

# SITE PLAN REVIEW AGENDA

4/21/2021 - 9:00 A.M.

Conference Room #4

315 E. Acequia Avenue

**ITEM NO: 1      Resubmit**

SITE PLAN NO: SPR20176

PROJECT TITLE: Acevedo Homes - Amelia Acevedo

DESCRIPTION: Create 4 Parcels and a Remainder (R-1-5)

APPLICANT: Amelia Acevedo

OWNER: ACEVEDO HOMES INC

APN: 126020081

LOCATION: 4234 S DEMAREE ST

**ITEM NO: 2      Resubmit**

SITE PLAN NO: SPR20185

PROJECT TITLE: Central Point Logistics Phase II

DESCRIPTION: Two Concrete tilt-up Industrial Buildings Totaling 2,274,048 SF (I)

APPLICANT: CapRock Partners

OWNER: D & P CORNERSTONE PROPERTIES LLC

APN: 077120018

LOCATION: 8383 AVE 320  
8385 AVE 320  
8391 AVE 320  
8400 AVE 320  
8515 W KIBLER AVE  
8525 W KIBLER AVE  
8535 W KIBLER AVE  
8545 W KIBLER AVE

**ITEM NO: 3      Resubmit**

SITE PLAN NO: SPR21008

PROJECT TITLE: Leslie Village Apartments

DESCRIPTION: Parcel Map to Separate 1 Residential from 2 Multifamily Duplexes. (R-M-2)

APPLICANT: Rafael Tortoledo

OWNER: MONTEJANO OCTAVIANO JR

APN: 093011004

LOCATION: 745 N LESLIE ST

**ITEM NO: 4      Resubmit**

SITE PLAN NO: SPR21029

PROJECT TITLE: Jesus Lara - Proposed PUD

DESCRIPTION: New PUD Development (R-1-5)

APPLICANT: Jesus Gutierrez

OWNER: FARIAS SALVADOR LARA & MARIA (TRS)

APN: 098440034

LOCATION: 1615 E FERGUSON AVE

**ITEM NO: 5      Resubmit**

SITE PLAN NO: SPR21054

PROJECT TITLE: Da City

DESCRIPTION: Event Renal, Yoga Classes/Fitness Classes, Small Gathering (Baby Showers, Office Luncheons (C-S)

APPLICANT: Kristen Jones

OWNER: LOVENBURG CHARLES A & KAY L (TRS)

**AFTER REVIEW OF REGULAR AGENDA ITEMS, THE COMMITTEE WILL BE AVAILABLE TO REVIEW OFF-AGENDA ITEMS FOR INFORMAL REVIEW. THE COMMITTEE WILL BE AVAILABLE TO ANSWER QUESTIONS AT THAT TIME.**

# **SITE PLAN REVIEW AGENDA**

**4/21/2021 - 9:00 A.M.**

**Conference Room #4**

**315 E. Acequia Avenue**

APN: 097075006

LOCATION: 717 S BRIDGE ST

## **ITEM NO: 6**

SITE PLAN NO: SPR21067

PROJECT TITLE: BioLife Plasma Services

DESCRIPTION: Interior remodel of a health and fitness club located at 2335 S. Mooney Blvd. into a plasma collection facility.

APPLICANT: Wendy Nichols

OWNER: VALLEY OAKS SHOPPING CENTER LP

APN: 121070086

LOCATION: 2335 S MOONEY BLVD

## **ITEM NO: 7**

SITE PLAN NO: SPR21068

PROJECT TITLE: Marcin Place TSM

DESCRIPTION: Proposed 46 lot tentative subdivision map

APPLICANT: Matt Ainley

OWNER: VISALIA UNIFIED SCHOOL DIST

APN: 085540019

085570008

LOCATION:

## **ITEM NO: 8**

SITE PLAN NO: SPR21069

PROJECT TITLE: Advance Equipment

DESCRIPTION: A new facility for Advance Equipment.

APPLICANT: Garrett Casey

OWNER: ADVANCE EQUIPMENT HOLDINGS INC

APN: 073160011

LOCATION: 10725 W GOSHEN AVE

**AFTER REVIEW OF REGULAR AGENDA ITEMS, THE COMMITTEE WILL BE AVAILABLE TO REVIEW OFF-AGENDA ITEMS FOR INFORMAL REVIEW. THE COMMITTEE WILL BE AVAILABLE TO ANSWER QUESTIONS AT THAT TIME.**

# CITY OF VISALIA SITE PLAN REVIEW APPLICATION

- Additional information and assistance in filling out this application can be found at the City of Visalia website ([www.visalia.city](http://www.visalia.city)) or by calling (559) 713-4440-



This application MUST be filled out in its entirety and submitted with an acceptable site plan (see site plan minimum requirements & submittal details on Page 2). Failure to provide all requested information may result in rejection of your application and exclusion from the Site Plan Review agenda.

- Site Plan Review meetings are held on Wednesdays at 9am at City Hall East - 315 E Acequia Ave - Applicant(s) or Representative(s) must be present -

- Application submittal deadline is 4pm on Thursdays to be scheduled for the next available meeting -

GENERAL PROJECT INFORMATION

Project/Business Name: Acevedo Homes - Amelia Acevedo Date: 4-15-2021

Project Description: Create 4 (four) parcels and a remainder of APN 126-020-063 and 126-020-064 in the City of Visalia.

Site Plan Review Resubmittal: Yes ☒ No ☐ If Resubmittal, Previous Site Plan Review Number: 20-176

Property Owner: Acevedo Homes

Applicant(s) Name: Amelia Acevedo

Project Address/Location: 4234 S. Demaree St.

Assessor Parcel Number: 126-020-063 126-020-064

Parcel Size (Acreage or Square Feet): \_\_\_\_\_ Building or Suite Square Footage: \_\_\_\_\_

Are There Any Proposed Building Modifications: Yes ☐ No ☒

Estimated Cost of Modifications to Building: \$ N/A

Describe All Proposed Building Modifications: N/A

--- THIS AREA FOR CITY STAFF USE ONLY ---

Date Received: \_\_\_\_\_

SPR Agenda: \_\_\_\_\_ Item No. \_\_\_\_\_

Zone: \_\_\_\_\_ SPR No. \_\_\_\_\_

Historic District: Yes ☐ No ☐

Flood Zone: X ☐ AE ☐ X/AE ☐

-- A SEPARATE, DETAILED OPERATIONAL STATEMENT IS HIGHLY RECOMMENDED FOR ALL SUBMITTALS --

OPERATIONS & TRAFFIC INFORMATION

Existing/Prior Building Use: Residential

Proposed Building Use: Residential

Proposed Hours of Operation: N/A

Days of Week In Operation (Circle): Su M T W Th F Sa

Number of Employees Per Day: Existing N/A Proposed N/A

Number of Customers Per Day (Estimated): Existing N/A Proposed N/A

Predicted Peak Operating Hour: N/A

Describe Any Truck Delivery Schedule & Operations: N/A

Please Identify Any Unique or Specific Traffic Patterns That Will Require Accommodations For Operations, Customers, or Employees

(Provide Separate Attachment if Necessary): \_\_\_\_\_

Describe Any Special Events Planned for the Facility: \_\_\_\_\_



# SITE PLAN MINIMUM REQUIREMENTS

SITE PLAN REQUIREMENTS

- ⇒ Submit a digital copy of the site plan(s) and completed application on a flash drive or equivalent (PDF format preferred, hard paper copies not accepted).
- ⇒ Digital copies must be clear, legible, and on a layout sized appropriately to convey all necessary project information.
- ⇒ Site plan shall provide for and indicate all of the following:
 

- North arrow	- Existing & proposed structures	- Loading/unloading areas
- All existing & proposed site features	- Adjacent street names	- Accessible path of travel from right of way
- Site dimensions, including building	- Refuse enclosures & containers	- Accessible path of travel from ADA stall
- Existing and proposed fencing at site	- Valley oak trees (show drip line)	- Location and width of drive approaches to site
- Public improvements (curbs, sidewalks, utility poles, hydrants, street lights, etc.)	- Existing & proposed landscaping	- Tentative maps shall adhere to requirements of Visalia Municipal Code Section 16
	- Parking stalls (include ADA)	

REQUIRED SIGNATURE

Applicant Information (Final comments will be mailed to the name and address provided below)

Name: Amelia Acevedo  
 Address: 4234 S. Demaree St.  
 City, State, Zip Visalia, CA 93277  
 Phone: 559-798-0440  
 Email: acevedamelia@yahoo.com

Signature of Owner or Authorized Agent\*

Owner

Authorized Agent\*

Date

4-15-2021

Date

\* If signed by an authorized agent, the "Agency Authorization" information below must be completed for this application to be considered acceptable.

## AGENCY AUTHORIZATION

OWNER:

I, Acevedo Homes - Amelia Acevedo, declare as follows; I am the owner of certain real property bearing assessor's parcel number (APN):

126-020-063

126-020-064

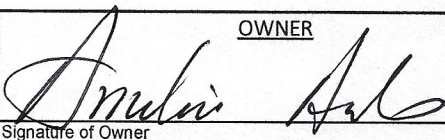
AGENT:

I designate Allen Williams - AW Engineering, to act as my duly authorized agent for all purposes necessary to file an application for, and obtain a permit to Parcel Map of 4 Parcels and a Remainder. relative to the property mentioned herein.

I declare under penalty of perjury the foregoing is true and correct.

Executed this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_.

AGENCY AUTHORIZATION FORM

OWNER	Signatures	AGENT
		
Signature of Owner		Signature of Agent
<u>4234 S. Demaree St.</u>		<u>724 N. Ben Maddox Way, Ste. A</u>
Owner Mailing Address		Agent Mailing Address
<u>Visalia, CA 93277</u>		<u>Visalia, CA 93292</u>
<u>559-798-0440</u>		<u>559-967-8089 (c), 559-713-6139 (o)</u>
Owner Phone Number		Agent Phone Number



# SITE PLAN

IN THE COUNTY OF TULARE  
BEING A DIVISION OF PARCEL 2 OF PARCEL MAP NO. 66,  
RECORDED IN BOOK 1, PAGE 66 OF PARCEL MAPS, IN THE  
OFFICE OF THE TULARE COUNTY RECORDER, IN A PORTION OF  
THE S1/2 OF THE N W 1/4 OF THE SECTION 12, TOWNSHIP 19  
SOUTH, RANGE 24 EAST, MOUNT DIABLO MERIDIAN, IN THE CITY  
OF VISALIA, COUNTY OF TULARE, STATE OF CALIFORNIA.

DECEMBER, 2020

## BASIS OF BEARINGS

THE BASIS OF BEARINGS BEING THE NORTHLINE OF  
SEC 12-19-24 AS PER PARCEL MAP 66 RECORDED IN  
VOLUME 1 OF MAPS PAGE 66, TULARE COUNTY  
RECORDS.

## BENCHMARK

ALL ELEVATIONS DERIVED FROM VISALIA CITY BENCH  
MARK NO. 644, FOUND AS DESCRIBED PER VISALIA CITY  
RECORDS, AND HAVING AN ELEVATION OF 295.70'

## OWNER

ACEVEDO HOMES, INC.  
4234 S. DEMAREE STREET  
VISALIA, CA 93277  
559-798-8840

## AGENT

AW ENGINEERING  
ALLEN WILLIAMS  
724 N. BEN MADDOX WAY  
SUITE A  
VISALIA, CA 93292  
AWILLIAMS@AWE-INC.COM  
PHONE: (559)713-6368

## SITE INFORMATION

EXISTING PARCEL  
PARCEL NO.1: APN- 126-020-081  
(AREA=146,362SF/3.36 ACRES)  
PARCEL NO.2: APN- 126-020-082  
(AREA=13,068 SF/0.30 ACRES)  
CURRENT ZONING: SINGLE FAMILY R-1-5  
PROPOSED ZONING: SAME  
SEWAGE DISPOSAL: CITY OF VISALIA  
WATER SUPPLY: CAL WATER  
ELECTRIC: S.C.E.  
FLOOD ZONE: X

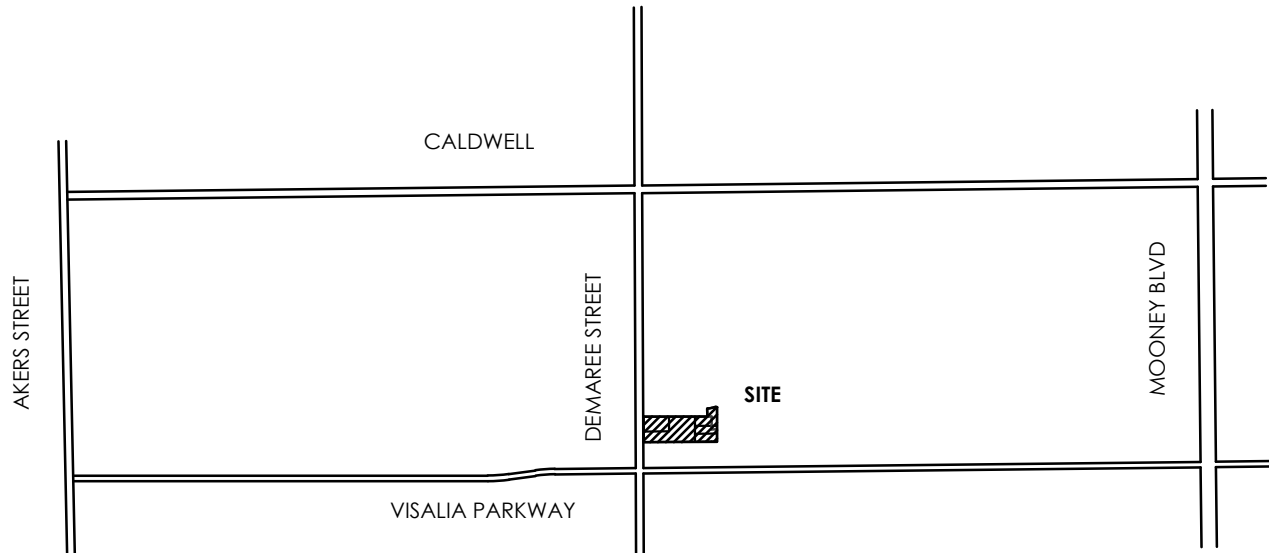
PROPOSED PARCELS  
PARCEL NO.1: APN- (AREA=14,401SF)  
PARCEL NO.2: APN- (AREA=14,384SF)  
PARCEL NO.3: APN- (AREA=23,766 SF)  
PARCEL NO.4: APN- (AREA=23,521 SF)  
REMAINDER: APN- (AREA=83,131 SF)

## LEGEND

O/V IRRIGATION VALVE

ELECTRIC BOX

TELECOMMUNICATIONS BOX

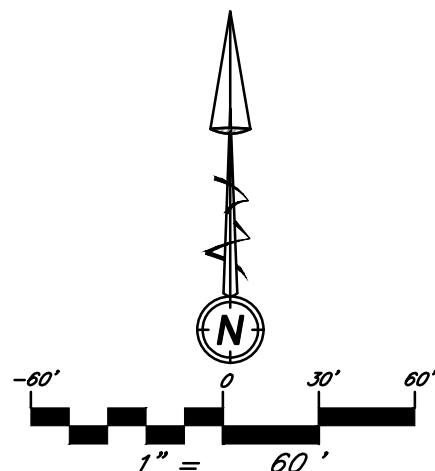
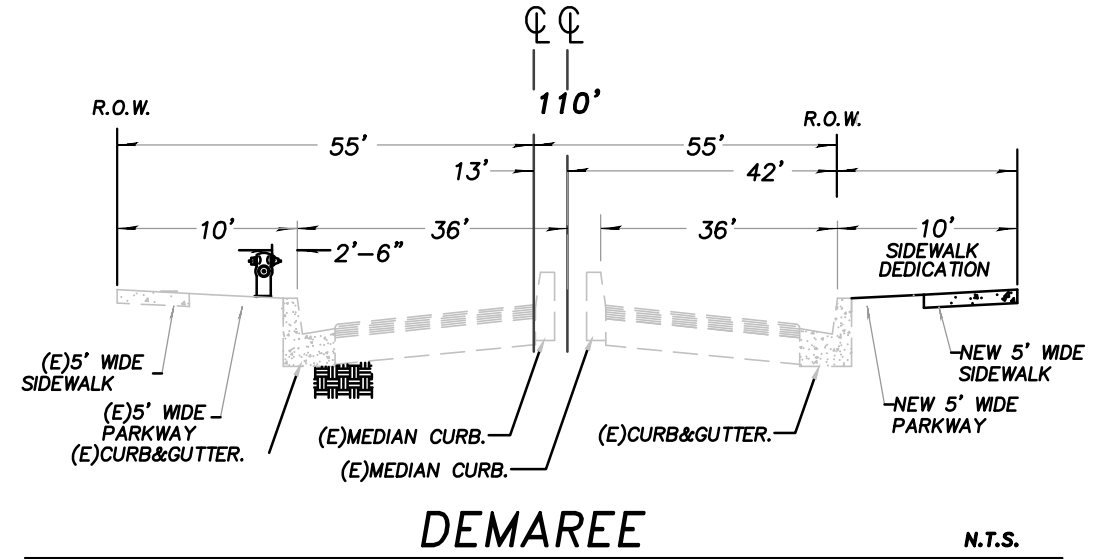
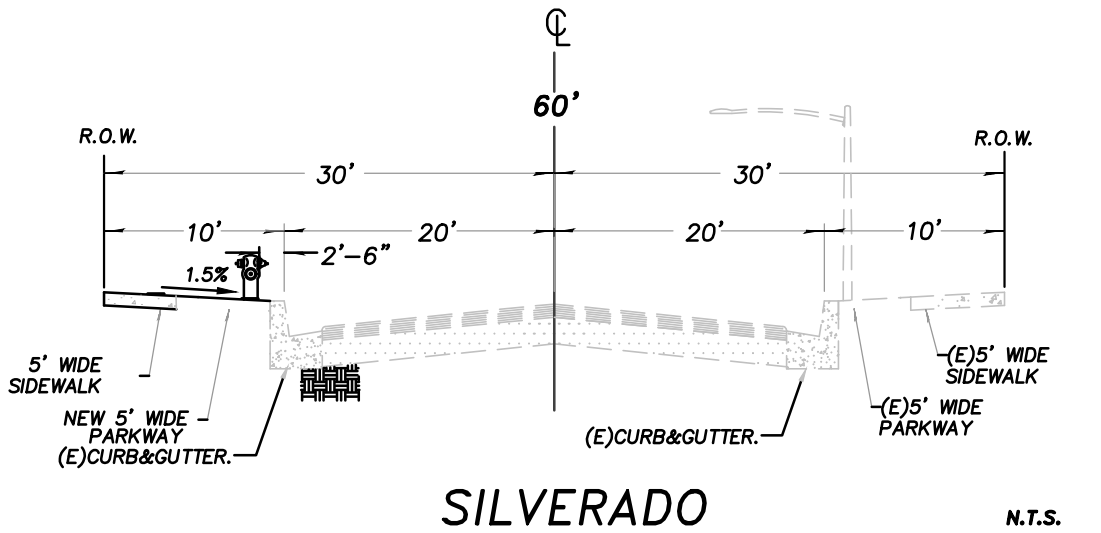
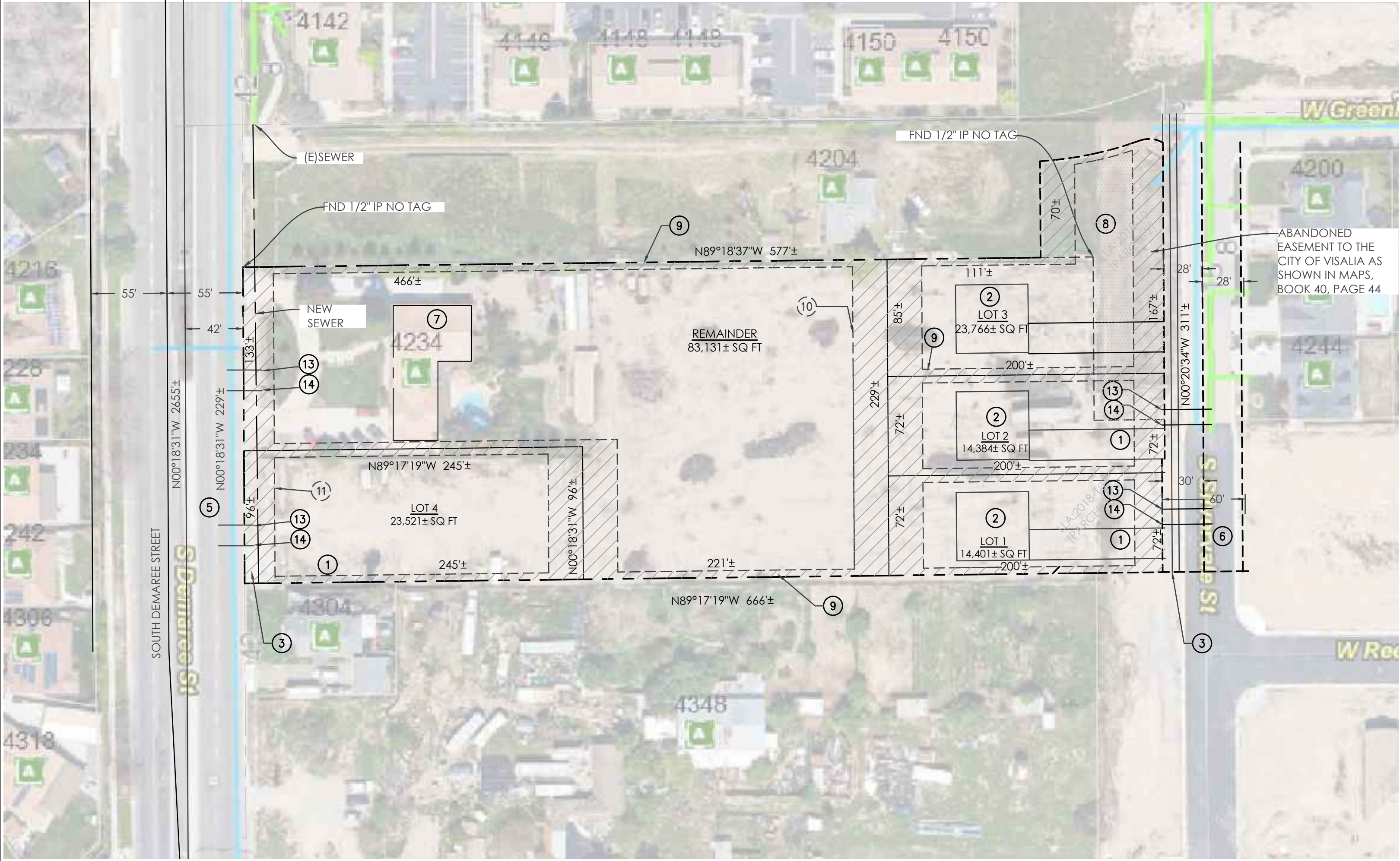


