAVE A REMOVABLE TAG APPLIED STATING:
"THIS NEW PLUMBING SYSTEM WAS FIRST FILLED AND FLUSHED ON (DATE) BY (NAME). THE STATE OF CALIFORNIA REQUIRES THAT THE SYSTEM BE FLUSHED AFTER STANDING AT LEAST ONE WEEK AFTER THE FILL DATE SPECIFIED ABOVE. IF THIS SYSTEM IS USED EARLIER THAN ONE WEEK AFTER THE FILL DATE, THE WATER MUST BE ALLOWED TO RUN FOR AT LEAST TWO MINUTES PRIOR TO USE FOR HUMAN CONSUMPTION. THIS TAG MAY NOT BE REMOVED PRIOR TO THE COMPLETION OF THE REQUIRED SECOND FLUSHING, EXCEPT BY THE BUILDING OWNER OR OCCUPANT."
- PIPING PASSING UNDER OR THROUGH WALLS SHALL BE PROTECTED FROM BREAKAGE. NO PLUMBING PIPING SHALL BE DIRECTLY EMBEDDED IN CONCRETE OR MASONRY. VOIDS AROUND PIPING PASSING THROUGH CONCRETE FLOORS ON THE GROUND SHALL BE SEALED.
- COOK TOP CLEARANCES ARE REQUIRED TO BE 30" VERTICAL AND 6" HORIZONTAL FROM ALL COMBUSTIBLE MATERIALS AND SHALL BE INSTALLED PER THE MANUFACTURER . CMC SECTION 916

- FLEX-DUCT SHALL NOT BE PERMITTED FOR HOOD EXHAUST SYSTEMS .
- ALL WINDOWS, DOORS AND SLD'G. GLASS DOORS SHALL BE DUAL-GLAZED PANE UNLESS NOTED OTHERWISE ON THESE PLANS .
- TEMPERED GLASS IS REQUIRED IN DOOR PANELS, IN GLAZING THAT COMES WITHIN A 24" ARC OF A DOOR, WHEN BOTTOM EXPOSED EDGE IS WITHIN 60" OF A WALKING SURFACE, IN DOORS AND ENCLOSURES FOR BATHTUBS AND SHOWERS.
- DRYER VENT SHALL NOT EXCEED A COMBINED VERTICAL AND HORIZONTAL LENGTH OF 14' FEET INCLUDING (2) TWO 90 DEGREE ELBOWS . SEE MECHANICAL PLAN FOR ADDITIONAL NOTES AND SPECIFICATIONS .
- INSULATE ALL EXTERIOR WALLS WITH R-19 MIN. BATT INSULATION . AND CEILINGS WITH R-38 MIN. INSULATION, UNLESS NOTED OTHERWISE ON THESE PLANS AND DRAWINGS .
- BLOWN INSULATION : BLOWN OR POUR TYPE INSULATION MATERIAL SHALL ONLY BE USED IN ATTIC SPACES WHERE SLOPE DOES NOT EXCEED 2.5 : 12 PITCH .
- WHEN EAVE VENTS ARE INSTALLED BAFFLES SHALL BE IN PLACE AT THE TIME OF FRAMING INSPECTION .
- AFTER THE INSTALLATION OF WALL, CEILING OR FLOOR INSULATION , THE INSTALLER SHALL POST IN A CONSPICUOUS LOCATION IN THE BUILDING, A CERTIFICATE SIGNED BY THE INSTALLER STATING THAT THE INSTALLATION WAS PERFORMED IN ACCORDANCE WITH THE TITLE 24 REQUIREMENTS.

- ATTIC ACCESS : (SIZE NOTED ON DRAWINGS). THE ATTIC SHALL BE WEATHERSTRIPPED, AND INSULATION EQUIVALENT TO THAT OF THE CEILING SHALL BE INSTALLED ON THE PANEL IN THE ATTIC SIDE OF CEILING & GASKETED TO PREVENT AIR LEAKAGE.
- PROVIDE FIRE-BLOCKING AT THE 10' FT. HEIGHT INTERVALS AND AT ALL OF THE FLOOR AND CLG. LEVELS.
- FINGER JOINTED STUDS ARE NOT ALLOWED IN STRUCTURAL WALLS (BEARING OR SHEAR WALLS) WITHOUT ENGINEERING ANALYSIS OR ESR APPROVAL TO SUBSTANTIATE EQUIVALENCY .
- MANUFACTURER'S CERTIFICATION OF GLU-LAM BEAMS MUST BE PROPERLY IDENTIFIED FOR THE LOCATION AND SPECIFIC JOB, AND BE PROVIDED BEFORE THE FRAMING INSPECTION .
- PROVIDE R-12 OR GREATER TANK INSULATION WHERE ENERGY FACTOR IS LESS THAN 0.58. PIPE INSULATION TO BE R-12 OR GREATER AS REQUIRED BY SECTION 150 (j) (2)
- FLASH AND COUNTERFLASH AT ROOF TO VERTICAL WALL JUNCTION.
- A VAPOR BARRIER IS REQUIRED PER THE TITLE 24 ENERGY ANALYSIS. SEE ROOF FRAMING PLAN FOR NOTES.
- EGRESS DOOR TO BE NOT LESS THAN 78" FROM TOP OF THRESHOLD TO THE BOTTOM OF THE DOOR STOP.

NEW ADDITION : 768 SQ. FT.

FLOOR PLAN

SCALE : 1/4"= 1'-0"