## VICINITY MAP

N.T.S.

## LEGEND

- 1 NEW SINGLE FAMILY RESIDENTIAL DRIVEWAYS PER COV STANDARDS
- 2 NEW SINGLE FAMILY RESIDENTIAL HOME VARIES IN SIZE
- 3 NEW PUBLIC SIDEWALKS/PARKWAYS ALONG SILVERDALE AND DEMAREE PER COV STANDARDS.
- 4 NEW DRIVEWAY FOR FIRE TRUCK TURNAROUND
- 5 SEE DEMAREE CROSS SECTION.
- 6 SEE SILVERDALE CROSS SECTION.
- 7 EXISTING HOME TO REMAIN
- 8 EXISTING TEMP STORM WATER BASIN TO BE REMOVED
- 9 5' SIDE YARD SETBACK
- 10 25' REAR YARD SETBACK
- 11 22' FRONT YARD SETBACK
- 12 INSTALL NEW FIRE HYDRANT ASSEMBLY CONNECT TO MAIN WATER LINE
- 13 INSTALL NEW DOMESTIC WATER SERVICE, BOX AND METER PER COV STANDARDS.
- 14 INSTALL NEW 4" SANITARY SEWER SERVICE PER COV STANDARDS



AW  
ENGINEERING  
724 N. BEN MADDOX WAY  
VISALIA, CA 93292  
559-713-6139 BBORUM@AWE-INC.COM



TENTATIVE PARCEL MAP

IN THE COUNTY OF TULARE  
BEING A DIVISION OF PARCEL 2 OF PARCEL MAP NO. 66,  
RECORDED IN BOOK 1, PAGE 66 OF PARCEL MAPS, IN THE  
OFFICE OF THE TULARE COUNTY RECORDER , IN A PORTION OF  
THE S1/2 OF THE N W 1/4 OF THE SECTION 12, TOWNSHIP 19  
SOUTH, RANGE 24 EAST, MOUNT DIABLO MERIDIAN, IN THE CITY  
OF VISALIA, COUNTY OF TULARE, STATE OF CALIFORNIA.

DECEMBER, 2020

BASIS OF BEARINGS

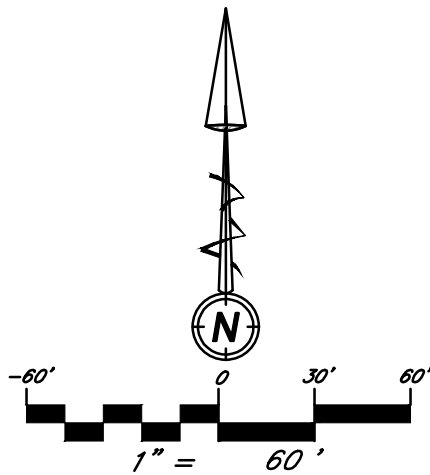
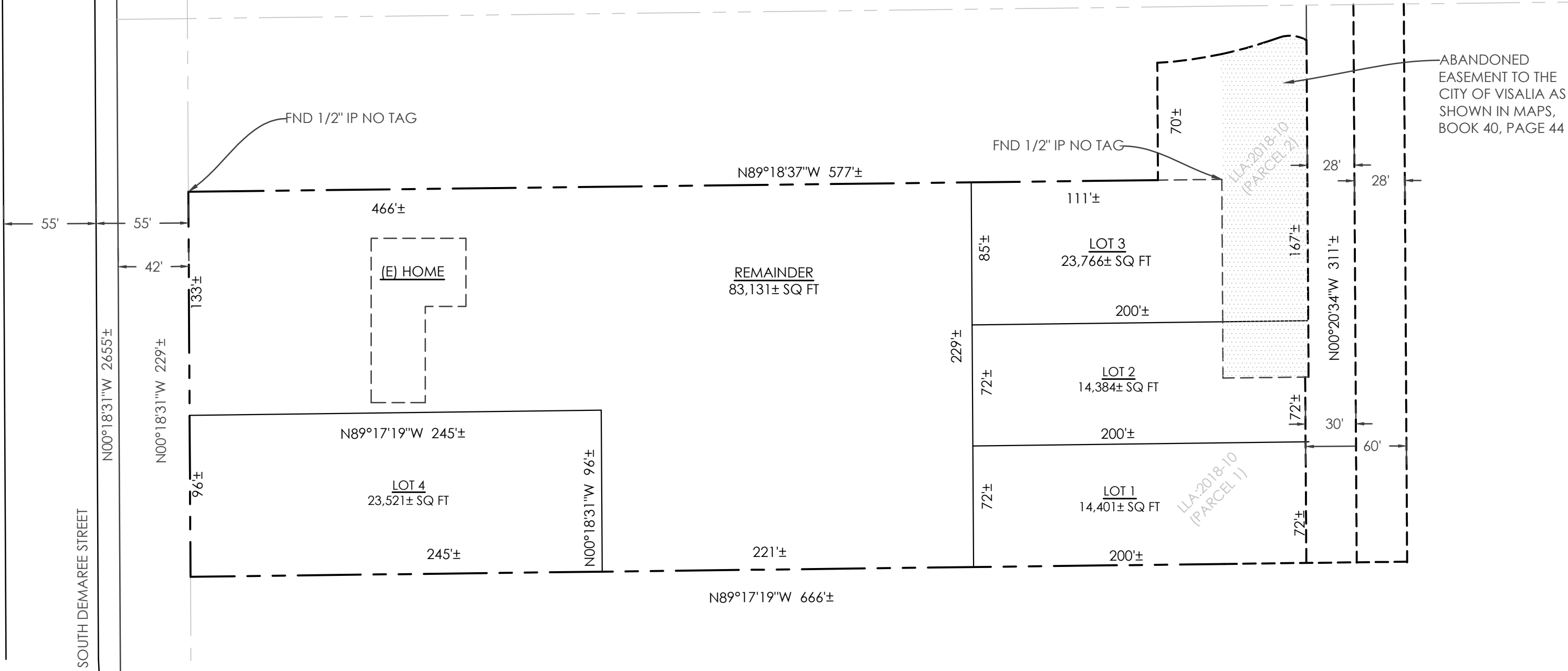
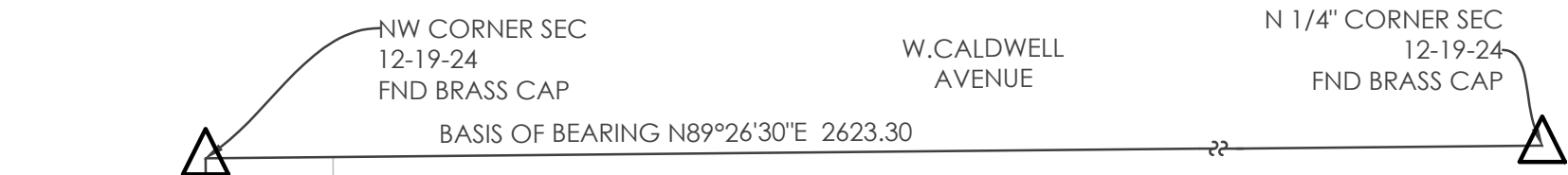
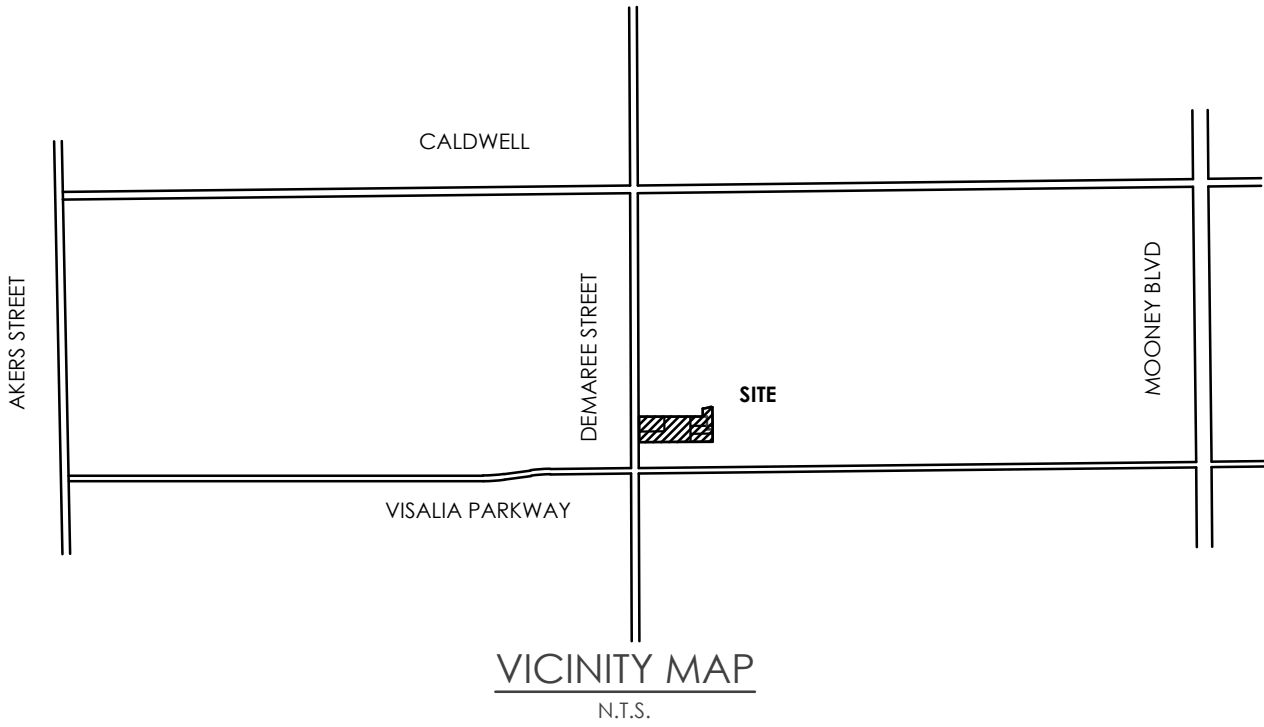
THE BASIS OF BEARINGS BEING THE NORTHLINE OF  
SEC 12-19-24 AS PER PARCEL MAP 66 RECORDED IN  
VOLUME 1 OF MAPS PAGE 66, TULARE COUNTY  
RECORDS.

OWNER

ACEVEDO HOMES, INC  
4234 S. DEMAREE STREET  
VISALIA, CA 93277  
559-798-8840

AGENT

AW ENGINEERING  
ALLEN WILLIAMS  
724 N. BEN MADDOX WAY  
SUITE A  
VISALIA, CA 93292  
AWILLIAMS@AWE-INC.COM  
PHONE: (559)713-6368



AW  
ENGINEERING  
724 N. BEN MADDOX WAY  
VISALIA CA, 93292  
559-713-6139 BBORUM@AWE-INC.COM



# CITY OF VISALIA SITE PLAN REVIEW APPLICATION

- Additional information and assistance in filling out this application can be found at the City of Visalia website ([www.visalia.city](http://www.visalia.city)) or by calling (559) 713-4440-



This application MUST be filled out in its entirety and submitted with an acceptable site plan (see site plan minimum requirements & submittal details on Page 2). Failure to provide all requested information may result in rejection of your application and exclusion from the Site Plan Review agenda.

- Site Plan Review meetings are held on Wednesdays at 9am at City Hall East - 315 E Acequia Ave - Applicant(s) or Representative(s) must be present -

- Application submittal deadline is 4pm on Thursdays to be scheduled for the next available meeting -

GENERAL PROJECT INFORMATION

Project/Business Name: Visalia Logistics Center, Phase 2 Date: 04/15/2021

Project Description: Two (2) concrete tilt-up industrial buildings totaling 2,495,808 SF.

Site Plan Review Resubmittal: Yes ☒ No ☐ If Resubmittal, Previous Site Plan Review Number: 20-185

Property Owner: CapRock Acquisitions, LLC

Applicant(s) Name: CapRock Acquisitions, LLC

Project Address/Location: Land bounded by Plaza Dr., Kelsey St., River Way Ave., Ave. 320

Assessor Parcel Number: 0 7 7 - 1 2 0 - 0 1 8

Parcel Size (Acreage or Square Feet): 152.85 ac Building or Suite Square Footage: 2,495,808 SF

Are There Any Proposed Building Modifications: Yes ☐ No ☒

Estimated Cost of Modifications to Building: \$ N/A

Describe All Proposed Building Modifications: N/A

--- THIS AREA FOR CITY STAFF USE ONLY ---

Date Received: \_\_\_\_\_

SPR Agenda: \_\_\_\_\_ Item No. \_\_\_\_\_

Zone: \_\_\_\_\_ SPR No. \_\_\_\_\_

Historic District: Yes ☐ No ☐

Flood Zone: X ☐ AE ☐ X/AE ☐

OPERATIONS & TRAFFIC INFORMATION

-- A SEPARATE, DETAILED OPERATIONAL STATEMENT IS HIGHLY RECOMMENDED FOR ALL SUBMITTALS --

Existing/Prior Building Use: Vacant Land

Proposed Building Use: Industrial Warehouse Use / Distribution Center / Logistics Center

Proposed Hours of Operation: While no tenant has been identified, typical uses are 24 hours per day

Days of Week In Operation (Circle): Su (M) (T) (W) (Th) (F) (Sa)

Number of Employees Per Day: Existing N/A Proposed TBD

Number of Customers Per Day (Estimated): Existing N/A Proposed TBD

Predicted Peak Operating Hour: N/A

Describe Any Truck Delivery Schedule & Operations: Truck deliveries and departures will take place throughout the day.

The proposed use is a distribution center which, depending on future tenant, will dictate truck usage/volume.

Please Identify Any Unique or Specific Traffic Patterns That Will Require Accommodations For Operations, Customers, or Employees

(Provide Separate Attachment if Necessary): None

Describe Any Special Events Planned for the Facility: None by the developer

### SITE PLAN MINIMUM REQUIREMENTS

SITE PLAN REQUIREMENTS

- ⇒ Submit a digital copy of the site plan(s) and completed application on a flash drive or equivalent (PDF format preferred, hard paper copies not accepted).
- ⇒ Digital copies must be clear, legible, and on a layout sized appropriately to convey all necessary project information.
- ⇒ Site plan shall provide for and indicate all of the following:
- |  |                                     |  |
|--|-------------------------------------|--|
| - North arrow  | - Existing & proposed structures    | - Loading/unloading areas  |
| - All existing & proposed site features  | - Adjacent street names             | - Accessible path of travel from right of way                                      |
| - Site dimensions, including building  | - Refuse enclosures & containers    | - Accessible path of travel from ADA stall   |
| - Existing and proposed fencing at site  | - Valley oak trees (show drip line) | - Location and width of drive approaches to site                                   |
| - Public improvements (curbs, sidewalks, utility poles, hydrants, street lights, etc.) | - Existing & proposed landscaping   | - Tentative maps shall adhere to requirements of Visalia Municipal Code Section 16 |
|  | - Parking stalls (include ADA)      |  |

REQUIRED SIGNATURE

Applicant Information (Final comments will be mailed to the name and address provided below)

Name: Patrick Daniels - CapRock Acquisitions, LLC

Signature of Owner or Authorized Agent\*

Address: 1300 Dove Street, Suite 200

Owner

Date

City, State, Zip Newport Beach, CA 92660

Phone: (949) 342-8000 (x102)

N/A

Email: pdaniels@caprock-partners.com

Authorized Agent\*

Date

\* If signed by an authorized agent, the "Agency Authorization" information below must be completed for this application to be considered acceptable.

### AGENCY AUTHORIZATION

AGENCY AUTHORIZATION FORM

OWNER:

I, \_\_\_\_\_, declare as follows; I am the owner of certain real property bearing assessor's parcel number (APN):

AGENT:

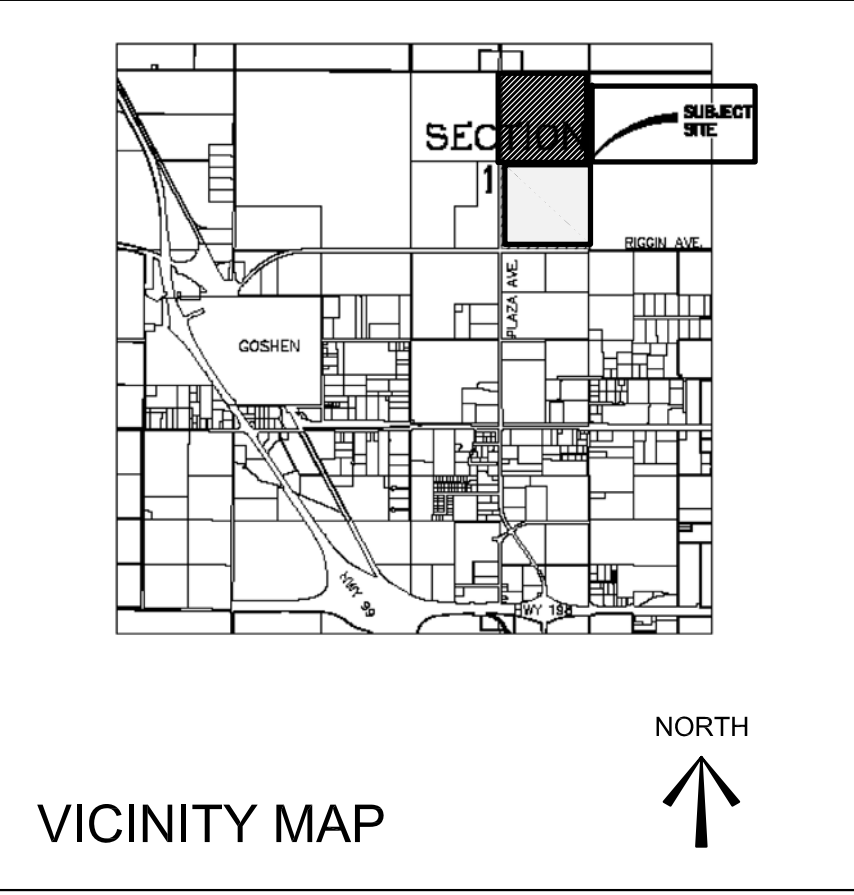
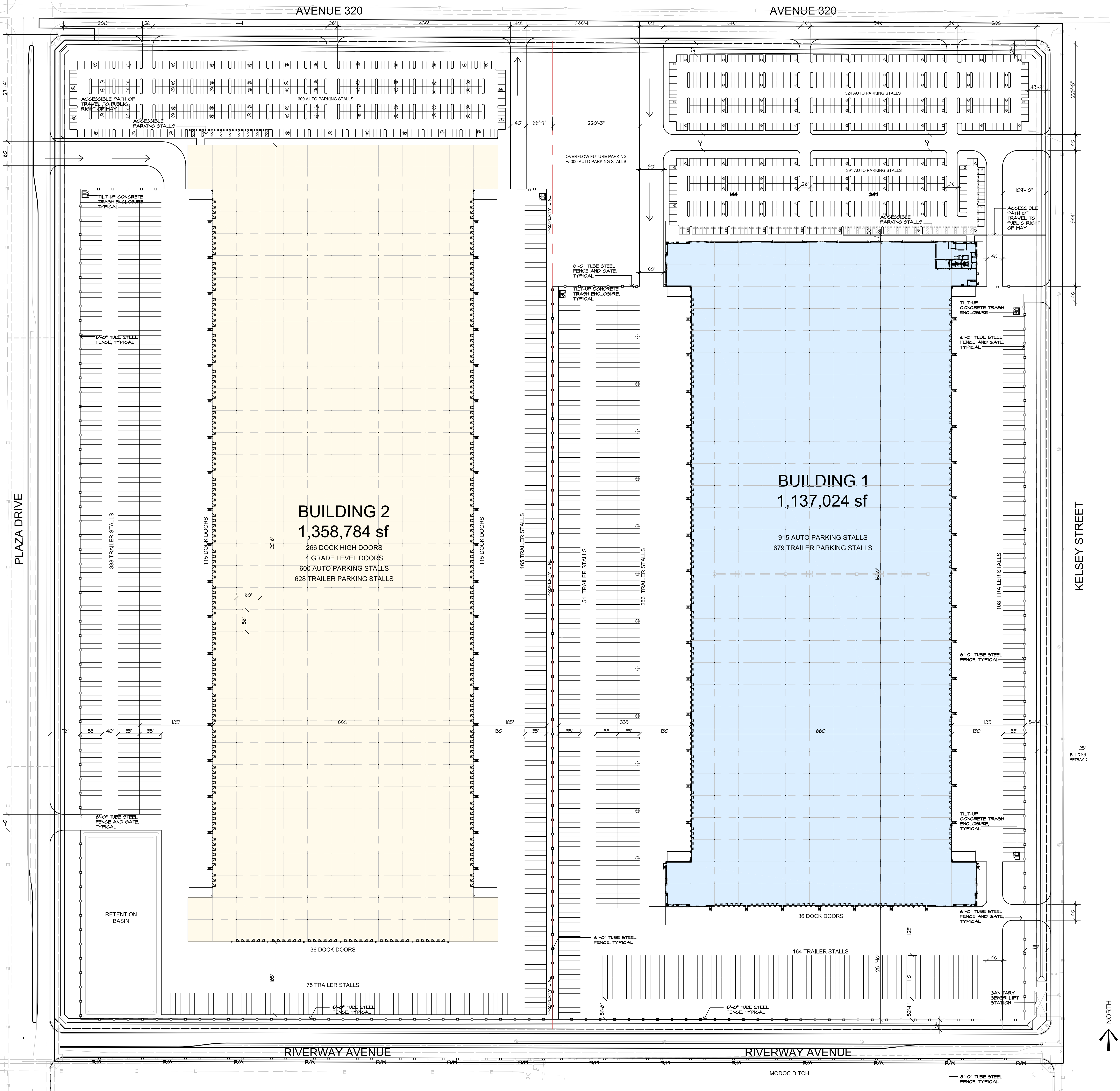
I designate \_\_\_\_\_, to act as my duly authorized agent for all purposes necessary to file an application for, and obtain a permit to \_\_\_\_\_ relative to the property mentioned herein.

I declare under penalty of perjury the foregoing is true and correct.

Executed this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_.

OWNER	Signatures	AGENT
Signature of Owner		Signature of Agent
Owner Mailing Address		Agent Mailing Address
Owner Phone Number		Agent Phone Number





BUILDING #1	
SITE AREA:	12.25 ACRES 5,147,565 SF
PROPOSED BUILDING AREA:	1,571,024 SF
FAR (NET SITE AREA)	36%
PARKING REQUIRED (1:1,000#)	1,137 STALLS
PARKING PROVIDED	20 ACCESSIBLE STALLS 898 STANDARD STALLS 415 TOTAL STALLS
TRAILER PARKING	679 STALLS
TOTAL PARKING PROVIDED	1,544 STALLS
BUILDING #2	
SITE AREA:	7.154 ACRES 3,116,424 SF
PROPOSED BUILDING AREA:	1,358,784 SF
FAR (NET SITE AREA)	43%
PARKING REQUIRED (1:1,000#)	1,359 STALLS
PARKING PROVIDED	20 ACCESSIBLE STALLS 280 STANDARD STALLS 600 TOTAL PARKING STALLS
TRAILER PARKING	628 STALLS
TOTAL PARKING PROVIDED	1,228 STALLS
PROJECT SUMMARY	

LEGAL DESCRIPTION

Real property in the City of Visalia, County of Tulare, State of California, described as follows:

THE NORTHEAST QUARTER OF SECTION 17, TOWNSHIP 18 SOUTH, RANGE 24 EAST, MOUNT DIABLO BASE AND MERIDIAN, IN THE COUNTY OF TULARE, STATE OF CALIFORNIA, ACCORDING TO THE OFFICIAL PLAT THEREOF.

EXCEPTING THEREFROM THE WEST 40 FEET THEREOF AS CONVEYED TO THE COUNTY OF TULARE BY DEED RECORDED DECEMBER 30, 1935 IN BOOK 652, PAGE 204 OF OFFICIAL RECORDS.

ALSO EXCEPTING THEREFROM PORTION OF LAND AS CONVEYED TO THE COUNTY OF TULARE FOR RIGHT OF WAY ACQUISITION BY GRANT DEED RECORDED AUGUST 25, 2009, INSTRUMENT NO. 2009-0058235 OF OFFICIAL RECORDS.

AND ALSO EXCEPTING THEREFROM AN UNDIVIDED 50% INTEREST IN AND TO SAID OIL, GAS, MINERALS AND OTHER HYDROCARBON SUBSTANCES IN SAID LAND WITHOUT RIGHT OF ENTRY.

APN: 011-120-018-000

LEGAL DESCRIPTION

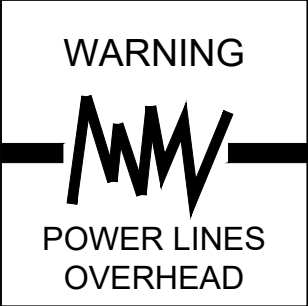
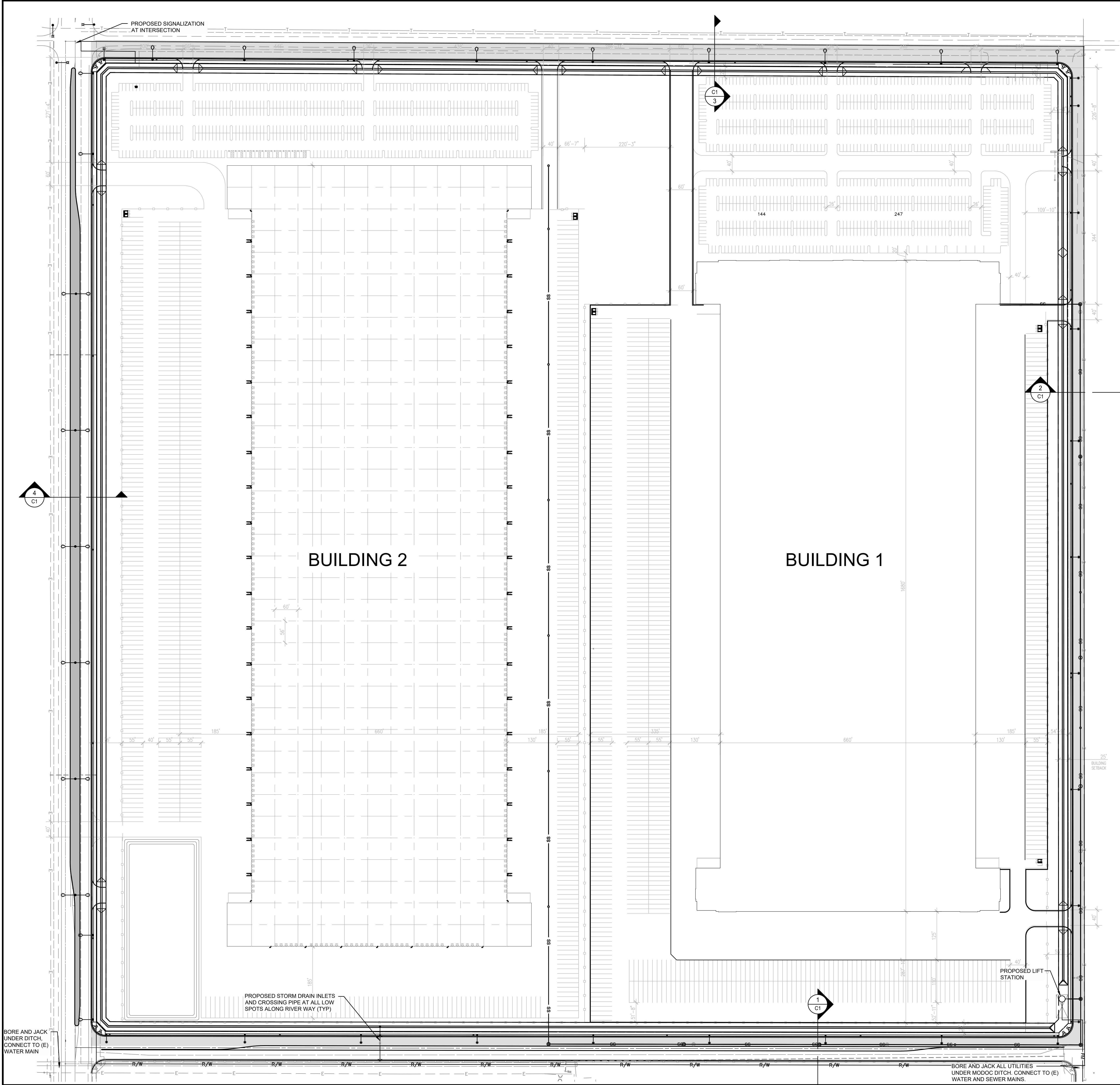
# Visalia Logistics Center Phase II

Ridgeway Ave at Plaza Dr. and Kelsey St.  
Visalia, California

SITE PLAN	
DATE:	4/13/2024
SCALE:	1" = 100'-0"
DRAWN BY:	DFA
PROJECT NO:	20007.00

A.10

REVISIONS



- LEGEND**
- STREET LIGHT ASSEMBLY (16000 LUMENS)
  - STREET LIGHT ASSEMBLY (9500 LUMENS)
  - TRAFFIC SIGNAL
  - 2-NOZZLE HYDRANT
  - STORM DRAIN INLET
  - STORM DRAIN OUTLET STRUCTURE

**LEGAL DESCRIPTION**

REAL PROPERTY IN THE CITY OF VISALIA, COUNTY OF TULARE, STATE OF CALIFORNIA, DESCRIBED AS FOLLOWS:

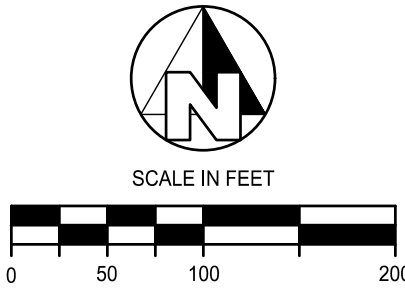
THE NORTHEAST QUARTER OF SECTION 17, TOWNSHIP 18 SOUTH, RANGE 24 EAST, MOUNT DIABLO BASE AND MERIDIAN, IN THE COUNTY OF TULARE, STATE OF CALIFORNIA, ACCORDING TO THE OFFICIAL PLAT THEREOF.

EXCEPTING THEREFROM THE WEST 40 FEET THEREOF AS CONVEYED TO THE COUNTY OF TULARE BY DEED RECORDED DECEMBER 30, 1935 IN BOOK 652, PAGE 204 OF OFFICIAL RECORDS.

ALSO EXCEPTING THEREFROM PORTION OF LAND AS CONVEYED TO THE COUNTY OF TULARE FOR RIGHT OF WAY ACQUISITION BY GRANT DEED RECORDED AUGUST 25, 2008, INSTRUMENT NO. 2008-0058235 OF OFFICIAL RECORDS.

AND ALSO EXCEPTING THEREFROM AN UNDIVIDED 50% INTEREST IN AND TO SAID OIL, GAS, MINERALS AND OTHER HYDROCARBON SUBSTANCES IN SAID LAND WITHOUT RIGHT OF ENTRY.

APN: 077-120-018-000



PROVOST & PRITCHARD  
CONSULTING ENGINEERS  
150 NORTH GARDEN STREET  
VISALIA, CALIFORNIA 93291-6502  
559.586.0000  
www.peng.com

DESIGN ENGINEER:  
MJB  
LICENSE NO.:  
C79145  
DRAFTED BY:  
P&P  
DATE: 4/14/2021  
JOB NO: 291621001  
PROJECT NO: 291621001  
PHASE: 2  
ORIGINAL SCALE SHOWN IS  
ONE INCH ADJUST SCALE FOR  
REDUCED OR ENLARGED  
PLANS.  
SHEET  
1

VISALIA LOGISTICS PHASE 2  
SITE PLAN REVIEW  
CITY OF VISALIA, CA  
CIVIL

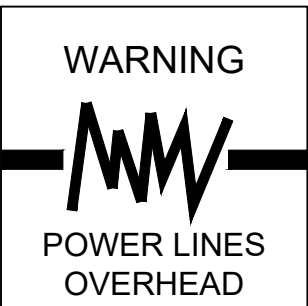
OFF-SITE IMPROVEMENTS

PRELIMINARY  
NOT FOR CONSTRUCTION  
4/14/2021

NO.	REVISION	BY	DATE
1			

4/15/2021 3:35 PM G:\CityPlan\Acquisition\291621001\Visa Logistics\CP 1800\CA0349 Sheet\Sheet2\Rev09\_Echibac\CP Phase 2.dwg-1800-RIVERWAY.dwg - Logon: Administrator

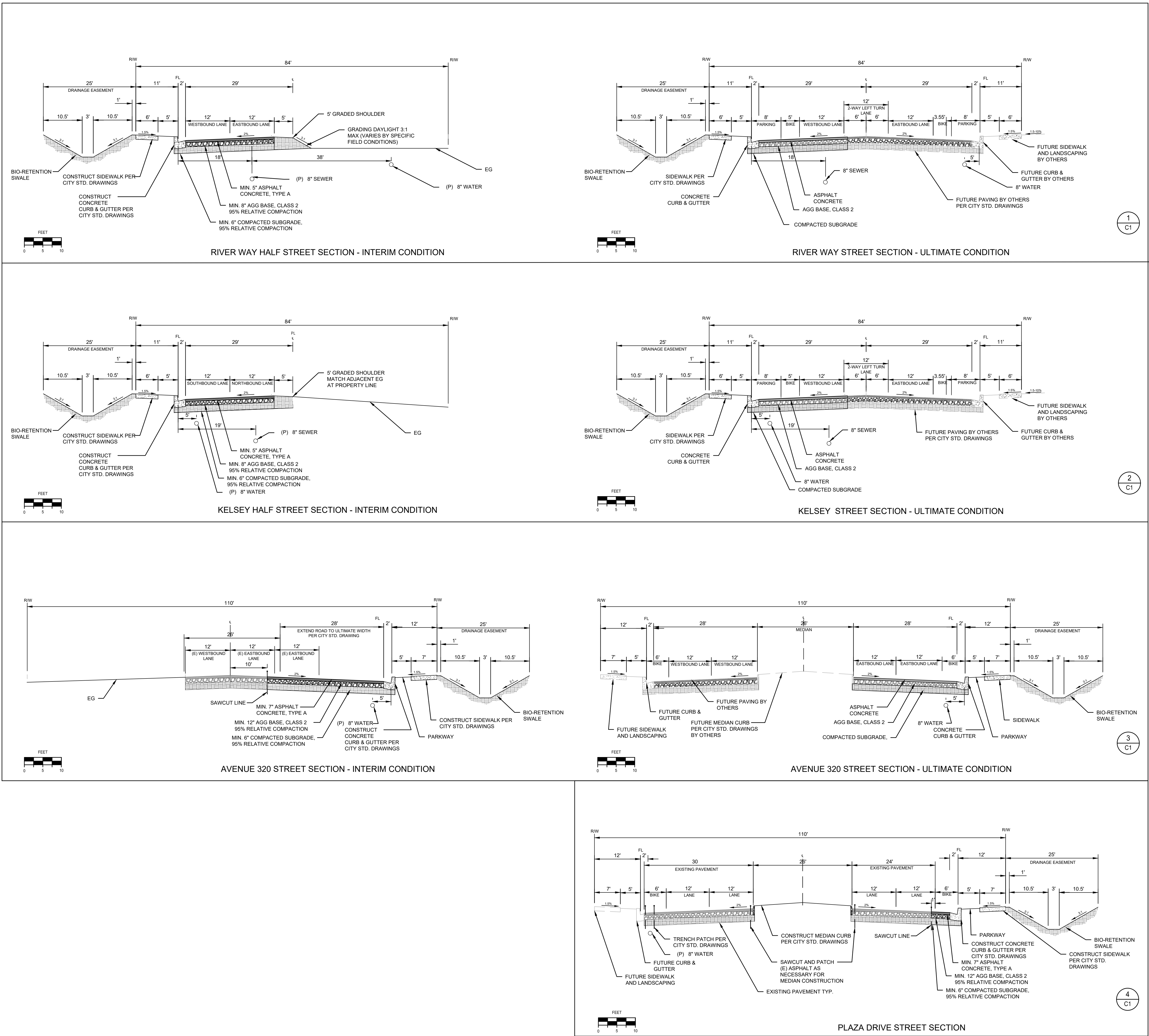




NOT FOR CONSTRUCTION  
These drawings are prepared by the undersigned engineer and are not to be used for any other purpose without the written consent of the undersigned engineer. The undersigned engineer is not responsible for any errors or omissions in these drawings. The undersigned engineer is not responsible for any damage to property or persons resulting from the use of these drawings. The undersigned engineer is not responsible for any delay or interruption of service resulting from the use of these drawings. The undersigned engineer is not responsible for any other consequences resulting from the use of these drawings.