JESSE VARGAS

DATE : MARCH 18 2023

JOB : GONZALEZ GROUP DUPLEX

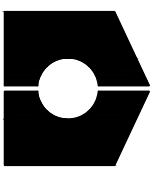
DRAWN BY : JESSE VARGAS

VARGAS DESIGN

REEDLEY, CA. 93654

445 S. MAPLE DR.

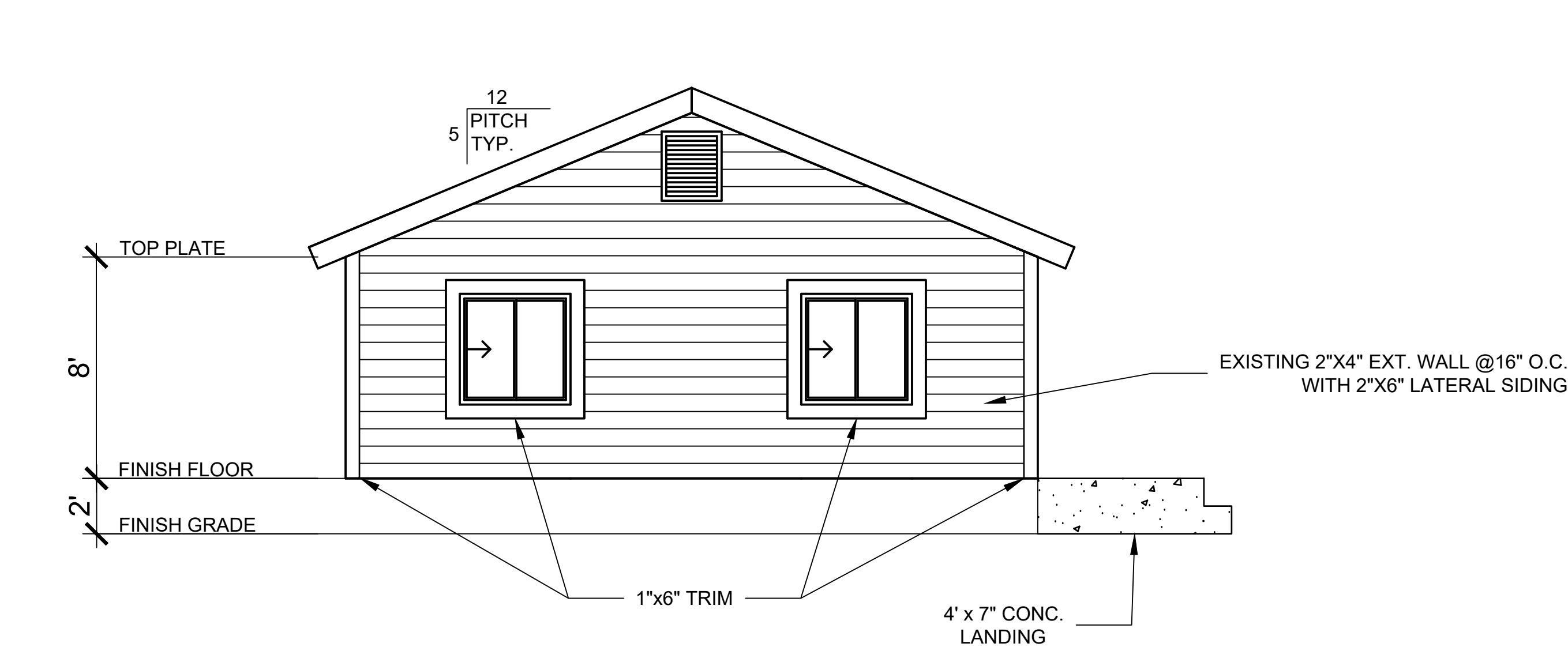
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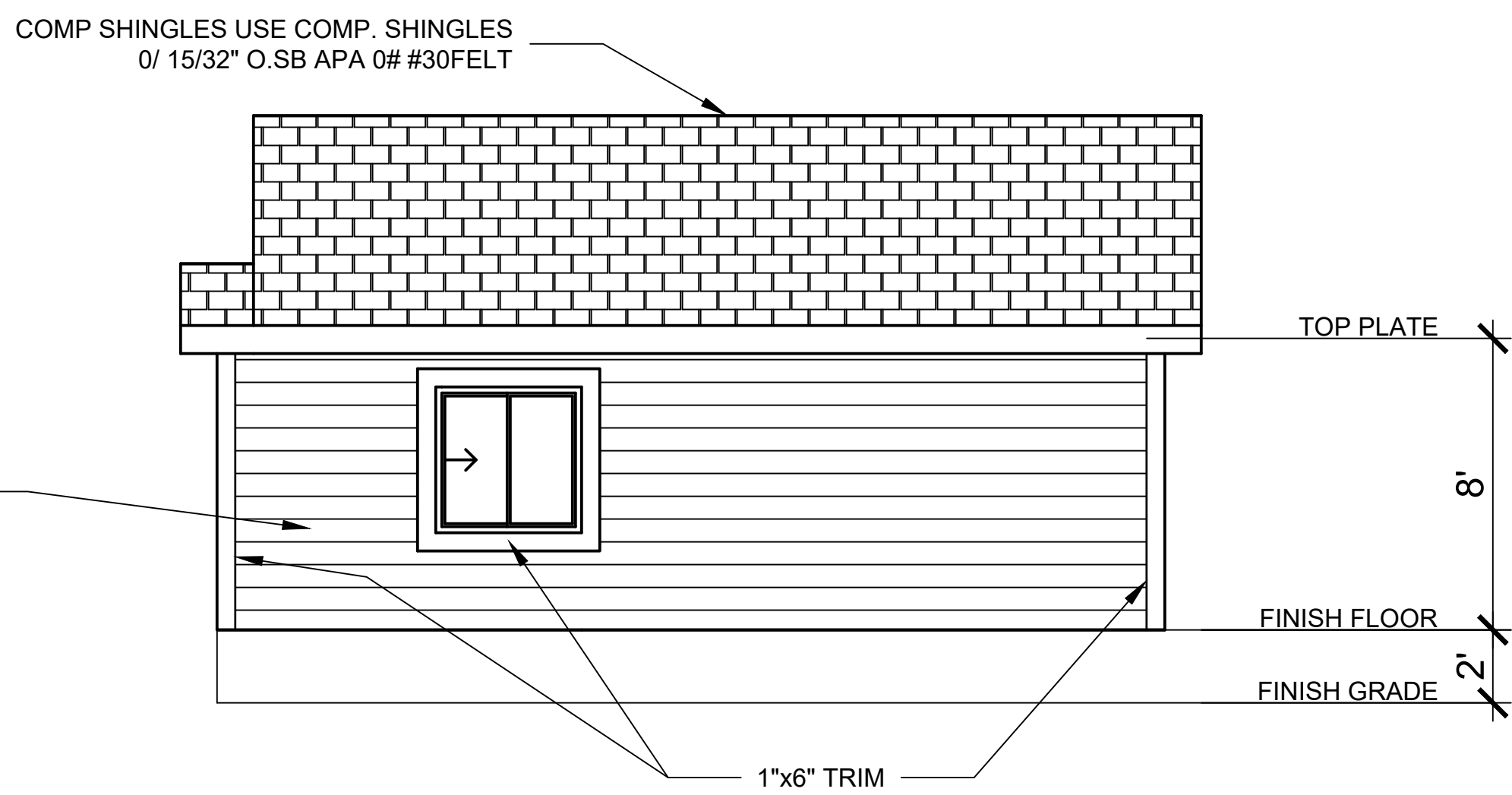
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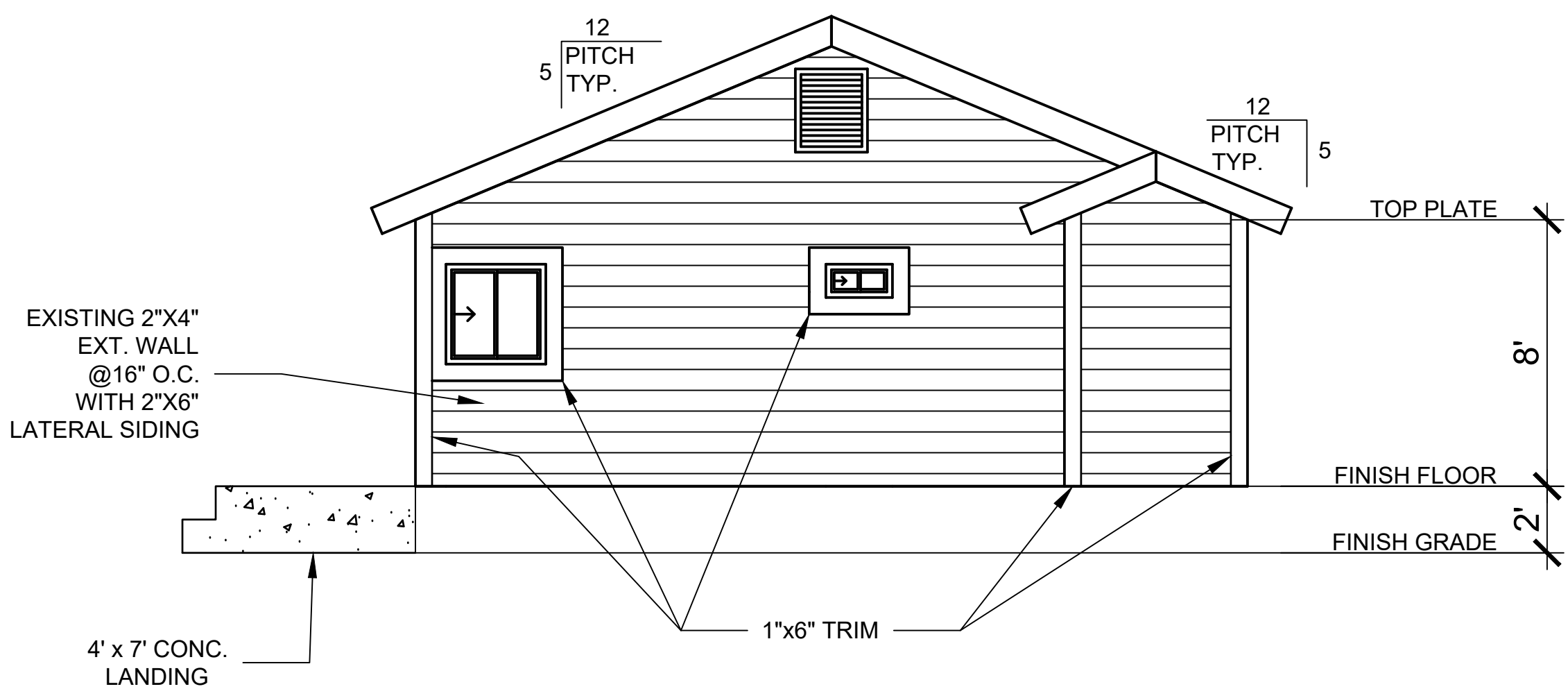
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- MAIN
RESIDENCE