## INTERIM

## ULTIMATE



PRELIMINARY  
NOT FOR CONSTRUCTION  
4/14/2021

VISALIA LOGISTICS PHASE 2

SITE PLAN REVIEW  
CITY OF VISALIA, CA

CIVIL

STREET SECTIONS

PROVOST & PRITCHARD  
CONSULTING GROUP

417 N. NORTH GARDEN STREET  
VISALIA, CALIFORNIA 93291-4382  
559.583.1171  
www.pprg.com

DESIGN ENGINEER:  
MJB  
LICENSE NO.:  
C79145

DRAFTED BY:  
P&P

CHECKED BY:  
MJB

DATE: 4/14/2021

JOB NO: 291621001

PROJECT NO: 291621001

PHASE: 2

ORIGINAL SCALE SHOWN IS  
ONE INCH ADJUST SCALE FOR  
REDUCED OR ENLARGED  
PLANS.

SHEET  
1

1 1

# CITY OF VISALIA SITE PLAN REVIEW APPLICATION

- Additional information and assistance in filling out this application can be found at the City of Visalia website ([www.visalia.city](http://www.visalia.city)) or by calling (559) 713-4440-



This application MUST be filled out in its entirety and submitted with an acceptable site plan (see site plan minimum requirements & submittal details on Page 2). Failure to provide all requested information may result in rejection of your application and exclusion from the Site Plan Review agenda.

- Site Plan Review meetings are held on Wednesdays at 9am at City Hall East - 315 E Acequia Ave - Applicant(s) or Representative(s) must be present -

- Application submittal deadline is 4pm on Thursdays to be scheduled for the next available meeting -

GENERAL PROJECT INFORMATION

Project/Business Name: Leslie Village Apartments Date: 2021/01/14

Project Description: Parcel Map to separate 1 Residential from 2 Multifamily Duplexes

Site Plan Review Resubmittal: Yes ☒ No ☐ If Resubmittal, Previous Site Plan Review Number: 21-008

Property Owner: Octavio Montejano and Rafael Tortoledo

Applicant(s) Name: TorMon Global Inc

Project Address/Location: 745 N Leslie St, Visalia, CA 93291

Assessor Parcel Number: 0 9 3 - 0 1 1 - 0 0 4

Parcel Size (Acreage or Square Feet): 20,048 SF Building or Suite Square Footage: \_\_\_\_\_

Are There Any Proposed Building Modifications: Yes ☐ No ☒

Estimated Cost of Modifications to Building: \$ \_\_\_\_\_

Describe All Proposed Building Modifications: \_\_\_\_\_

--- THIS AREA FOR CITY STAFF USE ONLY ---

Date Received: 04/14/2021

SPR Agenda: 04/21/2021 Item No. \_\_\_\_\_

Zone: R-M-2 SPR No. 21-008

Historic District: Yes ☐ No ☒

Flood Zone: X ☒ AE ☐ X/AE ☐

OPERATIONS & TRAFFIC INFORMATION

-- A SEPARATE, DETAILED OPERATIONAL STATEMENT IS HIGHLY RECOMMENDED FOR ALL SUBMITTALS --

Existing/Prior Building Use: Residential / Multifamily

Proposed Building Use: Same

Proposed Hours of Operation: N/A

Days of Week In Operation (Circle): Su M T W Th F Sa

Number of Employees Per Day: Existing \_\_\_\_\_ Proposed \_\_\_\_\_

Number of Customers Per Day (Estimated): Existing \_\_\_\_\_ Proposed \_\_\_\_\_

Predicted Peak Operating Hour: \_\_\_\_\_

Describe Any Truck Delivery Schedule & Operations: \_\_\_\_\_

Please Identify Any Unique or Specific Traffic Patterns That Will Require Accommodations For Operations, Customers, or Employees

(Provide Separate Attachment if Necessary): \_\_\_\_\_

Describe Any Special Events Planned for the Facility: \_\_\_\_\_



### SITE PLAN MINIMUM REQUIREMENTS

SITE PLAN REQUIREMENTS

- ⇒ Submit a digital copy of the site plan(s) and completed application on a flash drive or equivalent (PDF format preferred, hard paper copies not accepted).
- ⇒ Digital copies must be clear, legible, and on a layout sized appropriately to convey all necessary project information.
- ⇒ Site plan shall provide for and indicate all of the following:
- |  |                                     |  |
|--|-------------------------------------|--|
| - North arrow  | - Existing & proposed structures    | - Loading/unloading areas  |
| - All existing & proposed site features  | - Adjacent street names             | - Accessible path of travel from right of way                                      |
| - Site dimensions, including building  | - Refuse enclosures & containers    | - Accessible path of travel from ADA stall   |
| - Existing and proposed fencing at site  | - Valley oak trees (show drip line) | - Location and width of drive approaches to site                                   |
| - Public improvements (curbs, sidewalks, utility poles, hydrants, street lights, etc.) | - Existing & proposed landscaping   | - Tentative maps shall adhere to requirements of Visalia Municipal Code Section 16 |
|  | - Parking stalls (include ADA)      |  |

REQUIRED SIGNATURE

Applicant Information (Final comments will be mailed to the name and address provided below)

Name: <u>TorMon Global Inc</u>	Signature of Owner or Authorized Agent* <u>Rafael Tortoledo</u>	<u>2021/01/14</u>
Address: <u>5211 W Goshen Ave 112</u>	Owner	Date
City, State, Zip <u>Visalia, CA 93291</u>		
Phone: <u>+1 (833) 511-5411</u>		
Email: <u>office@tormonglobal.com</u>	Authorized Agent*	Date

\* If signed by an authorized agent , the "Agency Authorization" information below must be completed for this application to be considered acceptable.

### AGENCY AUTHORIZATION

AGENCY AUTHORIZATION FORM

OWNER:

I, \_\_\_\_\_, declare as follows; I am the owner of certain real property bearing assessor's parcel number (APN):

AGENT:

I designate \_\_\_\_\_, to act as my duly authorized agent for all purposes necessary to file an application for, and obtain a permit to \_\_\_\_\_ relative to the property mentioned herein.

I declare under penalty of perjury the foregoing is true and correct.

Executed this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_.

<u>OWNER</u>	Signatures	<u>AGENT</u>
Signature of Owner		Signature of Agent
Owner Mailing Address		Agent Mailing Address
Owner Phone Number		Agent Phone Number

# TENTATIVE PARCEL MAP NO. 2021-XX

(A.P.N. 093-011-004)

OWNER:  
OCTAVIO MONTEJANO & RAFAEL  
TOTOLED0  
5211 W. GOSHEN AVE, #112  
VISALIA, CA 93291  
(833) 511-5411  
OFFICE@TORMONGLOBAL.COM



Moua Enterprise  
Professional Engineering  
and Surveying  
559-288-3217  
pmoua02@yahoo.com

LEGAL DESCRIPTION:

THE LAND DESCRIBED HEREIN IS SITUATED IN THE STATE OF CALIFORNIA, COUNTY OF TULARE, CITY OF VISALIA, DESCRIBED AS FOLLOWS:

LOT 10 OF VISALIA GARDEN FARMS, AS PER MAP RECORDED JANUARY 22, 1921 IN BOOK 16 OF MAPS, PAGE 58, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY.

EXCEPTING THEREFROM THAT PORTION THEREOF AS FOLLOWS:  
BEGINNING AT THE SOUTHEAST CORNER OF SAID LOT 10; THENCE NORTH ALONG THE EAST LINE THEREOF, 162 FEET; THENCE WEST, PARALLEL TO THE NORTH LINE OF SAID LOT 10 TO THE WEST LINE THEREOF, THENCE SOUTH ALONG THE WEST LINE TO THE SOUTHWEST CORNER OF SAID LOT; THENCE EASTERLY ALONG THE SOUTHERLY LINE OF SAID LOT TO THE POINT OF BEGINNING.

APN: 093-011-004-000 (0.45AC)

FLOOD ZONE X PER FEMA MAP 06107C0929E EFFECTIVE ON 06/16/2009

DATE OF MAP PREPARATION: 3/31/2021

PROPOSED:

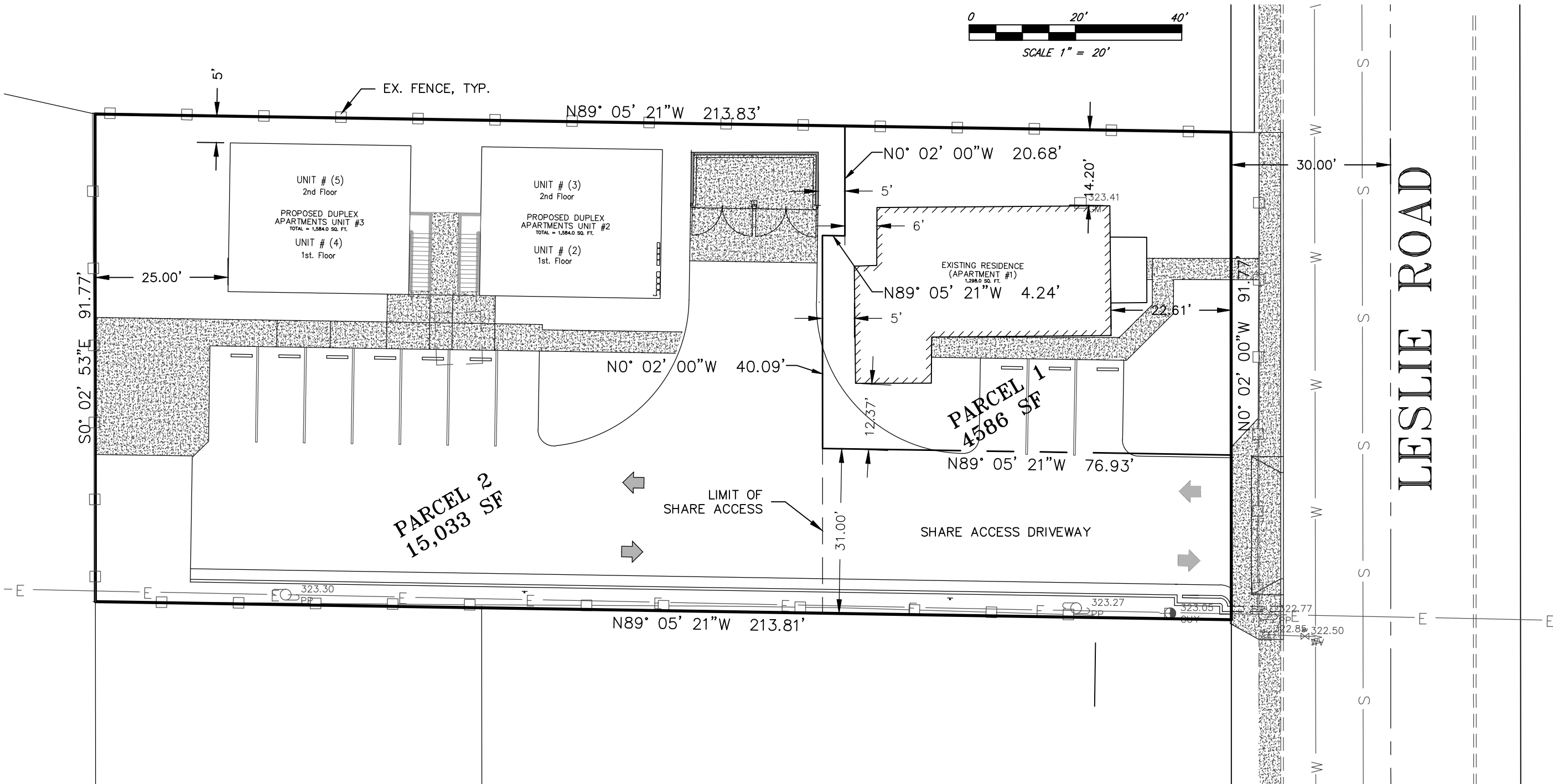
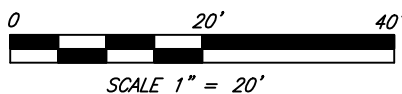
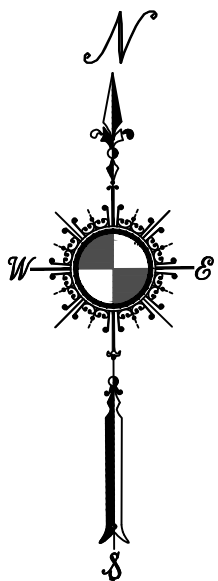
1. PARCEL 1 TO BE SINGLE FAMILY RESIDENTIAL HOME.
2. PARCEL 2 TO BE MULTIFAMILY DUPLEXES.
3. NO PROPOSED FENCE BETWEEN PARCEL 1 & 2.
4. ACCESS DRIVEWAY TO BE SHARED.
5. NO IMPROVEMENT PROPOSED.
6. TOTAL BLDG AREA = 4,466 SF
7. LANDSCAPE AREA = 6,431 SF (33%)
8. PAVED AREA = 7,782 SF
9. # OF PARKING STALL = 10

OWNER'S STATEMENT:

I HEREBY APPLY FOR THE APPROVAL OF A DIVISION OF REAL PROPERTY ON THIS MAP AND CERTIFY THAT I AM THE LEGAL OWNER OF SAID PROPERTY AND THAT THE INFORMATION SHOWN HEREON IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF.

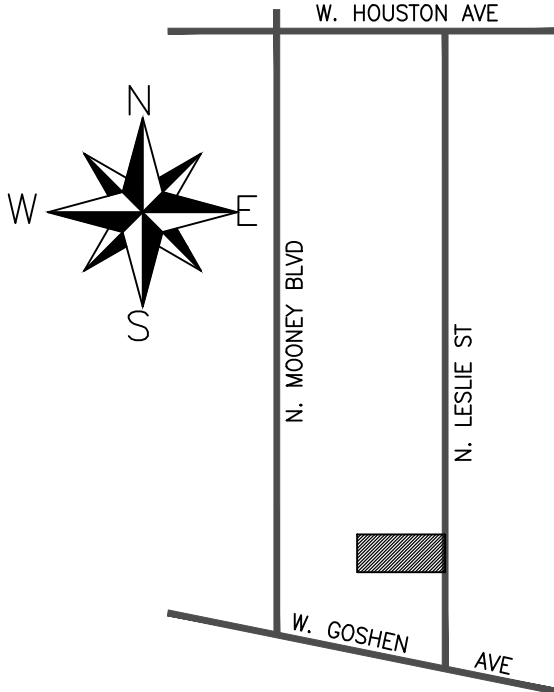
*Octavio Montejano*  
OCTAVIO MONTEJANO  
TORMON GLOBAL, INC

2021/03/31  
DATE



LEGEND:

- RIGHT-OF-WAY LINE
- STREET CENTERLINE
- PROJECT SITE
- PARCEL (EXISTING)
- PARCEL (PROPOSED)
- EASEMENT
- SIDEWALK, CURB, GUTTER
- WATER (EXISTING)
- SEWER (EXISTING)
- ELECTRICAL OVERHEAD (EXISTING)
- CHAIN LINK FENCE (EXISTING)
- CONCRETE SIDEWALK
- POWER POLE
- GUY WIRE
- WATER VALVE



VICINITY MAP  
NTS



# CITY OF VISALIA SITE PLAN REVIEW APPLICATION

- Additional information and assistance in filling out this application can be found at the City of Visalia website ([www.visalia.city](http://www.visalia.city)) or by calling (559) 713-4440-



This application MUST be filled out in its entirety and submitted with an acceptable site plan (see site plan minimum requirements & submittal details on Page 2). Failure to provide all requested information may result in rejection of your application and exclusion from the Site Plan Review agenda.

- Site Plan Review meetings are held on Wednesdays at 9am at City Hall East - 315 E Acequia Ave - Applicant(s) or Representative(s) must be present -

- Application submittal deadline is 4pm on Thursdays to be scheduled for the next available meeting -

Project/Business Name: JESUS LARA - Prop. P.U.D. Date: 4/13/21

Project Description: NEW P.U.D. Development

Site Plan Review Resubmittal: Yes ☒ No ☐ If Resubmittal, Previous Site Plan Review Number: 21-029

Property Owner: JESUS LARA

Applicant(s) Name: JESUS GUTIERREZ

Project Address/Location: 1615 E. FERGUSON AVE., VISALIA, CA.

Assessor Parcel Number: 098-440-034

Parcel Size (Acreage or Square Feet): 1.16 AC. Building or Suite Square Footage: 13,000 SF - TOTAL

Are There Any Proposed Building Modifications: Yes ☒ No ☐

Estimated Cost of Modifications to Building: \$ 30,000

Describe All Proposed Building Modifications: REMOVE PART OF

EXIST. ADU TO ALLOW FOR ACCESS TO  
PROPOSED UNIT, & REAR OF DEVELOPMENT.  
THE BALANCE WILL BE ALL NEW CONSTRUCTION.

--- THIS AREA FOR CITY STAFF USE ONLY ---

Date Received: 04/13/2021

SPR Agenda: 04/21/2021 Item No.         

Zone: R-1-5 SPR No. 21-029

Historic District: Yes ☐ No ☒

Flood Zone: X ☒ AE ☐ X/AE ☐

-- A SEPARATE, DETAILED OPERATIONAL STATEMENT IS HIGHLY RECOMMENDED FOR ALL SUBMITTALS --

Existing/Prior Building Use: EXIST. Single family Residence w/ ADU.

Proposed Building Use: P.U.D.