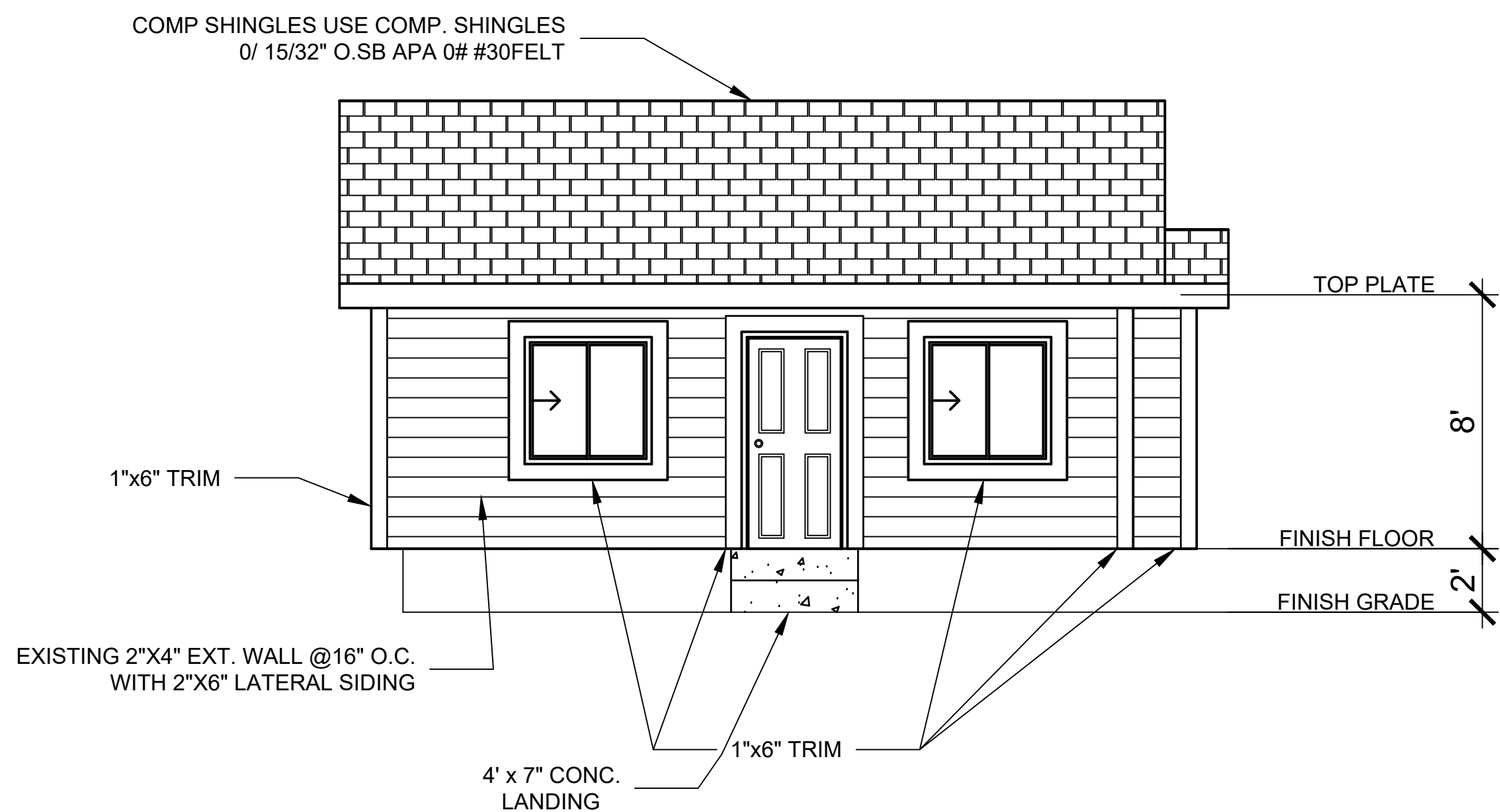
NORTH VIEW



EAST VIEW



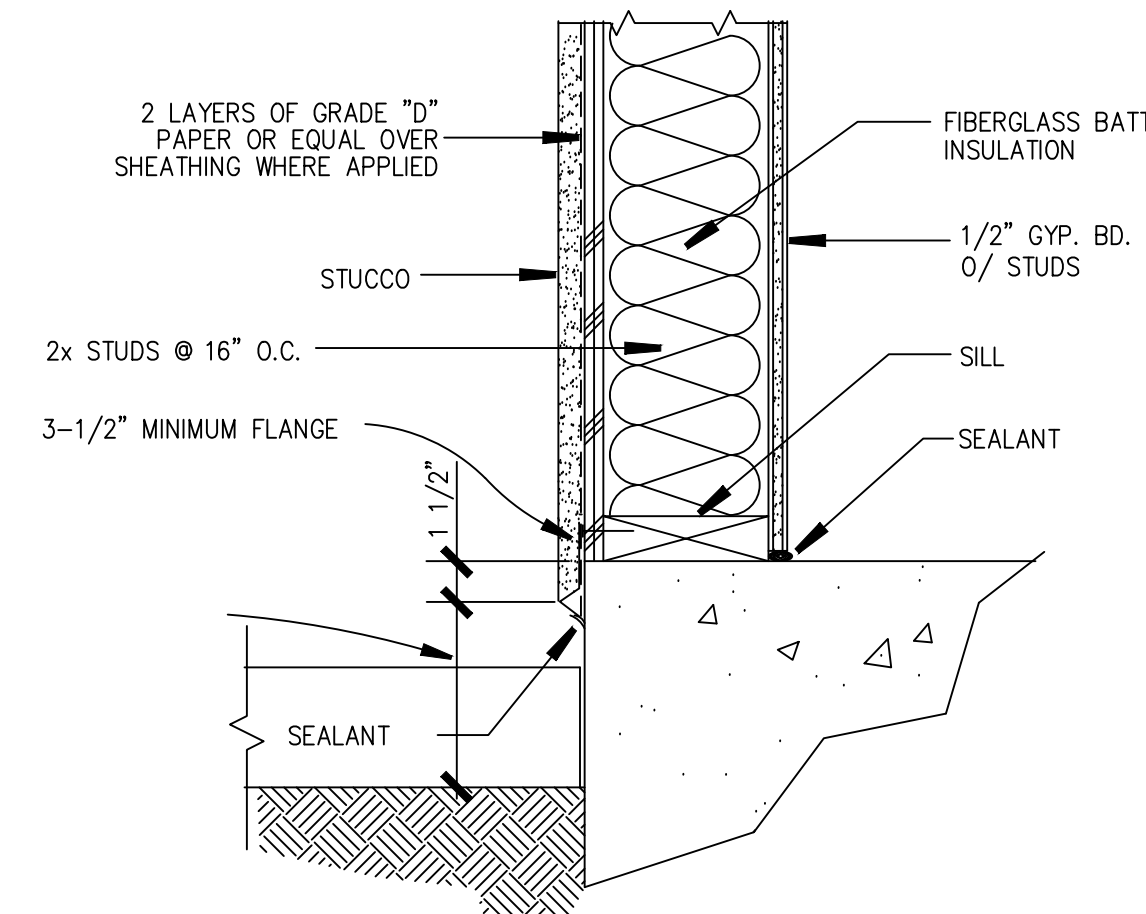
SOUTH VIEW



WEST VIEW

ELEVATION NOTES :

1. ROOF CONSTRUCTION ASSEMBLY : TILE ROOF OVER 1/2" O.SB APA 0# #30 FELT UNDER LAYMENT
2. INSULATION : PER TITLE-24 ENERGY DOCUMENTATION.
3. CEILING : 5/8" THK. GYPSUM BOARD AT 2x FRAMING MEMBERS AT 24" O.C. / 1/2" THK. GYPSUM BOARD AT 2x FRAMING MEMBERS AT 16" O.C.
4. FLOOR CONSTRUCTION ASSEMBLY : 3 1/2" THK. CONCRETE SLAB ON GRADE AS NOTED ON FOUNDATION PLAN OR : FRAME FLOOR CONSTRUCTION - 3/4" FLOOR SHEATHING OVER FLOOR JOISTS AS NOTED ON FLOOR FRAMING PLAN AND STRUCTURAL DRAWINGS. INSULATION : PER TITLE-24 ENERGY DOCUMENTATION.
5. LATH AND PLASTER SHALL COMPLY WITH SECTION 2507 OF THE CBC.
6. STUCCO : USE 7/8" THK. CEMENT PLASTER WITH 17 GA. LINE WIRE AND 15# FELT BACKING BUILDING PAPER / INSTALL GALVANIZED SHT. MTL. WEEP SCREED.
A. PROVIDE 2-LAYERS OF TYPE 'D' PAPER UNDERLAY- MENT WHERE LATH IS TO BE APPLIED OVER WOOD SHEATHING.
B. PROVIDE STUCCO OVER 3.4# SHT. MTL. RIB-LATH MESH AT ALL EAVES AND HORIZONTAL EXTERIOR SOFFITS .
7. THIN-SET MASONRY VENEER AS SPECIFIED BY BUILDER (CULTURED STONE OR EQUAL) OVER 1" EXTRUDED POLYSTYRENE SHEATHING OVER 2 LAYERS GRADE "D" KRAFT PAPER OVER WALL FRAMING AS NOTED ON STRUCTURAL DRAWINGS (MANUFACTURER'S INSTALLATION INSTRUCTIONS SUPERSEDE ABOVE) REPORT NO. NER-358.
8. BLOWN OR POURED TYPE INSULATION MATERIAL SHALL ONLY BE USED IN ATTIC SPACES WHERE THE SLOPE OF THE CEILING DOES NOT EXCEED MORE THAN .25 : 12 PROVIDE BATT INSULATION AT SLOPES .25 : 12 AND GREATER. ROOF COVERINGS MUST CONFORM TO THE STANDARDS OF THE 2019 CBC & 2019 CFC METHODS OF FLASHING AND COUNTER-FLASHING OF CHIMNEYS, PARAPETS AND ROOF TO WALL CONNECTIONS SHALL BE IN COMPLIANCE WITH CBC 1503 ALL WEEP SCREEDS SHALL BE INSTALLED A MIN OF 4" ABOVE THE EARTH AND TWO 2" INCHES ABOVE PAVED AREAS AND TO REQUIREMENTS . ATTIC VENTS PER LOCAL CODE : SEE ROOF ATTIC VENT CALCULATIONS FOR MINIMUM VENT AREA REQUIREMENTS. ALL EXTERIOR WINDOWS SHALL MEET THE REQUIREMENTS OF THE CRC R327.8.2.1 (20 MIN. FIRE RESISTANCE RATING)



WEEP SCREED DTL.

NOTE :

N.T.S.

THIS WEEP SCREED WILL BE A MINIMUM 0.019 INCH NO 26 GALVANIZED SHEET GAGE, CORROSION-RESISTANT WEEP SCREED (OR PLASTIC WEEP SCREED) WITH A VERTICAL FLANGE OF 3 1/2" MINIMUM AT TO BELOW THE FOUNDATION PLATE LINE ON EXTERIOR STUD WALLS TO ACCORDANCE TO ASTM C926. THE WEEP SCREED WILL BE NO LESS THAN 4 INCHES ABOVE THE EARTH OR 2 INCHES ABOVE PAVED AREAS AND WILL ALLOW TRAPPED WATER TO DRAIN TO THE BUILDING EXTERIOR. THE WEATHER RESISTANT BARRIER WILL LAP THE FLANGE. THE EXTERIOR LATH WILL COVER AND TERMINATE ON THE ATTACHMENT FLANGE.

BUILDING ELEVATIONS

SCALE : 1/4" = 1'-0"