Proposed Hours of Operation: N/A

Days of Week In Operation (Circle): Su M T W Th F Sa

Number of Employees Per Day: Existing          Proposed         

Number of Customers Per Day (Estimated): Existing N/A Proposed         

Predicted Peak Operating Hour:         

Describe Any Truck Delivery Schedule & Operations:         

Please Identify Any Unique or Specific Traffic Patterns That Will Require Accommodations For Operations, Customers, or Employees

(Provide Separate Attachment if Necessary):         

Describe Any Special Events Planned for the Facility:



## SITE PLAN MINIMUM REQUIREMENTS

- ⇒ Submit a digital copy of the site plan(s) and completed application on a flash drive or equivalent (PDF format preferred, hard paper copies not accepted).
- ⇒ Digital copies must be clear, legible, and on a layout sized appropriately to convey all necessary project information.
- ⇒ Site plan shall provide for and indicate all of the following:
- |  |   |  |
|--|---|--|
| <ul style="list-style-type: none"> <li>- North arrow</li> <li>- All existing &amp; proposed site features</li> <li>- Site dimensions, including building</li> <li>- Existing and proposed fencing at site</li> <li>- Public improvements (curbs, sidewalks, utility poles, hydrants, street lights, etc.)</li> </ul> | <ul style="list-style-type: none"> <li>- Existing &amp; proposed structures</li> <li>- Adjacent street names</li> <li>- Refuse enclosures &amp; containers</li> <li>- Valley oak trees (show drip line)</li> <li>- Existing &amp; proposed landscaping</li> <li>- Parking stalls (include ADA)</li> </ul> | <ul style="list-style-type: none"> <li>- Loading/unloading areas</li> <li>- Accessible path of travel from right of way</li> <li>- Accessible path of travel from ADA stall</li> <li>- Location and width of drive approaches to site</li> <li>- Tentative maps shall adhere to requirements of Visalia Municipal Code Section 16</li> </ul> |
|--|---|--|

Applicant Information (Final comments will be mailed to the name and address provided below)

Name: JESUS GUTIERREZ, SIKUAB Signature of Owner or Authorized Agent\*

Address: 1004 W. MAIN ST. #A X Date \_\_\_\_\_

City, State, Zip VISALIA, CA. 93291 Owner \_\_\_\_\_

Phone: (559) 280-0909 Authorized Agent\* \_\_\_\_\_

Email: SIKUAB1004@SBCGLOBAL.NET Date 4/13/21

\* If signed by an authorized agent, the "Agency Authorization" information below must be completed for this application to be considered acceptable.

## AGENCY AUTHORIZATION

OWNER:

I, JESUS LARA, declare as follows; I am the owner of certain real property bearing assessor's parcel number (APN):

098-440-034

AGENT:

I designate JESUS GUTIERREZ (SIKUAB) to act as my duly authorized agent for all purposes necessary to file an application for, and obtain a permit to NEW P.U.D relative to the property mentioned herein.

I declare under penalty of perjury the foregoing is true and correct.

Executed this 25 day of FEBRUARY, 2021.

OWNER	AGENT
<p><u>X</u></p> <p>Signature of Owner</p> <p><u>1615 E. FERGUSON AVE.</u></p> <p>Owner Mailing Address</p> <p><u>VISALIA, CA. 93292</u></p> <p><u>(559) 679-4710</u></p> <p>Owner Phone Number</p>	<p><u>[Signature]</u></p> <p>Signature of Agent</p> <p><u>1004 W. MAIN ST. #A</u></p> <p>Agent Mailing Address</p> <p><u>VISALIA, CA. 93291</u></p> <p><u>(559) 280-0909</u></p> <p>Agent Phone Number</p>



PROJECT DESCRIPTION:  
NEW P.U.D. DEVELOPMENT

OWNER: JESUS LARA  
PHONE NUMBER: (559)679-4710  
OWNER ADDRESS: 1615 E. FERGUSON AVE.  
VISALIA, CA. 93292  
SITE ADDRESS: 1615 E.FERGUSON AVE.  
VISALIA, CA.93292  
APN: 098-440-034  
FLOOD ZONE: "X"  
ZONING: R-1-5  
REFUSE: REFUSE ENCLOSURE & CONTAINERS  
MAINTENANCE: HOA  
STORM WATER: DRAIN TO STREET

SITE/PROJECT DATA

2B

PL	PROPERTY LINE	W.M.	WATER METER
L	CENTER LINE	P.P.	POWER POLE
(E)	EXISTING	F/H	FIRE HYDRANT
(N)	NEW	STDS.	STANDARDS
(P)	PROPOSED	DTL.	DETAIL
W/	WITH	V.T.R.	VENT THROUGH ROOF
S	SEWER	C.O.	CLEAN OUT
W	WATER	CW	COLD WATER
W.I.	WROUGHT IRON	HW	HOT WATER
C.J.	CEILING JOIST	TYP.	TYPICAL
F.J.	FLOOR JOIST	STL.	STEEL
O.C.	ON CENTER		
BM.	BEAM		
W/H	WATER HEATER		

AVREBBIATIONS

3B

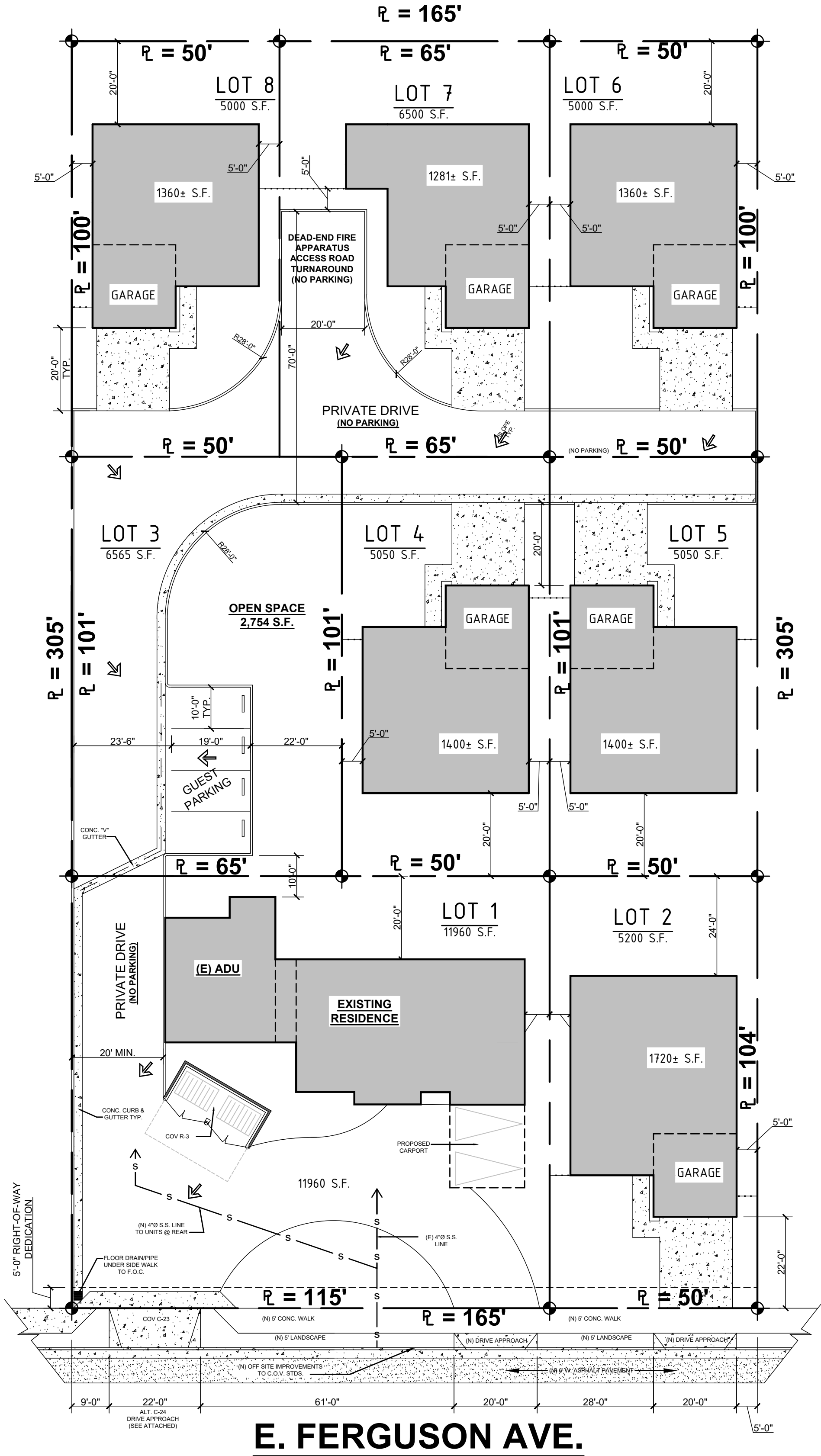


SITE  
SUBJECT



VICINITY MAP

N.T.S.



E. FERGUSON AVE.



SCALE: 1"=20'-0"

SITE PLAN

G1- SITE/PROJECT DATA, SITE PLAN, VICINITY MAP  
& GENERAL NOTES

SHEET INDEX

1. DIMENSIONS SHALL TAKE PRECEDENCE OVER  
SCALE.

2. CONTRACTOR IS RESPONSIBLE FOR ALL DIMENSIONS, WORK OR COMPLIANCE, REGULATIONS, CODES SET FORTH BY ANY AGENCY, & TO FOLLOW THE 2019 C.B.C. & 2019 C.R.C. CHECK ALL DIMENSIONS AT THE JOB SITE & REPORT ANY DISCREPANCIES TO THE CONTRACTOR/JOB SUPERINTENDENT. ANY DAMAGE TO EXISTING PROPERTY THAT MAY OCCUR DURING CONSTRUCTION SHALL BE REPAIRED OR REPLACED.  
3. JOB CARD REQUIRED TO BE AVAILABLE FOR SIGNATURE AT JOB SITE.  
4. CHANGES FROM THE APPROVED PLANS DURING CONSTRUCTION OTHER THAN 1) CABINET CHANGES WHEN NOT BEING SUPPORTED ENTIRELY BY THE ROOF STRUCTURE, 2) INTERIOR DOOR AND FIREPLACE RELOCATION SHOWN ON THE APPROVED PLAN, 3) A SINGLE NON-BEARING WALL RELOCATION WHEN NOT CREATING AN ADDITIONAL ROOM, AND 4) INTERIOR NONSTRUCTURAL WALL FINISHES; SHALL CAUSE PLAN APPROVAL AND CONSTRUCTION TO BE SUSPENDED. A NEW PLAN CHECK (FOR A NEW PLAN SHOWING CHANGES) WILL BE SUBMITTED FOR REVIEW AND APPROVAL THROUGH THE NORMAL PLAN CHECK PROCESS.  
5. SITE ADDRESS (2019 C.R.C. SECTION R319.1): BUILDINGS SHALL HAVE APPROVED ADDRESS NUMBERS, BUILDING NUMBERS OR APPROVED BUILDING IDENTIFICATION PLACED IN A POSITION THAT IS PLAINLY LEGIBLE & VISIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY. THESE NUMBERS SHALL CONTRAST WITH THEIR BACKGROUND. ADDRESS NUMBERS SHALL BE ARABIC OR ALPHABETICAL LETTERS. NUMBERS SHALL BE A MINIMUM OF 4 INCHES HIGH WITH A MINIMUM STROKE WIDTH OF 1/2 INCH. WHERE ACCESS IS BY MEANS OF A PRIVATE ROAD & THE BUILDING ADDRESS CANNOT BE VIEWED FROM THE PUBLIC WAY, A MONUMENT, POLE OR OTHER SIGN OR MEANS SHALL BE USED TO IDENTIFY THE STRUCTURE.  
6. SUITABLE TOILET(S) SHALL BE PROVIDED & MAINTAINED IN A SANITARY CONDITION FOR THE USE OF WORKERS DURING CONSTRUCTION (2019 C.P.C., SECTION 422.5).  
7. FIRE SPRINKLERS SHALL BE DESIGNED BY A C-16 CONTRACTOR OR A COMBINED C-16/C-36 CONTRACTOR OR A REGISTERED PROFESSIONAL ENGINEER IN ACCORDANCE WITH THE FOLLOWING CODES: 2019 CALIFORNIA FIRE CODE (SECTION 903), 2019 CALIFORNIA RESIDENTIAL CODE (SECTION R313), 2019 N.F.P.A. 13 (SECTION 8.4.3), 2019 N.F.P.A. 13D, 2019 CALIFORNIA ELECTRICAL CODE ARTICLE 760, 2019 N.F.P.A. 72 CHAPTER 29 & CALIFORNIA HEALTH & SAFETY CODE 13114.7, AND ALL MANUFACTURER SPECIFICATIONS. SEPARATE PERMITS AND SUBMITTALS REQUIRED FOR ALL AUTOMATIC SPRINKLER SYSTEMS.  
8. C.R.C. 401.3 DRAINAGE: SURFACE DRAINAGE SHALL BE DIVERTED TO A STORM SEWER CONVEYANCE OR OTHER APPROVED POINT OF COLLECTION THAT DOES NOT CREATE A HAZARD. LOTS SHALL BE GRADED TO DRAIN SURFACE WATER AWAY FROM FOUNDATION WALLS. THE GRADE SHALL FALL A MINIMUM OF 6 INCHES WITHIN THE FIRST 10 FEET.  
EXCEPTION: WHERE LOT LINES, WALLS, SLOPES OR OTHER PHYSICAL BARRIERS PROHIBIT 6 INCHES OF FALL WITHIN 10 FEET, DRAINS OR SWALES SHALL BE CONSTRUCTED TO ENSURE DRAINAGE AWAY FROM THE STRUCTURE. IMPERVIOUS SURFACES WITHIN 10 FEET OF THE BUILDING FOUNDATION SHALL BE SLOPED A MINIMUM OF 2 PERCENT AWAY FROM THE BUILDING.

ALL WORK MATERIAL ON THIS PROJECT SHALL BE IN CONFORMANCE WITH THE FOLLOWING CODES AS ADOPTED AND AMENDED BY THE CITY BUILDING OFFICE. NOTHING IN THESE DOCUMENT IS TO BE CONSTRUED AS TO PERMIT ANY WORK OR PRODUCT NOT IN ACCORDANCE WITH THESE CODES:  
1. CALIFORNIA RESIDENTIAL CODE (C.R.C., 2019 EDITION)  
2. THE 2019 CALIFORNIA BUILDING STANDARDS CODE (CC-TITLE-24 & 25)  
3. CALIFORNIA BUILDING CODE (C.B.C., 2019 EDITION)  
4. CALIFORNIA PLUMBING CODE (C.P.C., 2019 EDITION)  
5. CALIFORNIA MECHANICAL CODE (C.M.C., 2019 EDITION)  
6. CALIFORNIA FIRE CODE (C.F.C., 2019 EDITION)  
7. CALIFORNIA ELECTRICAL CODE (C.E.C., 2019 EDITION)  
8. CALIFORNIA ENERGY CODE (2019 C.E.C. STANDARDS)  
9. CALIFORNIA GREEN BUILDING STANDARDS CODE (C.G.C., 2019 EDITION)  
THESE CONSTRUCTION DOCUMENTS HAVE BEEN PREPARED IN CONFORMANCE WITH THE ABOVE REGULATIONS AND CODES. THE CONTRACTOR AND SUB-CONTRACTOR(S) MUST BE FAMILIAR WITH ALL REGULATIONS AFFECTING THEIR PORTION OF THE WORK. SKYLAB INC., A RESIDENTIAL DESIGN COMPANY ASSUMES NO RESPONSIBILITY FOR SUBCONTRACTOR(S) CONFORMANCE TO THE ABOVE CODES AND REGULATIONS.  
THESE PLANS WERE PREPARED UNDER THE CONVENTIONAL FRAMING PROVISIONS OF THE 2019 CALIFORNIA BUILDING CODE, SECTION 2308 & THE CALIFORNIA RESIDENTIAL CODE.

GENERAL NOTES

4F

Jesus R. Gutierrez, President  
**SKYLAB, Inc.**  
RESIDENTIAL DESIGNS  
1004 W. Main St. Suite A  
Visalia, Ca. 93291  
Ph. (559) 625-9150  
Fax (559) 625-9153  
skylab1004@sbcglobal.net

This is an unpublished work and may not be duplicated, published or otherwise used in whole or part without written consent of Skylab Residential Designs

REVISIONS	

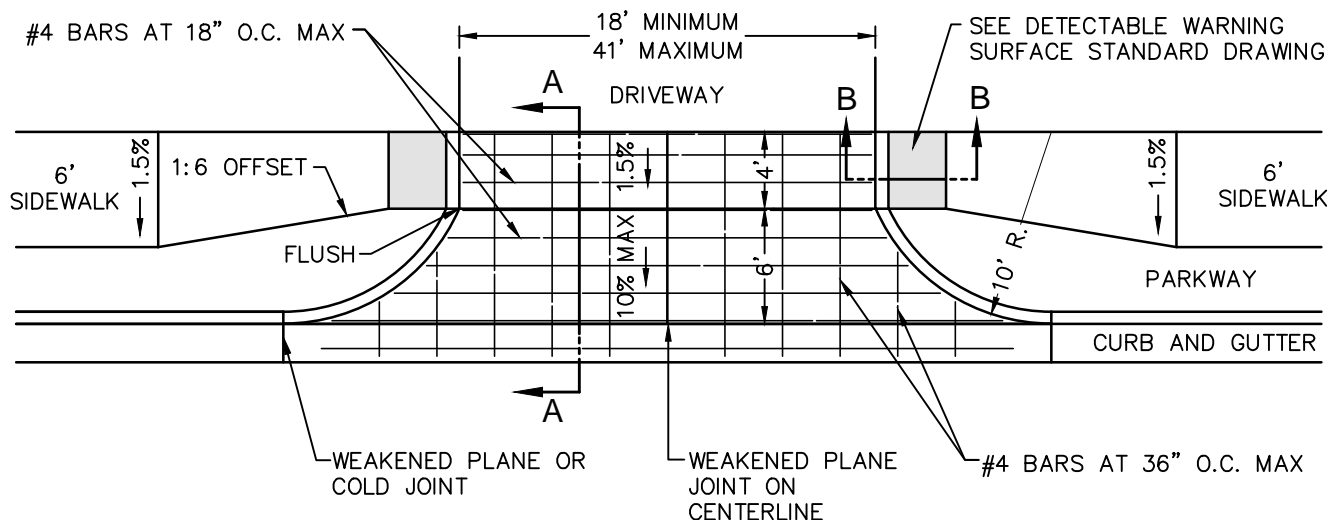
NEW P.D.U. DEVELOPMENT  
**JESUS LARA**  
1615 E. FERGUSON AVE. VISALIA, CA. 93292  
**DO NOT SCALE**

Date: 01/07/2021  
Drawn by: A.T.  
Checked by: J.G.  
Scale: AS NOTED  
Job #  
Sheet

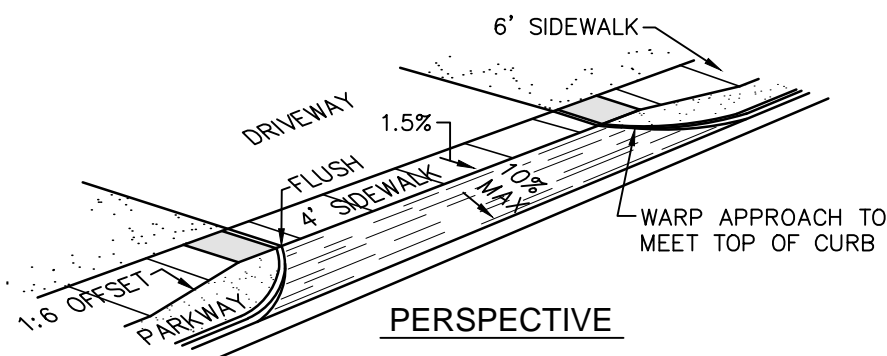
**G1**

PDF 04-12-2021

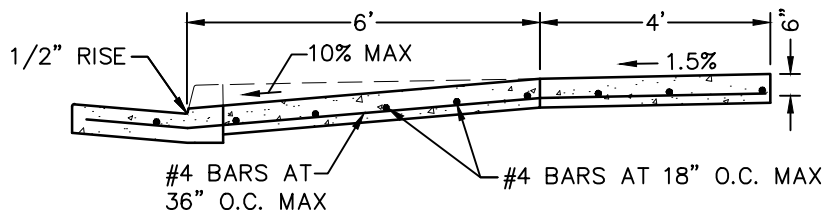




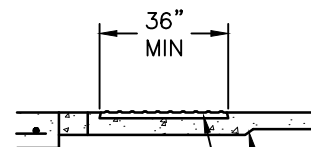
PLAN



PERSPECTIVE



SECTION A-A



DETECTABLE WARNING  
SURFACE PANEL ACROSS  
WIDTH OF WALK. FEDERAL  
YELLOW IN COLOR.