CHRISTIAN VILLANUEVA

DATE : 07/10/2023

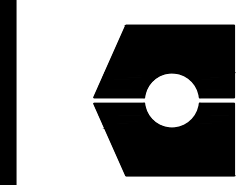
JOB: GONZALEZ GROUP DUPLEX

DRAWN BY : Christian Villanueva

PROJECT ID : ##-AAA-##

CONTENTS : ELEVATIONS

VARGAS DESIGN
445 S. MAPLE DR. REEDLEY, CA 93654 (559)-859-1931

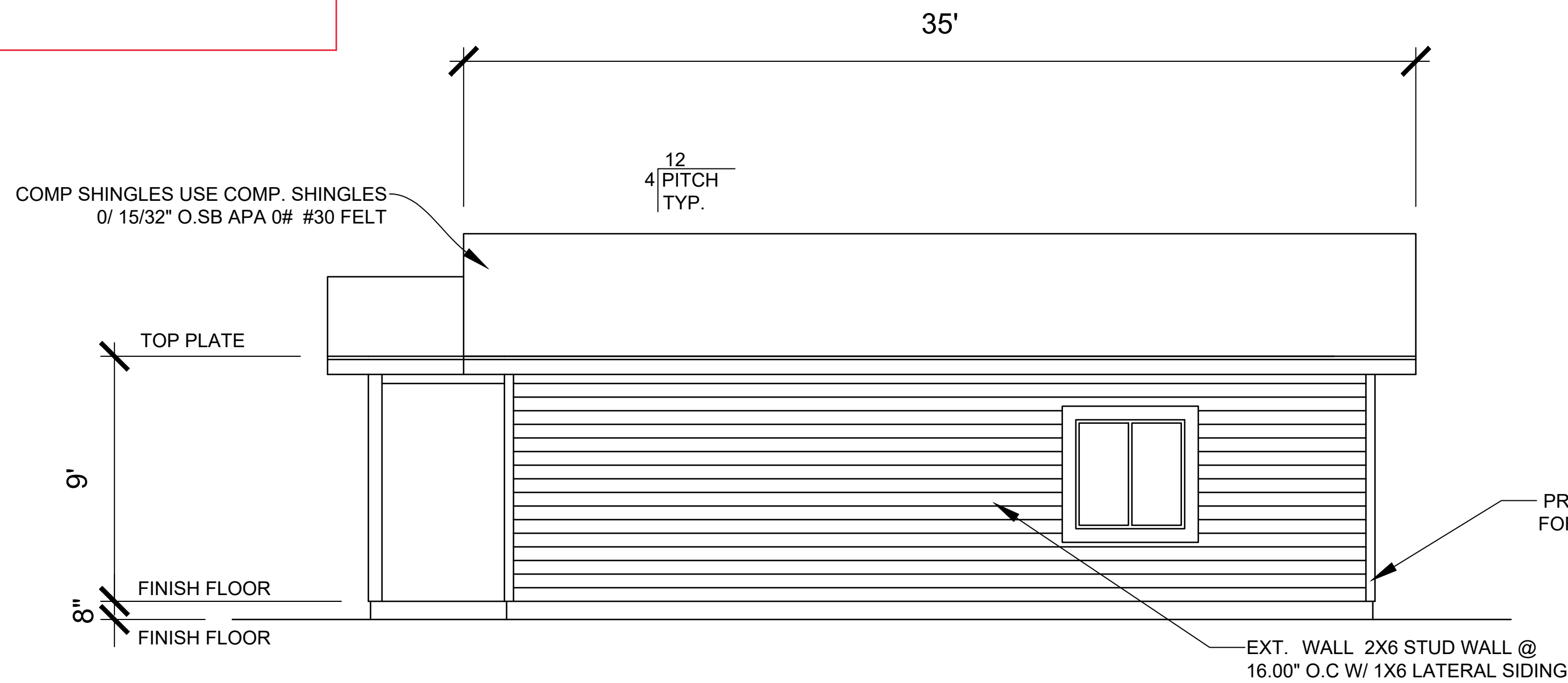


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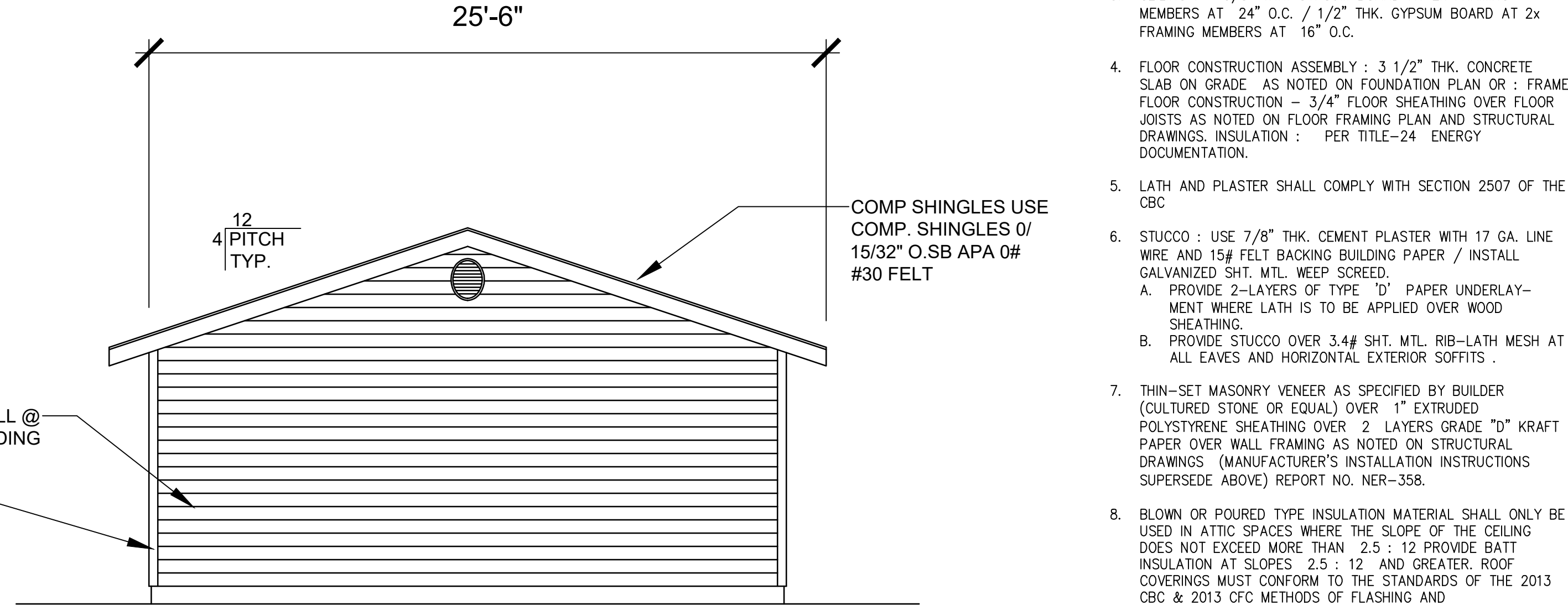
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ELEVATIONS

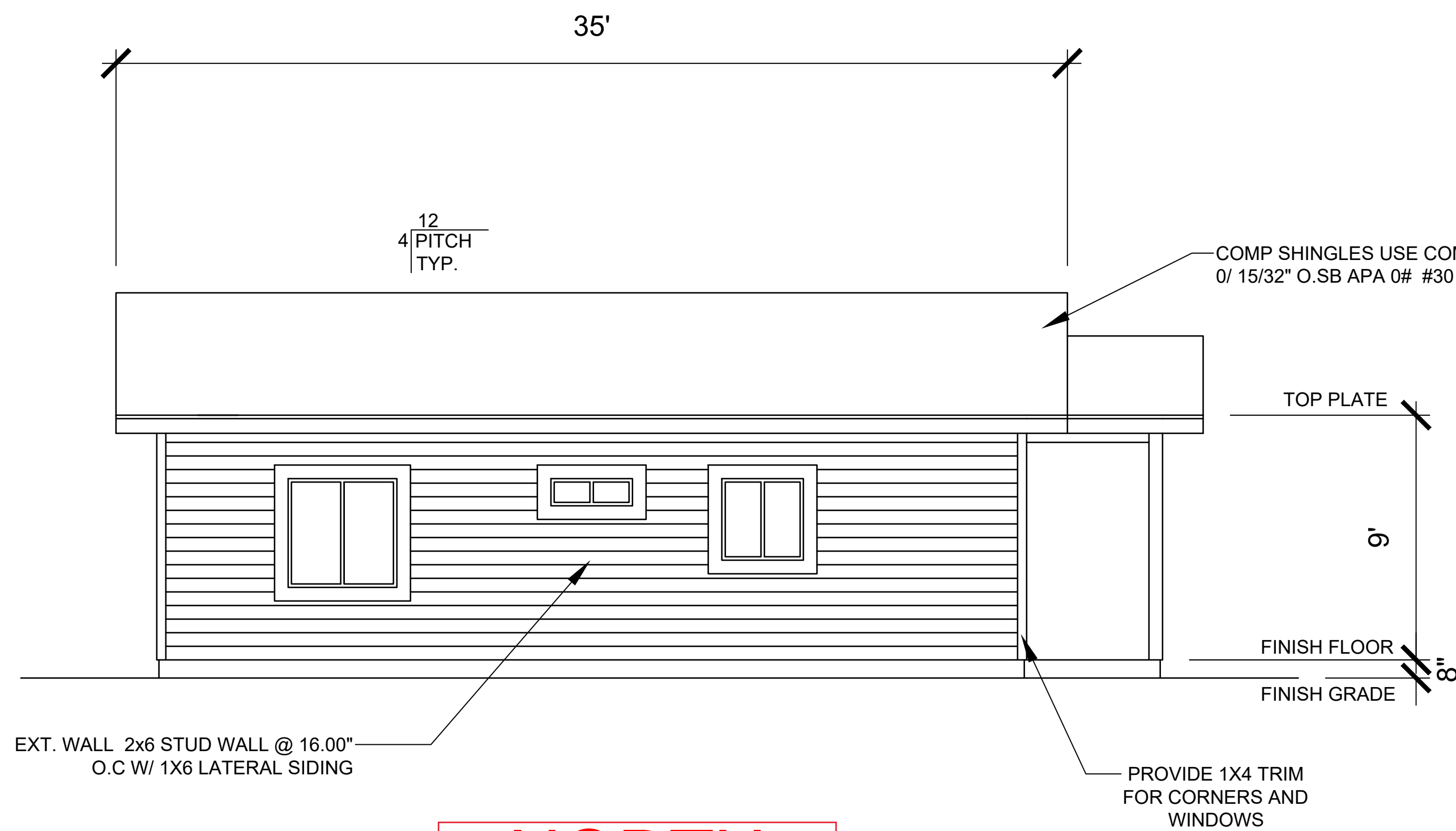
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"C" - ADU



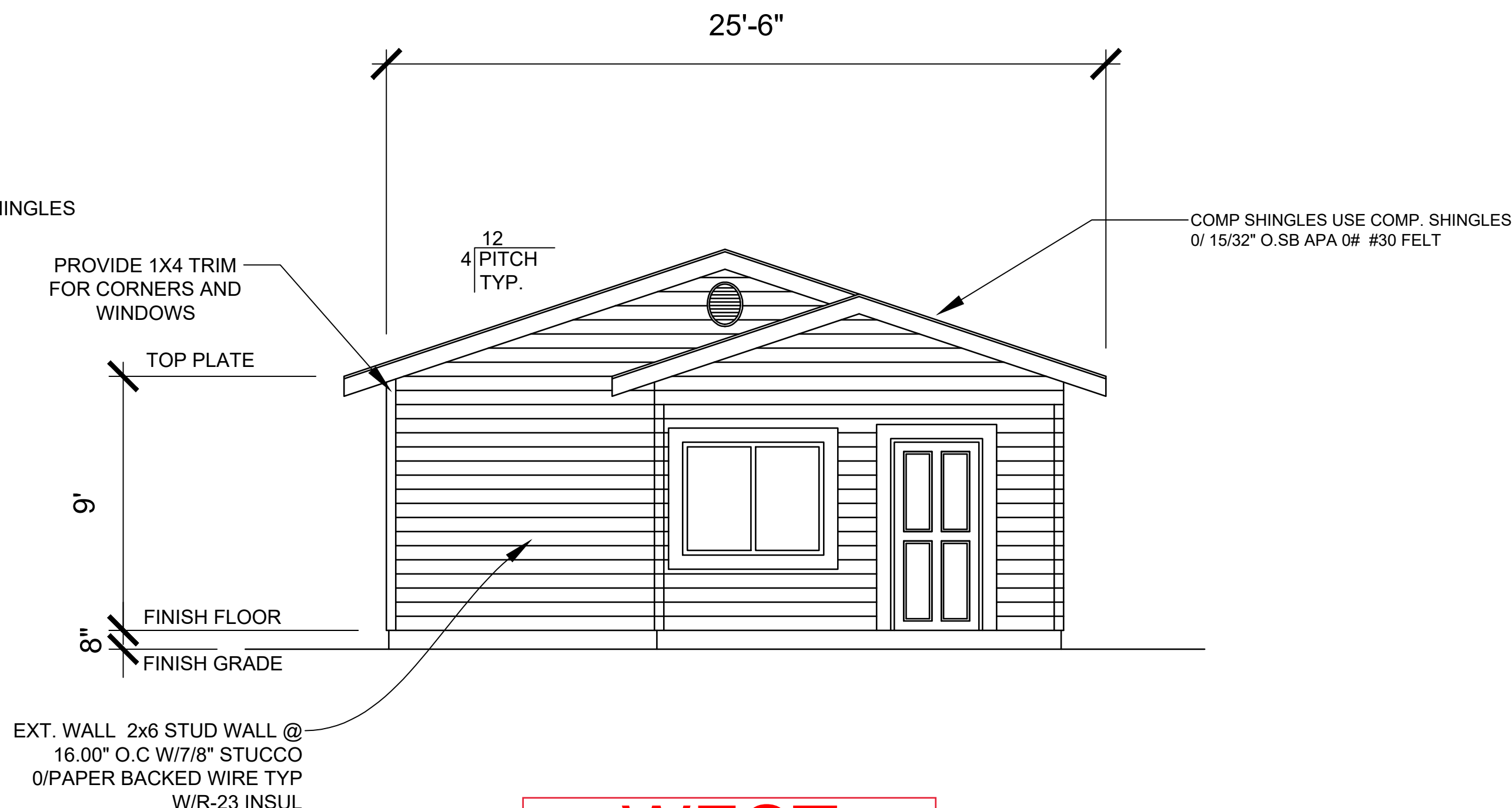
SOUTH



EAST



NORTH



WEST

- EXT. ELEV. NOTES :
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ELEVATION PLAN

SCALE : 1/4"= 1'-0"

JESSE VARGAS

DATE : MARCH 18 2023

JOB : GONZALEZ GROUP DUPLEX

DRAWN BY : JESSE VARGAS

CONTENTS : ELEVATION PLAN

VARGAS DESIGN
445 S. MAPLE DR. REEDLEY, CA. 93654 (559)-859-1931



SHEET NO.

3

EXHIBIT "D"

OPERATIONAL STATEMENT

806 South Church Street

- **Existing house to be rebuilt**
 - Install 1x6 lateral siding at damaged area to match, new windows at existing openings, new sheet rock, new wiring, new A/C, new comp shingles, paint.
 - 1 kitchen, two bedrooms

- **Build Accessory Dwelling Unit.**
 - 768 sq. ft. ADU
 - 72 sq. ft. porch
 - 1 "bar area" (presumed kitchen), 2 bedrooms

EXHIBIT "E"

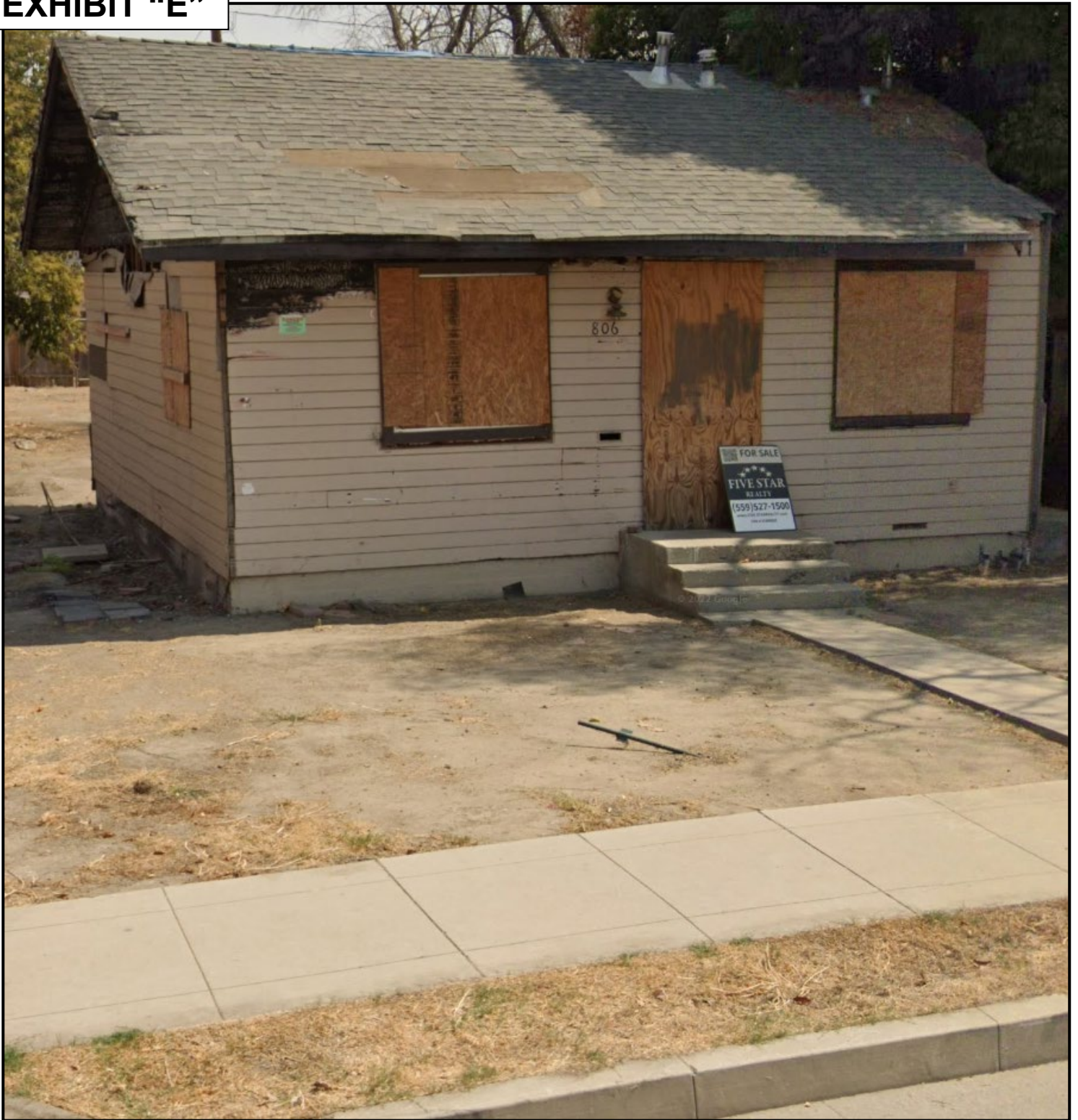


EXHIBIT "F"