THICKEN WALK 1"  
UNDER DETECTABLE  
WARNING SURFACE FOR  
CAST IN PLACE  
CONSTRUCTION OPTION.

SECTION B-B

NOTES:

1. ALL CONCRETE SHALL BE CLASS 3 CONCRETE.
2. ON COLLECTOR AND ARTERIAL STREETS, THE MINIMUM DRIVE APPROACH WIDTH SHALL BE 21' FOR ONE-WAY DRIVE APPROACHES AND 36' FOR TWO-WAY DRIVE APPROACHES, OR AS APPROVED BY CITY ENGINEER.
3. REBAR SHALL BE DEFORMED STEEL BARS AND SHALL BE GRADE 40 MINIMUM. REBAR SHALL BE FREE OF RUST OR DIRT AND SHALL BE THOROUGHLY CLEANED BEFORE PLACEMENT.
4. REBAR SHALL HAVE A MINIMUM OF 2" OF CLEAR COVERAGE.
5. NOT MORE THAN 50% OF PROPERTY FRONTAGE SHALL BE USED AS DRIVE APPROACH.
6. WIDTH AND LOCATION OF DRIVE APPROACHES ON STATE ROUTES IS SUBJECT TO APPROVAL BY CALTRANS.

APPROVED BY:

*[Signature]*  
CITY ENGINEER R.P.E. 81734

09/16/16  
DATE

CITY OF VISALIA  
DESIGN & IMPROVEMENT STANDARDS

OFFICE/COMMERCIAL DRIVE APPROACH  
(ALTERNATIVE – WITH CURB RETURNS)

REVISIONS  
09/15/16  
BK 2016

C-24



# CITY OF VISALIA SITE PLAN REVIEW APPLICATION



- Additional information and assistance in filling out this application can be found at the City of Visalia website (www.visalia.city) or by calling (559) 713-4440.

This application MUST be filled out in its entirety and submitted with an acceptable site plan (see site plan minimum requirement details below). Failure to provide all requested information may result in rejection of your application and exclusion from the Site Plan Review agenda.

- Site Plan Review meetings are held on Wednesdays at 9am at City Hall East - 315 E Acequia Ave - Applicant(s) or Representative(s) must be present.

- Application submittal deadline is 4pm on Thursdays to be scheduled for the next available meeting.

GENERAL PROJECT INFORMATION

Project/Business Name: Da City Date: 4/15/2021

Project Description: Event Rental / Fitness center

Site Plan Review Resubmittal: Yes ☐ No ☒ If Resubmittal, Previous Site Plan Review Number: 2021-054

Property Owner: Chuck Lovenburg

Applicant(s) Name: Kristen Jones

Project Address/Location: 717 S. Bridge St Visalia Ca 93277

Assessor Parcel Number: 097-075-006

Parcel Size (Acreage or Square Feet): \_\_\_\_\_ Building or Suite Square Footage: FRONT 1200 / BACK 1200

Are There Any Proposed Building Modifications: Yes ☐ No ☒

Estimated Cost of Modifications to Building: \$ \_\_\_\_\_

Describe All Proposed Building Modifications: \_\_\_\_\_

--- THIS AREA FOR CITY STAFF USE ONLY ---

Date Received: 4/15/21

SPR Agenda: 4/21/21 Item No. \_\_\_\_\_

Zone: C-S SPR No. 21-054

Historic District: Yes ☐ No ☒

Flood Zone: X ☐ AL ☒ X/AE ☐

-- A SEPARATE, DETAILED OPERATIONAL STATEMENT IS HIGHLY RECOMMENDED FOR ALL SUBMITTALS --

OPERATIONS & TRAFFIC INFORMATION

Existing/Prior Building Use: Church

Proposed Building Use: Event Rental

Proposed Hours of Operation: 7am - 10pm

Days of Week In Operation (Circle): su mo tu we th fr sa

Number of Employees Per Day: Existing \_\_\_\_\_ Proposed 2

Number of Customers Per Day (Estimated): Existing \_\_\_\_\_ Proposed \_\_\_\_\_

Predicted Peak Operating Hour: \_\_\_\_\_

Describe Any Truck Delivery Schedule & Operations: \_\_\_\_\_

\_\_\_\_\_

Please Identify Any Unique or Specific Traffic Patterns That Will Require Accommodations For Operations, Customers, or Employees

(Provide Separate Attachment if Necessary) \_\_\_\_\_

\_\_\_\_\_

Describe Any Special Events Planned for the Facility: \_\_\_\_\_

\_\_\_\_\_

Page 1 of 2 - Application continues on back of this page

SUBMIT APPLICATION TO: CITY OF VISALIA COMMUNITY DEVELOPMENT DEPT - 315 E ACEQUIA AVE - VISALIA CA 93291  
IF ANY QUESTIONS, PLEASE CALL THE CITY OF VISALIA AT (559) 713-4440

<b>SITE PLAN REQUIREMENTS</b>	<p style="text-align: center;"><b>SITE PLAN MINIMUM REQUIREMENTS</b></p> <p>→ Plans must be clear, legible, and on a sheet size appropriate to easily convey all necessary project information. Suggested minimum sheet size for site plans is 11"x17" (Excludes tentative parcel and final maps)</p> <p>→ Site plan shall provide for and indicate all of the following:</p> <table style="width: 100%; border: none;"> <tr> <td style="vertical-align: top;"> <ul style="list-style-type: none"> <li>- North arrow</li> <li>- All existing &amp; proposed site features</li> <li>- Site dimensions, including building</li> <li>- Existing and proposed fencing at site</li> <li>- Public improvements (curbs, sidewalks, utility poles, hydrants, street lights, etc.)</li> </ul> </td> <td style="vertical-align: top;"> <ul style="list-style-type: none"> <li>- Existing &amp; proposed structures</li> <li>- Adjacent street names</li> <li>- Refuse enclosures &amp; containers</li> <li>- Valley oak trees (show drip line)</li> <li>- Existing &amp; proposed landscaping</li> <li>- Parking stalls (include ADA)</li> </ul> </td> <td style="vertical-align: top;"> <ul style="list-style-type: none"> <li>- Loading/unloading areas</li> <li>- Accessible path of travel from right of way</li> <li>- Accessible path of travel from ADA stall</li> <li>- Location and width of drive approaches to site</li> <li>- Tentative maps shall adhere to requirements of Visalia Municipal Code Section 16</li> </ul> </td> </tr> </table> <p>→ Submit 20 copies of the site plan with this application, folded to a legal size of 8" x 12" with the print on the outside (no rolled plans)</p>	<ul style="list-style-type: none"> <li>- North arrow</li> <li>- All existing &amp; proposed site features</li> <li>- Site dimensions, including building</li> <li>- Existing and proposed fencing at site</li> <li>- Public improvements (curbs, sidewalks, utility poles, hydrants, street lights, etc.)</li> </ul>	<ul style="list-style-type: none"> <li>- Existing &amp; proposed structures</li> <li>- Adjacent street names</li> <li>- Refuse enclosures &amp; containers</li> <li>- Valley oak trees (show drip line)</li> <li>- Existing &amp; proposed landscaping</li> <li>- Parking stalls (include ADA)</li> </ul>	<ul style="list-style-type: none"> <li>- Loading/unloading areas</li> <li>- Accessible path of travel from right of way</li> <li>- Accessible path of travel from ADA stall</li> <li>- Location and width of drive approaches to site</li> <li>- Tentative maps shall adhere to requirements of Visalia Municipal Code Section 16</li> </ul>							
<ul style="list-style-type: none"> <li>- North arrow</li> <li>- All existing &amp; proposed site features</li> <li>- Site dimensions, including building</li> <li>- Existing and proposed fencing at site</li> <li>- Public improvements (curbs, sidewalks, utility poles, hydrants, street lights, etc.)</li> </ul>	<ul style="list-style-type: none"> <li>- Existing &amp; proposed structures</li> <li>- Adjacent street names</li> <li>- Refuse enclosures &amp; containers</li> <li>- Valley oak trees (show drip line)</li> <li>- Existing &amp; proposed landscaping</li> <li>- Parking stalls (include ADA)</li> </ul>	<ul style="list-style-type: none"> <li>- Loading/unloading areas</li> <li>- Accessible path of travel from right of way</li> <li>- Accessible path of travel from ADA stall</li> <li>- Location and width of drive approaches to site</li> <li>- Tentative maps shall adhere to requirements of Visalia Municipal Code Section 16</li> </ul>									
<b>REQUIRED SIGNATURE</b>	<p>Applicant Information (Final comments will be mailed to the name and address provided below)</p> <table style="width: 100%; border: none;"> <tr> <td style="width: 40%;">Name: <u>Keirsten Jones</u></td> <td style="width: 60%;">Signature of Owner or Authorized Agent*</td> </tr> <tr> <td>Address: <u>17465 Idaho Ave</u></td> <td></td> </tr> <tr> <td>City, State, Zip: <u>Lemoore Ca 93245</u></td> <td>Owner _____ Date _____</td> </tr> <tr> <td>Phone: <u>559 731 5081</u></td> <td></td> </tr> <tr> <td>Email: <u>keirsten99@yahoo.com</u></td> <td>Authorized Agent* _____ Date _____</td> </tr> </table> <p style="font-size: small;">* If signed by an authorized agent, the "Agency Authorization" information below must be completed for this application to be considered acceptable.</p>	Name: <u>Keirsten Jones</u>	Signature of Owner or Authorized Agent*	Address: <u>17465 Idaho Ave</u>		City, State, Zip: <u>Lemoore Ca 93245</u>	Owner _____ Date _____	Phone: <u>559 731 5081</u>		Email: <u>keirsten99@yahoo.com</u>	Authorized Agent* _____ Date _____
Name: <u>Keirsten Jones</u>	Signature of Owner or Authorized Agent*										
Address: <u>17465 Idaho Ave</u>											
City, State, Zip: <u>Lemoore Ca 93245</u>	Owner _____ Date _____										
Phone: <u>559 731 5081</u>											
Email: <u>keirsten99@yahoo.com</u>	Authorized Agent* _____ Date _____										
<b>AGENCY AUTHORIZATION FORM</b>	<p style="text-align: center;"><b>AGENCY AUTHORIZATION</b></p> <p><b>OWNER:</b></p> <p>I, _____, declare as follows: I am the owner of certain real property bearing assessor's parcel number (APN): _____</p> <p><b>AGENT:</b></p> <p>I designate _____ to act as my duly authorized agent for all purposes necessary to file an application for, and obtain a permit to _____ relative to the property mentioned herein.</p> <p>I declare under penalty of perjury the foregoing is true and correct.</p> <p>Executed this _____ day of _____, 20____.</p> <table border="1" style="width: 100%; border-collapse: collapse; margin-top: 10px;"> <thead> <tr> <th style="width: 50%; text-align: center;">OWNER</th> <th style="width: 50%; text-align: center;">AGENT</th> </tr> </thead> <tbody> <tr> <td style="height: 40px; vertical-align: bottom;">Signature of Owner</td> <td style="height: 40px; vertical-align: bottom;">Signature of Agent</td> </tr> <tr> <td style="height: 40px; vertical-align: bottom;">Owner Mailing Address</td> <td style="height: 40px; vertical-align: bottom;">Agent Mailing Address</td> </tr> <tr> <td style="height: 40px; vertical-align: bottom;">Owner Phone Number</td> <td style="height: 40px; vertical-align: bottom;">Agent Phone Number</td> </tr> </tbody> </table>	OWNER	AGENT	Signature of Owner	Signature of Agent	Owner Mailing Address	Agent Mailing Address	Owner Phone Number	Agent Phone Number		
OWNER	AGENT										
Signature of Owner	Signature of Agent										
Owner Mailing Address	Agent Mailing Address										
Owner Phone Number	Agent Phone Number										



## Operational Statement

I Kristen Jones, plan to run and operate Da City llc. I plan to hire two employees in the future to help with sanitation and maintaining the building.

I would like to be able to hold small fitness classes in the building. These classes will be about an hour long about three times a day. They will be held early morning to mid afternoon. I will leave an hour between classes to be able to clean the space. I will have no more than 20 people per class. I will outsource an instructor for these classes.

I would also like to hold small events at the building. I plan to rent the space out to those who wish to have a small gathering. I will keep the building capacity to no more than 50 people due to limited parking. These gathering will be held on weekends ranging from 2 to 6 hours.

The building has room for 1 handy cap parking spot and 7 regular spots. The building next to mine has an additional 12 parking spots that the owner agreed to let me use. This building is not operating at the moment. I will paint out the parking spots as well as bring the handy cap parking spot up to code.

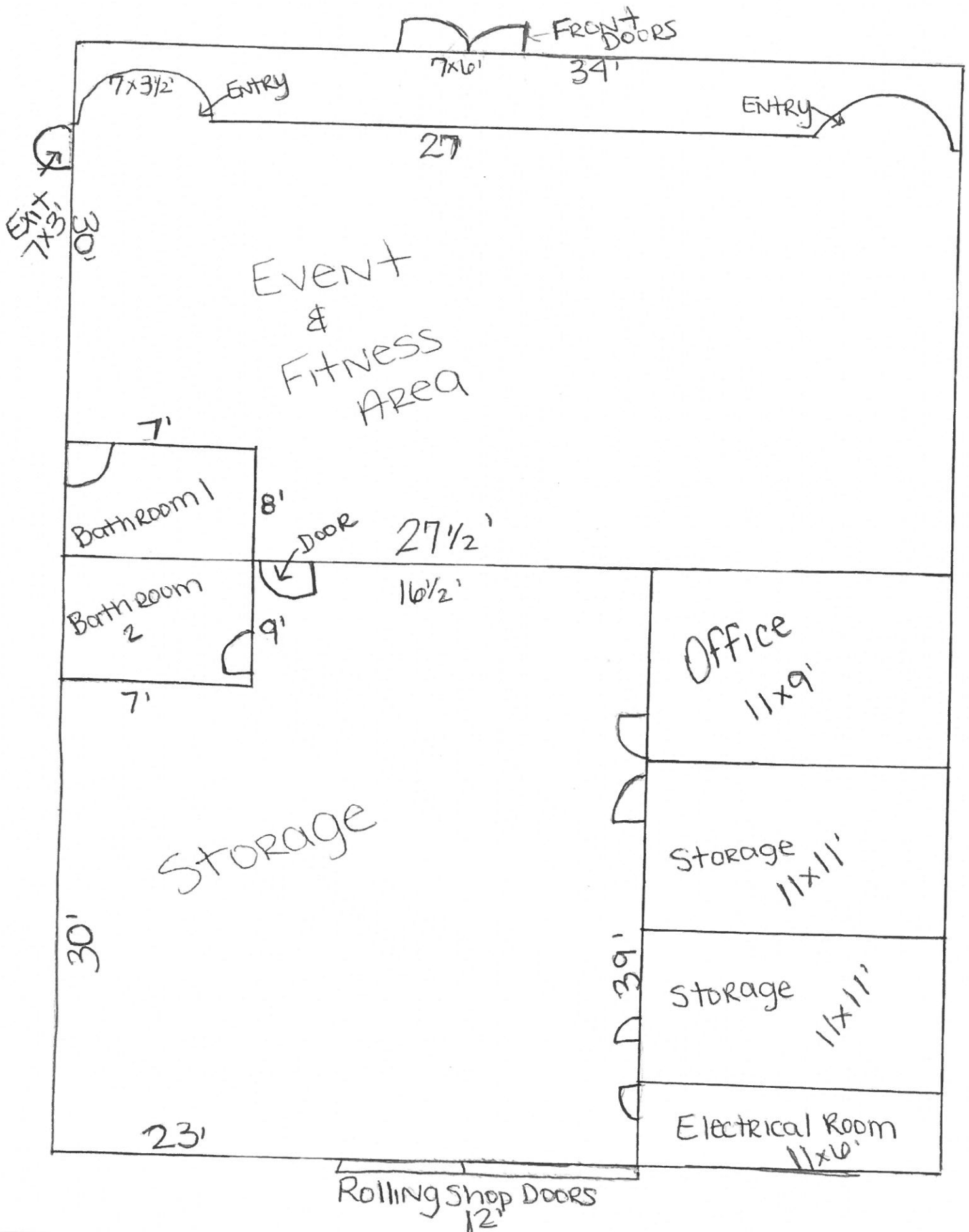
The building has 2 fully functioning bathrooms. Both are completely handy cap accessible. The whole building is handy cap accessible.

The back half of the building will be used as storage. If anything were to change I will notify the city and take the appropriate steps. The building is split in half with a door leading from one side to the other. This door can be locked if need be.

I do have a security system ran through out the whole building. My exit doors open out and I have panic bars on the doors. I have up to date fire extinguishers as well as several fire alarms. I have ordered a Knox box and will install once I get the okay.

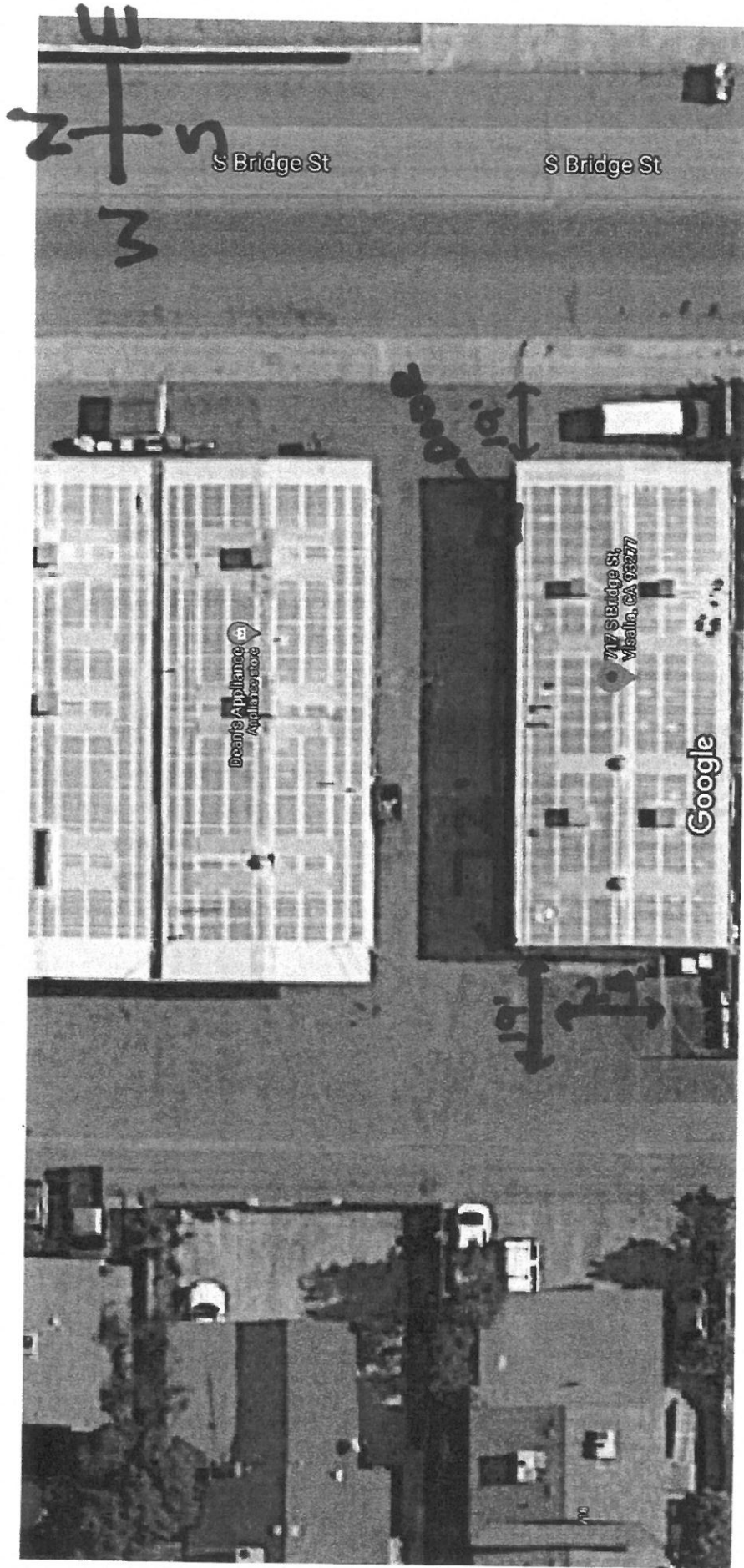
Kristen Jones  
5597315081  
jkristen89@yahoo.com

717 S. BRIDGE ST VISALIA 93277





Google Maps 717 S Bridge St



Front of building to sidewalk 19'  
 Side door to end of building 72'  
 Back of building to end of property 19'  
 Back of building from North to south 24'

# CITY OF VISALIA SITE PLAN REVIEW APPLICATION

- Additional information and assistance in filling out this application can be found at the City of Visalia website ([www.visalia.city](http://www.visalia.city)) or by calling (559) 713-4440-



This application MUST be filled out in its entirety and submitted with an acceptable site plan (see site plan minimum requirements & submittal details on Page 2). Failure to provide all requested information may result in rejection of your application and exclusion from the Site Plan Review agenda.