EAST





SOUTH



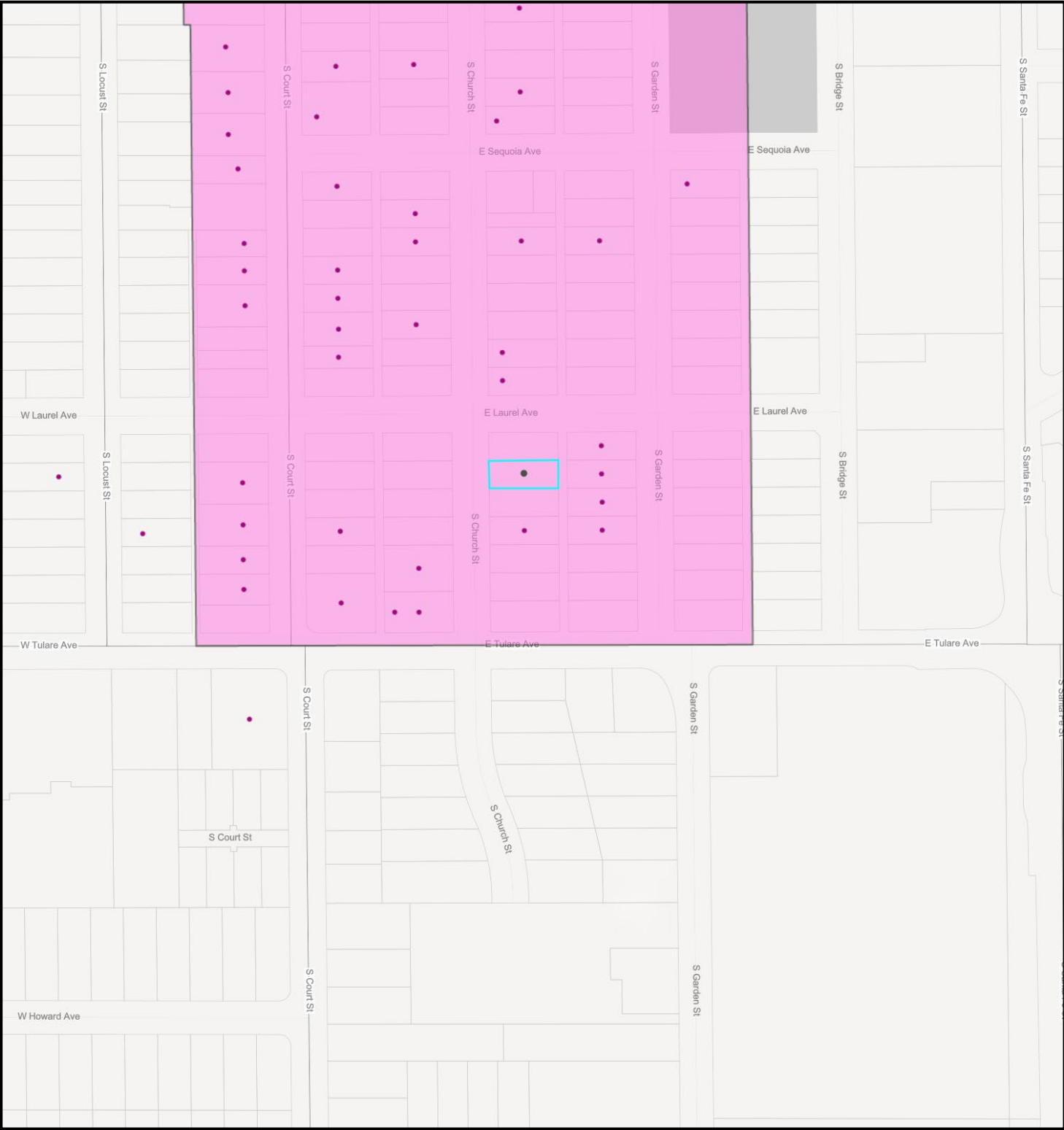


EAST (REAR YARD)





HPAC Item No. 2023-16 – Renovate Residence, Add ADU



City of Visalia

Historic Recognition Program

I. Summary of HRP

The Historic Recognition Program (HRP) allows interested building owners an opportunity to be considered for a plaque to identify the building and its local historical significance to the community.

II. Program background

Founded in 1852, Visalia is the oldest town in the Valley between Los Angeles almost to Stockton. Visalia sprang up out of the middle of an oak forest and the earliest settlers built a log fort for security. Soon they abandoned the fortification and began building a community.

As one of the earliest inland communities, Visalia played a vital role in the growth and development of the Southern San Joaquin Valley and as a result became an important town in California history. The town's historic buildings are a reminder of the rich history of the land, people and events. The plaque would identify these structures as a visible, important link to our past.

III. Purpose of HRP

The purpose of HRP is to draw attention to the historic character of Visalia by identifying historic structures with plaques. Benefits include:

- Development and enhancement of community pride and charm;
- Education of the community about Visalia history.

IV. Plaque process

- The HPAC Committee will review 'qualified' structures nominated by either the owner of the building or members of the community, with the written consent of the building owner.
- By majority vote, the committee will determine the recipient of the plaque.
- Factors to be considered for buildings receiving a plaque are as follows:
 - Age;
 - Style;
 - Site of significant historical events;
 - Condition – including appearance, additions and alterations to the home;
 - Proper documentation on building history;
 - Other relevant information.
- Members of the HPAC committee may choose one or more buildings at a time to receive plaques.

V. **Requirements for a structure to qualify for an interpretive marker are:**

- The building must be at least **75** years old.
- The building must be researched for its authenticity, and at a minimum, the date of construction must be reasonably determined.
- Research must be conducted by qualified historical research personnel approved by the City of Visalia Historic Preservation Advisory Committee (HPAC) and proper documentation must be provided to HPAC before a plaque can be placed on a building.
- The building's exterior must be restored or properly maintained in accordance with its historical style and character.
- In the event that a building has been moved from its original site, it must retain a sense of its historic architectural style and integrity.
- The owner of the building must authorize the placement of the plaque on the building and assumes ownership of the plaque.

VI. **Uniformity and standardization of markers**

- The plaques used in the HRP should be of the same size, design and material composition, unless an alternative is approved by the HPAC.
- Mounting on commercial buildings - The plaque should be mounted between 5 and 6 feet above the ground level surface, in a conspicuous place, and the location must be agreed to by building owner.
- Mounting on residential buildings – The plaque should be mounted in front of the residence, preferably not attached to the building. It should be located in an area readable from the sidewalk or other public right-of-way. Mounting should be done in accordance with approved method described by HPAC.

VII. **Responsibility for the HRP plaques**

- Once mounted, all plaques become the property of the building owner.

VIII. **Nomination of buildings for HRP**

- Individuals and/or organizations can nominate a building for the program, but only HPAC and the building owner can authorize a plaque for a building *through this program*.
- Prior to HPAC consideration of a nomination, an "Application and Property Owner Authorization" form is required.
- The signed agreement and confirmed site research meeting the intent of the requirements in Section V shall be considered a "qualified nomination."
- Qualified nominations continue to be valid unless there has been a change of ownership of the structure, *of if alterations to the building have occurred since the nomination was determined to be 'Qualified'.*

IX. **Application to participate in HRP**

- Requests for consideration must be accompanied by a “Historic Recognition Program - Application and Property Owner Authorization” form. Participation in HRP is voluntary, with the Historic Preservation Advisory Committee making the final determination for the awarding of plaques.

- X. These guidelines are subject to change by HPAC. There may be occasions which call for deviation from the guidelines, wherein HPAC will be the final determining body for consistency with the purpose and intent of the guidelines and requirements.
- XI. The HRP program guidelines and requirements are in no way intended to limit the ability of a property owner to independently mount a historical plaque or marker on their building.
- XII. This program is based upon independent funding through grants, donations or other means. The program may be suspended during times when adequate funding is not available.
- XIII. Participation in this program does not confer any special “historic” status to a property or building.

1. *What are the historic preservation awards?*

Each year, the City of Visalia Historic Preservation Advisory Committee honors individuals who have performed extraordinary construction or continued maintenance to historical properties and structures in the city. This year was the ninth annual awards presentation, and five property owners were honored.

2. *What determines if a building is historical?*

The rule of thumb used by the State of California is any structure which is at least 50 years old. Visalia also has a historical district, generally surrounding the downtown area, and a list of historical structures which are of special concern. There are about 350 officially recognized historical structures. In addition, there are many "historical buildings" which are not in the historical district and which are not on the list of historic structures which are, nevertheless, historical and have special value.

3. *How are buildings nominated?*

Any person can submit a nomination, in writing, to the Historical Preservation Advisory Committee. The Committee members also nominate buildings for consideration. To be considered, the building must be in the city limits, be historic, and cannot be a previous award winner. 57 buildings have received awards in the past nine years.

4. *How is judging conducted?*

Staff takes pictures of the nominated properties and the Committee reviews these pictures and also goes out to each of the sites to look at them closely. The Committee has regular public meetings, and at one or two of these meetings, takes time to discuss the nominations. The Committee likes to have a strong consensus before seriously considering awarding a property an award. The Committee considers many factors in their evaluation, such as:

- * Quality of maintenance and upkeep of the existing structure
- * Architectural consistency and compatibility of exterior modifications
 - fences
 - roof vents, antennae and chimneys
 - repair work
 - new windows
- * Quality of design and upkeep of landscaping
- * Quality of signage, if it is a commercial property
- * Architectural significance: does this building have a unique visual quality?

5. *Is it more expensive to remodel or improve a historic home?*

This depends on the age of the structure, materials used, and the extent of the remodel. Often, older buildings have additional structural improvements which need to be made during remodelling, due to factors such as termites, dry rot, and rust.

6. *What would be some of the issues someone would have to consider if they were going to improve a historical building?*

If it is in Visalia, call the city planning department to see if the Historic Preservation Committee needs to review the work first. If the improvements relate only to landscaping, interior work, painting, or reroofing with similar materials, the Committee does not review these types of jobs.

The work should be sensitive to the historical character of the home. For example, chrome porch pillars on a california bungalow house would be out of character of the historic structure. Work does not have to be extraordinary or expensive to make a historic property look impressive. Do little things like mow your lawn, keep the front painted, repair the roof when the shingles look worn, don't keep junk vehicles in the front driveway or on the front lawn.

7. *Who were the winners? Where are they located and why were they honored?*

Residential Awards

4
Address: 632 N. Encina
Owner: Dolly Maxwell
Date Built: 1936, by Clyde Switzer
Style: Vernacular
In District: Yes
On Register: No
Notes: Park-like setting, with antique lamp posts.
Originally built for an assessed value of \$5,200.

1
Address: 714 N. Highland
Owner: Jeanne Chandler
Date Built: 1913, by Howard Parish
Style: Bungalow
In District: Yes
On Register: Yes: Focus Structure
Notes: The 1 and 1/2 story house has an asymmetrical facade with a large gabled dormer to the side of the porch.
Park-like setting with outstanding heritage trees.

5
Address: 513 S. Garden
Owner: Debra Neeley
Date Built: 1906, by W.S. Campbell
Style: Colonial Revival
In District: Yes
On Register: Yes: Focus Structure
Notes: L-shaped front porch with paired columns. The house has a complex, flaired roof-line.

Commercial/Rehab Awards

2
Address: 1420 W. Center
Owner: Scott and Mitra Lyons
Date Built: 1928 by R.B. Abbot (for \$3,600)
Style: Bungalow
In District: No
On Register: No
Architect: Ray Schlick.
Contractor: Zotties Construction
Notes: The southwest corner of the building, and the bay windows along the east side of the house are new additions.

3
Address: 810 W. Acequia
Owner: Rick and Susan Mangini
Date Built: 1917 by W.G. Ferguson
Style: Originally one story bungalow.
In District: No
On Register: No
Architect: Mangini Associates.
Contractor: Robert Self.
Notes: Originally built as a one-story. In 1947, the attic was converted to living space. The gable over the porch and the bay window on the second story were additions done by the Manginis.

8. How were they honored?

The winners were invited to a City Council meeting on June 13th. The Historic Committee presented a bronze plaque and a certificate to each winner.

NOMINATING CRITERIA

1. General Maintenance

The routine upkeep of the structure should be in good to excellent maintenance. By routine upkeep, it is meant that the exterior paint is in good shape; that the lawn looks manicured, or is at least in some kind of healthy condition; that the building materials that were used are still in decent shape...etc. The overall appearance of the structure and its immediate surroundings should give you a nostalgic feeling.

2. Architectural Features

Architectural features such as balance, symmetry, formal composition, expressions of diverse functions (window openings, walls, entrys, roof configurations, eaves,) and the choice and finish of materials. These features, if they are authentic, can be a very close measurement of the structure's relative age.

3. Consistency with Original Structure

The consistency of the structure's purpose from the original intent is another criteria to investigate when making nominating decisions. Does the structure still operate as it was intended when it was built? Are the spaces in the structure being wholly utilized as the way they were intended? Has the structure been altered to improve or to change the consistency?

4. Infill Consistency

If the structure has abandoned its original purpose, then has the infill utilized the structure to its upmost potential? Does the feel of the structure change for the better or the worse? Does it mesh well with its surroundings as it did before? These are the types of questions you should ask yourself when

confronted with a structure in this category.

5. Alterations/Additions

Alterations and additions to structures within the Historic District must go through HPAB in order to get any kind of permit. Through this process, we have managed to have some control over whether or not proposed alterations/additions were appropriate for the general character and feel of the neighborhood as well as the individual historic values of the structures themselves. When considering nominating criteria, concerned elements are of appropriateness, consistency with materials and finishes, the general feel of the building (Does it change?), architectural features (continued or altered?), type of construction...etc.

6. Moved and Saved Category

The concern with moving and saving a structure is the closeness to the original orientation of the building and the compatibility with the area it is moved to. For instance, if the front door was originally facing south, is it still facing south?

7. Special Features

Special features of a particular structure include mostly architectural features that stand out and date a structure by placing it into a specific time period (i.e. Colonial, Georgian, Federal, Greek Revival, Early Victorian, Victorian, and Twentieth Century).

8. Styles for Visalia: How to Recognize Them

Bungalow Style

- a. Gabled roof facing the street
- b. Shed dormer
- c. Wood shingle siding

- d. Tapered porch post
- e. Sun porch
- f. Battered porch piers
- g. Tapered porch posts
- h. King post
- i. Tie beam
- j. Rafters
- k. Wall plate
- l. Collar beam
- m. Knee braces
- n. Wide window openings
- o. Flared base
- p. Exterior chimney
- q. Small windows flanking chimney

Stick

- a. Horizontal, vertical, and/or diagonal boards set against a plain surface
- b. Square bay windows
- c. Gabled roof
- d. Eaves with brackets for support

Colonial Revival

- a. Slate tile roof or shingle roof
- b. Bevel siding
- c. Swan's neck pediment
- d. Single-light sash
- e. Large three-part window
- f. Glass-paneled door
- g. Oversize side lights
- h. Square sights in upper sash
- i. Single light in lower sash
- j. Striaight window heads
- k. Large pilastered and arcaded chimney stack
- l. Smoothe brick finish in Flemish bond with fine joints
- m. Board siding on facade
- n. Board siding on cheeks of oversize dormers
- o. Bay window
- p. Large balconied entry portico or porch

Queen Anne/Eastlake

Queen Anne:

- a. Irregularity of plan and massing

- b. Different wall surfaces (i.e. brick for ground story with shingles and/or horizontal
- c. Bay windows, straight-topped windows, or round-arched windows
- d. Window panes set in lead or wooden sashes
- e. High and multiple roofs with ridges set at right angles
- g. A-roof is predominant
- h. Chimneys are paneled or modeled in cut or molded brick
- i. Classical small detailing

Eastlake:

- a. Massive and robust porch posts, railings, balusters and pendants
- b. Large curved brackets and scrolls at corners or projections
- c. Spindles and lattice work along porch eaves
- d. Often confused with Queen Anne and sometimes combined with it

Mission Style

- a. Stucco or plaster finish
- b. Arcades
- c. Red-tiled roof
- d. Curvilinear gable
- e. Projecting eaves with exposed rafters
- f. Canales (water spouts)
- g. Coping or top of parapet covered
- h. Bell tower
- i. Iron balconet
- j. Archivolts trim
- k. Piers
- l. Impost molding

Colonial Revival

- a. Enriched compound arch
- b. Iron window grilles
- c. Arcaded cornice
- d. Arcades supported by columns
- e. Carved and molded capitals
- f. Molded cornice
- g. Red tile roof
- h. Enriched classical door
- i. Enriched corbels
- j. Curvilinear gable
- k. Bell tower

- l. Niches
- m. Enriched cornice window head
- n. Plastered and arched portal
- o. Iron balconet
- p. Arched window opening
- q. Lintel-type window opening
- r. Loggia

Ranch Style

- a. Gabled roof
- b. Long front porch
- c. Long side generally faces the street
- d. Common to residential neighborhoods of Visalia

Shingle Style

- a. Gable roof with long slopes
- b. Multi-light casement windows
- c. Shingle siding
- d. Shingle-covered porch posts
- e. Two-story bays
- f. Pent roof
- g. Eaves close to the wall
- h. Multi-gabled roof
- i. Circular two-tiered porch
- j. One-story gabled porch
- k. Multi-light sash windows
- l. Undulating or wave-pattern shingle siding
- m. Conical roofed tower with hip knob and finial
- n. Gable end pent

Period Revival: Tudor Revival

- a. Steeply pitched gable roof
- b. Half-timbering
- c. Closely related to the Ranch Style homes with the exception of the roof's steep pitch

Vernacular

- a. May be of obvious style but built with unusual local material
- b. Particularly unique buildings which do not fit into any major style category

- c. Building forms expressing no identifiable style

Western Stick Style

- a. Gentle pitched gable roofs
- b. Projecting balcony
- c. Projecting second story porch
- d. Exposed and extended rafters with attenuated ends
- e. Projecting purlins
- f. Window sill
- g. Extended balcony sill
- h. Protruding balcony rail
- i. Casement-type window
- j. Shingle siding

Utilitarian

- a. Describes a functional emphasis of the structure
- b. Examples under this heading are:
 - Gas stations
 - Water towers
 - Some industrial buildings
 - Lamp posts
 - Drive-in restaurants

Commercial Italianate

- a. Brick structures with wooden trim
- b. Some are wooden structures that were stuccoed over at a later date
- c. Flat-fronted with a bracketed cornice and a parapet
- d. Sometimes topped with a cresting
- e. Tall and narrow windows symmetrically placed with flat or rounded tops and prominent lintels
- f. Ornamentation and elegant proportions

International Style

- a. Plain stucco or plaster surface
- b. Metal casement windows
- c. Absence of cornice or projecting eaves
- d. Curtain wall of glass

- e. Cantilevered balcony or upper floor
- f. Closed or boxed eaves
- g. Clerestory windows