- Site Plan Review meetings are held on Wednesdays at 9am at City Hall East - 315 E Acequia Ave - Applicant(s) or Representative(s) must be present -

- Application submittal deadline is 4pm on Thursdays to be scheduled for the next available meeting -

GENERAL PROJECT INFORMATION

Project/Business Name: \_\_\_\_\_ Date: 04/15/21

Project Description: \_\_\_\_\_

Site Plan Review Resubmittal: Yes ☐ No ☐ If Resubmittal, Previous Site Plan Review Number: \_\_\_\_\_

Property Owner: \_\_\_\_\_

Applicant(s) Name: \_\_\_\_\_

Project Address/Location: \_\_\_\_\_

Assessor Parcel Number: \_\_\_\_\_

Parcel Size (Acreage or Square Feet): \_\_\_\_\_ Building or Suite Square Footage: \_\_\_\_\_

Are There Any Proposed Building Modifications: Yes ☐ No ☐

Estimated Cost of Modifications to Building: \$ \_\_\_\_\_

Describe All Proposed Building Modifications: \_\_\_\_\_

--- THIS AREA FOR CITY STAFF USE ONLY ---

Date Received: \_\_\_\_\_

SPR Agenda: \_\_\_\_\_ Item No. \_\_\_\_\_

Zone: \_\_\_\_\_ SPR No. \_\_\_\_\_

Historic District: Yes ☐ No ☐

Flood Zone: X ☐ AE ☐ X/AE ☐

-- A SEPARATE, DETAILED OPERATIONAL STATEMENT IS HIGHLY RECOMMENDED FOR ALL SUBMITTALS --

OPERATIONS & TRAFFIC INFORMATION

Existing/Prior Building Use: \_\_\_\_\_

Proposed Building Use: \_\_\_\_\_

Proposed Hours of Operation: \_\_\_\_\_

Days of Week In Operation (Circle): Su M T W Th F Sa

Number of Employees Per Day: Existing \_\_\_\_\_ Proposed \_\_\_\_\_

Number of Customers Per Day (Estimated): Existing \_\_\_\_\_ Proposed \_\_\_\_\_

Predicted Peak Operating Hour: \_\_\_\_\_

Describe Any Truck Delivery Schedule & Operations: \_\_\_\_\_

Please Identify Any Unique or Specific Traffic Patterns That Will Require Accommodations For Operations, Customers, or Employees

(Provide Separate Attachment if Necessary): \_\_\_\_\_

Describe Any Special Events Planned for the Facility: \_\_\_\_\_



### SITE PLAN MINIMUM REQUIREMENTS

SITE PLAN REQUIREMENTS

- ⇒ Submit a digital copy of the site plan(s) and completed application on a flash drive or equivalent (PDF format preferred, hard paper copies not accepted).
- ⇒ Digital copies must be clear, legible, and on a layout sized appropriately to convey all necessary project information.
- ⇒ Site plan shall provide for and indicate all of the following:
- |  |                                     |  |
|--|-------------------------------------|--|
| - North arrow  | - Existing & proposed structures    | - Loading/unloading areas  |
| - All existing & proposed site features  | - Adjacent street names             | - Accessible path of travel from right of way                                      |
| - Site dimensions, including building  | - Refuse enclosures & containers    | - Accessible path of travel from ADA stall   |
| - Existing and proposed fencing at site  | - Valley oak trees (show drip line) | - Location and width of drive approaches to site                                   |
| - Public improvements (curbs, sidewalks, utility poles, hydrants, street lights, etc.) | - Existing & proposed landscaping   | - Tentative maps shall adhere to requirements of Visalia Municipal Code Section 16 |
|  | - Parking stalls (include ADA)      |  |

REQUIRED SIGNATURE

Applicant Information (Final comments will be mailed to the name and address provided below)

Name: _____	Signature of Owner or Authorized Agent*	
Address: _____	Owner _____	Date _____
City, State, Zip _____	<i>Wendy Nichols</i>	
Phone: _____	Authorized Agent*	Date _____
Email: _____		

\* If signed by an authorized agent , the "Agency Authorization" information below must be completed for this application to be considered acceptable.

### AGENCY AUTHORIZATION

AGENCY AUTHORIZATION FORM

OWNER:

(attached)

I, \_\_\_\_\_, declare as follows; I am the owner of certain real property bearing assessor's parcel number (APN):

AGENT:

I designate \_\_\_\_\_, to act as my duly authorized agent for all purposes necessary to file an application for, and obtain a permit to \_\_\_\_\_ relative to the property mentioned herein.

I declare under penalty of perjury the foregoing is true and correct.

Executed this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_.

<u>OWNER</u>	Signatures	<u>AGENT</u>
Signature of Owner		Signature of Agent
Owner Mailing Address		Agent Mailing Address
Owner Phone Number		Agent Phone Number

**AGENCY AUTHORIZATION**

**OWNER:**

I, Dr. Gerold Fein, dba, Valley Oaks Shopping Center, L.P., declare as follows:

I am the owner of certain real property bearing assessor's parcel number (APN):

121-070-086 aka 2335 S. Mooney Blvd, Visalia, CA

**AGENT:**

I designate Wendy Nichols, JCW Development, to act as my duly authorized agent for all purposes necessary to file an application for, and obtain a permit to remodel referenced property into a "Plasma Collection Facility (please refer to attached Operating Summary) relative to the property mentioned herein. (Action Sought)

I declare under penalty of perjury the following is true and correct.

Executed 3 day of February, 2021.

**OWNER**

Valley Oaks Shopping Center L.P.

DocuSigned by:

Dr. Gerold Fein

By: Dr. Gerold Fein 2/2/2021

**AGENT**

JCW Development

DocuSigned by:

Wendy Nichols

By: Wendy Nichols 2/2/2021

Valley Oaks Shopping Center L.P.  
c/o Pan American, Rick Hoegler  
174 Irvine Blvd #100  
Tustin, CA 92780  
(Rick) 714/640-9268

[rjh@papinc.com](mailto:rjh@papinc.com)

JCW Development  
c/o Wendy Nichols  
100 Tower Drive  
Beaver Dam, WI 53916  
920/356-1255

[wnichols@jcwdev.net](mailto:wnichols@jcwdev.net)

**APPROVED:**

CITY OF VISALIA

By: \_\_\_\_\_  
(Signature)

Date: \_\_\_\_\_

\*Note: Attach acknowledgment of signature(s) by Notary Public if executed outside the State of California.



State of WI - County of Dodge  
Subscribed and sworn to before me this 3rd day of February, 2021. Notary Public: [Signature]  
my commission expires 1-28-24



PROPOSED REDEVELOPMENT FOR:
BIOLIFE PLASMA SERVICES
VISALIA,
EXCEL ENGINEERING LEGEND

Table with 3 columns: Symbol, Description, and Notes. Includes symbols for spot elevations, existing features, proposed features, and various engineering notes.

LANE ENGINEERS LEGEND

Table with 3 columns: Symbol, Description, and Notes. Includes symbols for wet utilities, dry utilities, utility linetypes, and general symbols.

LANE ENGINEERS, INC SURVEY NOTES

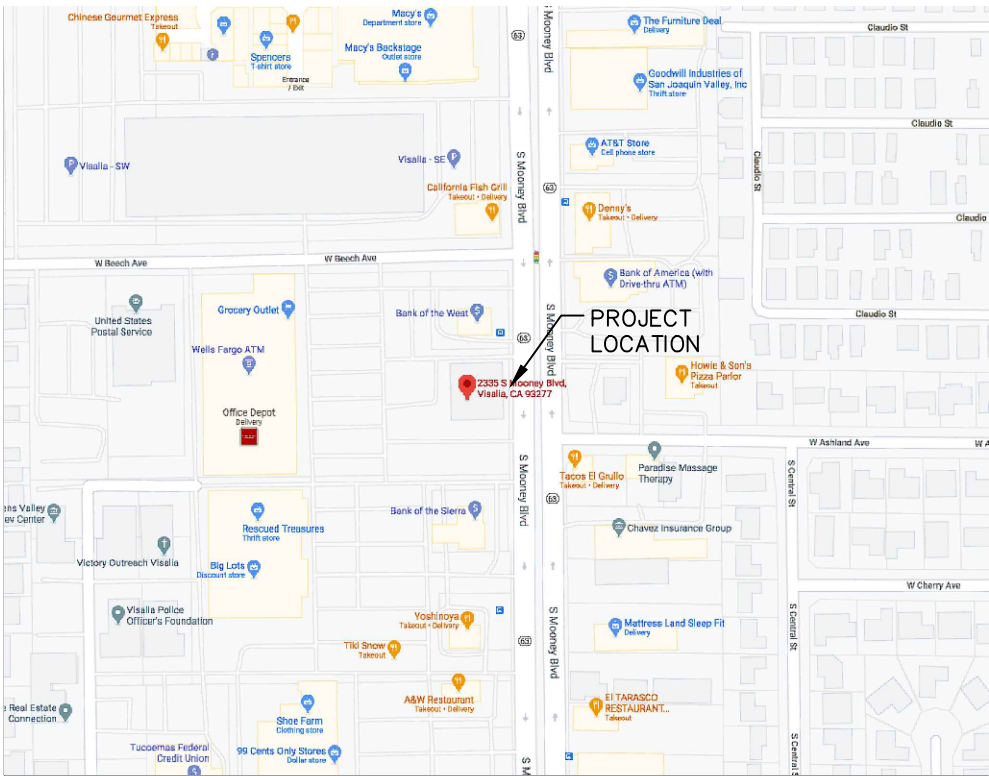
Table with 2 columns: Section Header and Content. Includes sections for Legal Description, Boundary Note, Basis of Bearings, Benchmarks, Vertical Datum Note, Date of Survey Note, Flood Hazard Zone X, and Underground Utility Note.

SURVEY NOTE

EXISTING CONDITIONS SURVEY WAS COMPLETED BY LANE ENGINEERS, INC ON MARCH 18, 2021. CONTACT BEN MULLINS AT: (559)668-5263 OR ben@laneengineers.com. CONTRACTOR SHALL FIELD VERIFY ALL ELEVATIONS, UTILITIES, CONNECTIONS, INVERTS, SIZES, ETC. PRIOR TO CONSTRUCTION. ANY DISCREPANCIES, CONTRACTOR SHALL CONTACT SURVEYOR AND NOTIFY CIVIL ENGINEER.

CIVIL SHEET INDEX

Table with 2 columns: SHEET and SHEET TITLE. Lists sheets C0.1 through C2.0 and their corresponding titles.



PROJECT LOCATION MAP

PLAN SPECIFICATIONS

DIVISION 31 EARTH WORK

31 10 00 SITE CLEARING (DEMOLITION)

- A. CONTRACTOR SHALL CALL USA NORTH 811 AND CONDUCT A PRIVATE UTILITY LOCATE AS REQUIRED TO ENSURE THAT ALL UTILITIES HAVE BEEN LOCATED BEFORE STARTING SITE DEMOLITION. DESIGN ENGINEER SHALL BE NOTIFIED OF ANY DISCREPANCIES BETWEEN PLAN AND FIELD CONDITIONS PRIOR TO CONSTRUCTION.
- B. DEMOLITION PLAN IS AN OVERVIEW OF DEMOLITION TO TAKE PLACE ON SITE. CONTRACTOR TO FIELD VERIFY EXISTING SITE CONDITIONS PRIOR TO BIDDING. CONTRACTOR SHALL REMOVE, REPLACE, OR DEMOLISH ALL ITEMS AS NOTED DURING CONSTRUCTION.
- C. CONTRACTOR TO PROTECT EXISTING IMPROVEMENTS THAT ARE SCHEDULED TO REMAIN. ANY DAMAGE TO EXISTING FACILITIES SHALL BE REPLACED AT CONTRACTORS EXPENSE.
- D. ALL CONCRETE NOTED TO BE REMOVED SHALL BE REMOVED TO THE NEAREST CONTROL JOINT.

31 20 00 EARTH MOVING

- A. CONTRACTOR SHALL CALL USA NORTH 811 AND CONDUCT A PRIVATE UTILITY LOCATE AS REQUIRED TO ENSURE THAT ALL UTILITIES HAVE BEEN LOCATED BEFORE STARTING EXCAVATION. DESIGN ENGINEER SHALL BE NOTIFIED OF ANY DISCREPANCIES BETWEEN PLAN AND FIELD CONDITIONS PRIOR TO CONSTRUCTION.
- B. PROVIDE ALL LAJOR MATERIALS AND EQUIPMENT FOR ALL EXCAVATION, GRADING, FILL AND BACKFILL WORK AS REQUIRED TO COMPLETE THE GENERAL CONSTRUCTION WORK. ALL EXCAVATION AND BACKFILL FOR ELECTRICALS AND MECHANICALS ARE THE RESPONSIBILITY OF THE RESPECTIVE CONTRACTOR AND ARES OTHERWISE SPECIFIED IN THE BID DOCUMENTS.
- C. ALL ORGANIC TOPSOIL INSIDE THE BUILDING AREA UNDER PAVED AREAS, AND AT FILL AREAS SHALL BE REMOVED. PROOF ROLL SUBGRADES BEFORE PLACING FILL WITH HEAVY PNEUMATIC-TYRED EQUIPMENT, SUCH AS A FULLY-LOADED TANDEM AXLE DUMP TRUCK, TO IDENTIFY SOFT POCKETS AND AREAS OF EXCESS YIELDING. CONTRACTOR SHALL VERIFY TOPSOIL DEPTHS PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL REVIEW AND FOLLOW THE RECOMMENDATIONS OF THE GEOTECHNICAL REPORT AND ACCOUNT FOR EXISTING CONDITIONS PRIOR TO SUBMITTING BID FOR THE PROJECT. EXCESS MATERIALS SHALL BE REMOVED FROM THE SITE UNLESS OTHERWISE DIRECTED IN THE PLANS OR BY LOCAL ZONING REQUIREMENTS.
- D. PLACE AND COMPACT FILL MATERIAL IN LAYERS TO REQUIRED ELEVATIONS. UNIFORMLY MOISTEN OR ABATE SUBGRADE AND EACH SUBSEQUENT FILL OR BACKFILL LAYER BEFORE COMPACTION AS RECOMMENDED TO ACHIEVE SPECIFIED DRY DENSITY. REMOVE AND REPLACE OR SCARIFY AND AIR DRY, OTHERWISE SATISFACTORY SOIL MATERIAL THAT IS TOO WET TO COMPACT TO SPECIFIED DRY DENSITY.
- E. PLACE BACKFILL AND FILL MATERIALS IN LAYERS NOT MORE THAN 8" IN LOOSE DEPTH FOR MATERIAL COMPACTED BY HEAVY COMPACTION EQUIPMENT; AND NOT MORE THAN 4" IN LOOSE DEPTH FOR MATERIAL COMPACTED BY HAND-OPERATED TAMMERS.
- F. COMPACT THE SOIL TO NOT LESS THAN THE FOLLOWING PERCENTAGES OF MAXIMUM DRY DENSITY ACCORDING TO ASTM D 1586. STANDARD PROCTOR TEST. FILL MAY NOT BE PLACED ON FROZEN GROUND AND NO FROZEN MATERIALS MAY BE USED FOR BACK FILL. APPLY THE MORE STRINGENT REQUIREMENTS WHEN COMPARING BETWEEN THE FOLLOWING AND THE GEOTECHNICAL REPORT.
- G. UNDER FOUNDATIONS - SUBGRADE, AND EACH LAYER OF BACKFILL OR FILL MATERIAL, TO NOT LESS THAN 98 PERCENT.
- H. UNDER INTERIOR SLAB ON GRADE WHERE GROUNDWATER IS MORE THAN 1 FEET BELOW THE SLAB - PLACE A DRAINAGE COURSE LAYER OF 3/4" CRUSHED STONE, WITH 5% TO 12% FINES, PER THICKNESS INDICATED ON FOUNDATION PLANS ON PREPARED SUBGRADE. COMPACT THE SUBGRADE AND DRAINAGE COURSE TO NOT LESS THAN 95 PERCENT.
- I. UNDER INTERIOR SLAB ON GRADE WHERE GROUNDWATER IS WITHIN 1 FEET OF THE SLAB SURFACE - PLACE A DRAINAGE COURSE LAYER OF CLEAN 3/4" CRUSHED STONE, WITH NO MORE THAN 5% FINES PER THICKNESS INDICATED ON FOUNDATION PLANS ON PREPARED SUBGRADE. COMPACT THE SUBGRADE AND DRAINAGE COURSE TO NOT LESS THAN 95 PERCENT.
- J. UNDER EXTERIOR CONCRETE AND ASPHALT PAVEMENTS - COMPACT THE SUBGRADE AND EACH LAYER OF BACKFILL OR FILL MATERIAL TO NOT LESS THAN 95 PERCENT.
- K. UNDER WALKWAYS - COMPACT SUBGRADE AND EACH LAYER OF BACKFILL OR FILL MATERIAL, TO NOT LESS THAN 95 PERCENT.
- L. UNDER LAWN OR UNPAVED AREAS - COMPACT SUBGRADE AND EACH LAYER OF BACKFILL OR FILL MATERIAL, TO NOT LESS THAN 90 PERCENT.
- M. CONTRACTOR SHALL ENGAGE A QUALIFIED INDEPENDENT TESTING AND INSPECTING AGENCY TO PERFORM FIELD TESTS AND INSPECTIONS. IT IS SUGGESTED THAT THE GEOTECHNICAL FIRM USED TO PERFORM THE SUBSURFACE SOIL INVESTIGATION BE ENGAGED FOR THE FIELD QUALITY CONTROL TESTS.
- N. ALLOW THE TESTING AGENCY TO TEST AND INSPECT SUBGRADES AND EACH FILL OR BACKFILL LAYER. PROCEED WITH SUBSEQUENT EARTHWORK ONLY AFTER TEST RESULTS FOR PREVIOUSLY COMPLETED WORK COMPLY WITH REQUIREMENTS. PROVIDE ONE TEST FOR EVERY 2000 SQUARE FEET OF PAVED AREA OR BUILDING SLAB. ONE TEST FOR EACH SPREAD FOOTING, AND ONE TEST FOR EVERY 50 LINEAR FEET OF WALL STRIP FOOTING.
- O. WHEN THE TESTING AGENCY REPORTS THAT SUBGRADES, FILLS, OR BACKFILLS HAVE NOT ACHIEVED DEGREE OF COMPACTION SPECIFIED, SCARIFY AND MOISTEN OR ABATE, OR REMOVE AND REPLACE SOIL TO DEPTH REQUIRED. RECOMPACT AND RETEST UNTIL SPECIFIED COMPACTION IS OBTAINED.
- P. THE BUILDING SITE SHALL BE GRADED TO PROVIDE DRAINAGE AWAY FROM THE BUILDING AS INDICATED ON THE PLANS. SITE EARTHWORK SHALL BE GRADED TO WITHIN 0.10' OF REQUIRED EARTHWORK ELEVATIONS ASSUMING POSITIVE DRAINAGE IS MAINTAINED IN ACCORDANCE WITH THE GRADING PLAN.

31 30 00 EROSION CONTROL

- A. THE GRADING PLAN REFLECTS LESS THAN 1 ACRE OF DISTURBED AREA. THE SITE IS THEREFORE EXEMPT FROM SWPPP REQUIREMENTS. THE DESIGN ENGINEER SHALL PREPARE AN EROSION CONTROL PLAN.
- B. EROSION AND SEDIMENT CONTROL IMPLEMENTED DURING CONSTRUCTION SHALL STRICTLY COMPLY WITH THE GUIDELINES AND REQUIREMENTS SET FORTH IN CITY OF VISALIA / CALIFORNIA DOT SPECIFICATIONS. THE METHODS AND TYPES OF EROSION CONTROL WILL BE DEPENDANT ON THE LOCATION AND TYPE OF WORK INVOLVED. ALL SEDIMENT CONTROL MEASURES SHALL BE ADJUSTED TO MEET FIELD CONDITIONS AT THE TIME OF CONSTRUCTION, AND INSTALLED PRIOR TO ANY GRADING OR DISTURBANCE OF EXISTING SURFACE MATERIAL. BELOW A LIST OF EROSION AND SEDIMENT CONTROL PRACTICES TO ACHIEVE THE PERFORMANCE STANDARDS REQUIRED.
- C. Silt FENCE SHALL BE PLACED ON SITE AT LOCATIONS SHOWN ON THE EROSION CONTROL PLAN. Silt FENCE SHALL ALSO BE PROVIDED AROUND THE PERIMETER OF ALL SOIL STOCKPILES THAT WILL EXIST FOR MORE THAN 60 DAYS IN VISALIA / CALIFORNIA DOT SPECIFICATIONS.
- D. DITCH CHECKS SHALL BE PROVIDED TO REDUCE THE VELOCITY OF WATER FLOWING IN DITCH BOTTOMS. PLACE AT LOCATIONS SHOWN ON THE EROSION CONTROL PLAN. FOLLOW PROCEDURES FOUND IN CITY OF VISALIA / CALIFORNIA DOT SPECIFICATIONS.
- E. STONE TRACKING PADS AND TRACKOUT CONTROL PRACTICES SHALL BE PLACED AT ALL CONSTRUCTION SITE ENTRANCES AND SHALL BE INSTALLED PRIOR TO ANY TRAFFIC LEAVING THE CONSTRUCTION SITE. SEE THE EROSION CONTROL PLAN FOR LOCATIONS. THE AGGREGATE USED FOR THE STONE TRACKING PAD SHALL BE 3/8" TO 1 INCH CLEAR OR WASHED STONE AND SHALL BE PLACED IN A LAYER AT LEAST 12 INCHES THICK. THE STONE SHALL BE UNDERLAIN WITH A WEOST TYPE B GEOTEXTILE FABRIC AS NEEDED. THE TRACKING PAD SHALL BE THE FULL WIDTH OF THE EGRESS POINT (12' MIN WIDTH) AND SHALL BE A MINIMUM OF 50 FEET LONG. SURFACE WATER MUST BE PREVENTED FROM PASSING THROUGH THE TRACKING PAD. OTHER TRACKOUT CONTROL PRACTICES INCLUDING STABILIZED WORK SURFACES, MANUFACTURED TRACKOUT CONTROL DEVICES, TREE WASHING, AND STREET/PAVEMENT CLEANING SHALL BE IMPLEMENTED AS NECESSARY TO MITIGATE THE TRACKOUT OF SEDIMENT OFFSITE. FOLLOW PROCEDURES FOUND IN CITY OF VISALIA / CALIFORNIA DOT SPECIFICATIONS.
- F. STORM DRAIN INLET PROTECTION SHALL BE PROVIDED FOR ALL NEW AND DOWNSTREAM STORM CATCH BASINS AND CURB INLETS SHALL BE IN CONFORMANCE WITH CITY OF VISALIA / CALIFORNIA DOT SPECIFICATIONS.
- G. DUST CONTROL MEASURES SHALL BE PROVIDED TO REDUCE OR PREVENT THE SURFACE AND AIR TRANSPORT OF DUST DURING CONSTRUCTION. CONTROL MEASURES INCLUDE APPLYING MULCH AND ESTABLISHING VEGETATION, WATER SPRAYING, SURFACE ROUGHENING, APPLYING POLYMERS, SPRAY-ON FIBERS, CHLORIDES, AND BARRIERS. SOME SITES MAY REQUIRE AN APPROACH THAT UTILIZES A COMBINATION OF MEASURES FOR DUST CONTROL. FOLLOW PROCEDURES FOUND IN CITY OF VISALIA / CALIFORNIA DOT SPECIFICATIONS.
- H. THE USE, STORAGE, AND DISPOSAL OF CHEMICALS, CEMENT, AND OTHER COMPOUNDS AND MATERIALS USED ON SITE SHALL BE MANAGED DURING THE CONSTRUCTION PERIOD TO PREVENT THEIR TRANSPORT BY RUNOFF INTO WATERS OF THE STATE.
- I. CONTRACTOR SHALL PROVIDE AN OPEN AGGREGATE CONCRETE TRUCK WASHOUT AREA ON SITE. CONTRACTOR TO ENSURE THAT CONCRETE WASHOUT SHALL BE CONTAINED TO THIS DESIGNATED AREA AND NOT BE ALLOWED TO RUN INTO STORM DRAINS OR INTO THE OVERLAND STORMWATER DRAINAGE SYSTEM. WASHOUT AREA SHALL BE REMOVED UPON COMPLETION OF CONSTRUCTION.
- J. TEMPORARY SITE RESTORATION SHALL TAKE PLACE IN DISTURBED AREAS THAT WILL NOT BE BROUGHT TO FINAL GRADE OR ON WHICH LAND DISTURBING ACTIVITIES WILL NOT BE PERFORMED FOR A PERIOD GREATER THAN 14 DAYS AND REQUIRES VEGETATIVE COVER FOR LESS THAN ONE YEAR. THIS TEMPORARY SITE RESTORATION REQUIREMENT ALSO APPLIES TO SOIL STOCKPILES THAT EXIST FOR MORE THAN 1 DAYS. PERMANENT RESTORATION APPLIES TO AREAS WHERE PERMANENT VEGETATIVE COVER IS NEEDED TO PERMANENTLY STABILIZE AREAS OF EXPOSED SOIL. PERMANENT STABILIZATION SHALL OCCUR WITHIN 3 WORKING DAYS OF FINAL GRADING. TOPSOIL, SEED, AND MULCH SHALL BE IN GENERAL CONFORMANCE WITH TECHNICAL STANDARDS 105B AND 105B AND SHALL MEET THE SPECIFICATIONS FOUND IN THE LANDSCAPING AND SITE STABILIZATION SECTION OF THIS CONSTRUCTION DOCUMENT. ANY SOIL EROSION THAT OCCURS AFTER FINAL GRADING AND/OR FINAL STABILIZATION MUST BE REPAIRED AND THE STABILIZATION WORK REDONE.
- K. IF SITE DEWATERING IS REQUIRED FOR PROPOSED CONSTRUCTION ACTIVITIES, ALL SEDIMENT LADEN WATER GENERATED DURING THE DEWATERING PROCESS SHALL BE TREATED TO REMOVE SEDIMENT PRIOR TO DISCHARGING OFF-SITE OR TO WATERS OF THE STATE. FOLLOW ALL PROCEDURES FOUND IN TECHNICAL STANDARDS 105B AND 105B.
- L. ALL OFF-SITE SEDIMENT DEPOSITS OCCURRING AS A RESULT OF CONSTRUCTION WORK OR A STORM EVENT SHALL BE CLEANED UP BY THE END OF EACH WORKING DAY. DUST CONTROL REQUIREMENTS SHALL BE FOLLOWED PER WEI DR CONSTRUCTION STANDARD 198B CURRENT EDITION. FLOODING SHALL NOT BE ALLOWED.
- M. ALL EROSION CONTROL DEVICES SHALL AT A MINIMUM BE INSPECTED WEEKLY AND WITHIN 24 HOURS AFTER EVERY PRECIPITATION EVENT THAT PRODUCES 0.5 INCHES OF RAIN OR MORE DURING A 24 HOUR PERIOD. MAINTENANCE SHALL BE PERFORMED PER CITY OF VISALIA / CALIFORNIA DOT SPECIFICATIONS.
- N. EROSION CONTROL MEASURES SHALL NOT BE REMOVED UNTIL THE AREAS SERVED HAVE ESTABLISHED VEGETATIVE COVER.
- O. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL LOCAL EROSION CONTROL PERMITS.

DIVISION 32 EXTERIOR IMPROVEMENTS

32 10 00 AGGREGATE BASE & ASPHALT PAVEMENT

- A. CONTRACTOR TO PROVIDE COMPACTED AGGREGATE BASE AND HOT MIX ASPHALT PAVEMENT WHERE INDICATED ON THE PLANS. ALL AGGREGATE PROVIDED MUST COMPLY WITH CALIFORNIA DOT SPECIFICATIONS. PROVIDE HOT MIX ASPHALT MIXTURE PER CALIFORNIA DOT SPECIFICATIONS. CONTRACTOR SHALL OBTAIN AND REVIEW LOCAL AGENCY RECOMMENDATIONS FOR GEO-GRID / GEOTEXTILE BELOW CRUSHED AGGREGATE (IF APPLICABLE). CONTRACTOR TO PROVIDE AGGREGATE BASE AND HOT MIX ASPHALT PAVEMENT TYPES AND DEPTHS AS INDICATED BELOW.
- B. HEAVY ASPHALT PAVING SECTION 1-1/2" SURFACE COURSE 1-1/2" BINDER COURSE 12" OF 1-1/4" CRUSHED AGGREGATE
- C. CONTRACTOR TO COMPACT THE AGGREGATE BASE, ASPHALT BINDER COURSE, AND ASPHALT SURFACE COURSE TO AN AVERAGE DENSITY PER CALIFORNIA DOT SPECIFICATIONS. ALL ASPHALT PAVEMENT AREAS SHALL BE GRADED TO WITHIN 0.10' OF DESIGN SURFACE GRADES WITH POSITIVE DRAINAGE BEING MAINTAINED IN ACCORDANCE WITH DESIGN PLANS. A MINIMUM OF 1% SLOPE SHALL BE MAINTAINED IN ALL ASPHALT PAVEMENT AREA.
- D. HOT MIX ASPHALT CONSTRUCTION TO BE PROVIDED PER MORE STRINGENT REQUIREMENTS OF GEOTECHNICAL REPORT OR CONSTRUCTION DOCUMENTS.

32 20 00 CONCRETE AND AGGREGATE BASE

- A. CONTRACTOR TO PROVIDE CRUSHED AGGREGATE BASE AND CONCRETE WHERE INDICATED ON THE PLANS.
- B. ALL AGGREGATE PROVIDED MUST COMPLY WITH PER CALIFORNIA DOT SPECIFICATIONS. ALL AGGREGATE PLACED MUST BE COMPACTED TO AN AVERAGE DENSITY PER CALIFORNIA DOT SPECIFICATIONS.
- C. DESIGN AND CONSTRUCTION OF ALL CAST-IN-PLACE EXTERIOR CONCRETE FLAT WORK SHALL CONFORM TO ACI 308 OR 8 & ACI 318-08.
- D. EXTERIOR CONCRETE FLAT WORK CONSTRUCTION TO BE PROVIDED PER MORE STRINGENT REQUIREMENTS OF THE GEOTECHNICAL REPORT OR AN AVERAGE DENSITY PER CALIFORNIA DOT SPECIFICATIONS. CONCRETE FLAT WORK CONSTRUCTION IS AS FOLLOWS:
- E. SIDEWALK CONCRETE - 4" OF CONCRETE OVER 4" OF 3/4" CRUSHED AGGREGATE BASE. CONTRACTION JOINTS SHALL CONSIST OF 1/8" WIDE BY 1" DEEP TOOLED JOINT WHERE INDICATED ON THE PLAN.
- F. DUMPTSTER PAD/APRON CONCRETE - 8" OF CONCRETE OVER 6" OF AGGREGATE BASE.
- G. CONCRETE SHALL BE STEEL REINFORCED WITH THE FOLLOWING AND PLACED AT A DEPTH OF 2/3 DOWN FROM THE SURFACE OF THE SLAB.
- H. THE BARS AT ALL CONTRACTION JOINTS OF THE CONCRETE, THE BARS SHALL BE #4 REBAR 30' LONG PLACED AT 30' O.C.
- I. DUMPTSTER PAD CONCRETE JOINTING SHALL BE AS FOLLOWS:
- J. CONTRACTION SAWCUT JOINT - CONTRACTOR SHALL PROVIDE A SAWCUT JOINT AT MAXIMUM SPACING OF 15' ON CENTER. SAWCUT SHALL BE 2" IN DEPTH.
- K. TYPICAL FOUR CONTROL JOINT - FOUR CONTROL JOINT SHALL BE PROVIDED WITH 1-1/4" DIAMETER BY 20' LONG SMOOTH DOWEL PLACED AT 12' O.C. ONE HALF OF THE DOWEL SHALL BE GREASED. GREENSTEAK 9" SPEED DOWEL TUBES SHALL BE USED.
- L. HEAVY DUTY CONCRETE (TRUCK TRAFFIC) - 6" OF CONCRETE OVER 6" OF 3/4" CRUSHED AGGREGATE. CONCRETE SHALL BE REINFORCED WITH #3 REBARS ON CHAIRS AT 3' O.C. REBAR DRAPINGS IS MAINTAINED IN ACCORDANCE WITH THE DESIGN PLANS.
- M. DESIGN MIXES SHALL BE IN ACCORDANCE WITH ASTM C94
- N. STRENGTH TO BE MINIMUM OF 4,500 PSI AT 28 DAYS FOR EXTERIOR CONCRETE.
- O. MAXIMUM WATER/CEMENT RATIO SHALL BE 0.45
- P. SLUMP SHALL NOT EXCEED 4" FOR EXTERIOR CONCRETE FLAT WORK
- Q. SLUMP SHALL BE 2.5" OR LESS FOR SLIP-FORMED CURB AND GUTTER
- R. SLUMP SHALL BE BETWEEN 1.5' TO 3" FOR NON SLIP-FORMED CURB AND GUTTER
- S. ALL EXTERIOR CONCRETE SHALL BE AIR ENTRAINED WITH 4% TO 7% AIR CONTENT. NO OTHER ADMIXTURES SHALL BE USED WITHOUT APPROVAL OF EXCEL ENGINEERING, INC. CALCIUM CHLORIDE SHALL NOT BE USED.
- T. MAXIMUM AGGREGATE SIZE FOR ALL EXTERIOR CONCRETE SHALL BE 0.75 INCHES
- U. VERIFY EQUIPMENT CONCRETE PAD SIZES WITH RESPECTIVE CONTRACTORS. PADS SHALL HAVE FIBERMESH 300 FIBERS AT A RATE OF 1.5 LBS/CU. YD. OR 6 X 6-W14 X W14 WELDED WIRE MESH WITH MINIMUM 1 INCH COVER. EQUIPMENT PADS SHALL BE 3.5 INCHES THICK WITH 1 INCH CHAMFER UNLESS SPECIFIED OTHERWISE. COORDINATE ADDITIONAL PAD REQUIREMENTS WITH RESPECTIVE CONTRACTOR.
- V. ALL CONCRETE FLAT WORK SURFACES AND CONCRETE CURB FLOWLINES SHALL BE CONSTRUCTED TO WITHIN 0.05' OF DESIGN SURFACE AND FLOWLINE GRADES ASSUMING POSITIVE DRAINAGE IS MAINTAINED IN ACCORDANCE WITH THE DESIGN PLANS.
- W. CONCRETE FLAT WORK SHALL HAVE CONTRACTION JOINTS OR SAW CUT JOINTS PLACED AS INDICATED ON THE PLANS OR PER THIS SPECIFICATION. SAWCUTS SHALL BE DONE AS SOON AS POSSIBLE BUT NO LATER THAN 24 HOURS AFTER CONCRETE IS PLACED. CONCRETE CURB AND GUTTER JOINTING SHALL BE PLACED EVERY 10' OR CLOSER IF MIN. IF CONCRETE PAYMENT IS REQUIRED TO CONCRETE CURB, CONTING IN THE PAVEMENT AND CONCRETE SHALL ALLOW. ALL EXTERIOR CONCRETE SHALL HAVE A LIGHT BROOM FINISH UNLESS NOTED OTHERWISE. A UNIFORM COAT OF A HIGH SOLIDS CURING COMPOUND MEETING ASTM C409 SHALL BE APPLIED TO ALL EXPOSED CONCRETE SURFACES. ALL CONCRETE IS TO BE CURED FOR 7 DAYS. EXTERIOR CONCRESSION JOINT SHALL BE SEPARATED FROM BUILDINGS WITH CONTINUOUS 0.5 INCH FIBER EXPANSION JOINT AND/OR 0.25 INCH FIBER EXPANSION JOINT AT DECORATIVE MASONRY UNITS.
- X. ALL REINFORCING BARS SHALL BE ASTM A615 GRADE 60. THICKNESS OF CONCRETE COVER OVER REINFORCEMENT SHALL BE NOT LESS THAN 3" WHERE CONCRETE IS DEPOSITED AGAINST THE GROUND WITHOUT THE USE OF FORMS AND NOT LESS THAN 1.5" IN ALL OTHER LOCATIONS. ALL REINFORCING SHALL BE LAPPED 36 DIAMETERS FOR UP TO 16 BARS, 60 DIAMETERS FOR #7 TO 10 BARS OR AS NOTED ON THE DRAWINGS AND EXTENDED AROUND CORNERS WITH CORNER BARS. PLACING AND DETAILING OF STEEL REINFORCING AND REINFORCING SUPPORTS SHALL BE IN ACCORDANCE WITH CRE AND ACI MANUAL AND STANDARD PRACTICES. THE REINFORCEMENT SHALL NOT BE PAINTED AND MUST BE FREE OF OIL, GREASE, OIL, OR DEEP RUST WHEN PLACED IN THE WORK. ALL WELDED WIRE FABRIC SHALL MEET THE REQUIREMENTS OF ASTM A 185. WELDED WIRE FABRIC SHALL BE PLACED 2" FROM TOP OF SLAB, UNLESS INDICATED OTHERWISE.
- Y. CONTRACTOR SHALL ENGAGE A QUALIFIED INDEPENDENT TESTING AND INSPECTING AGENCY TO SAMPLE MATERIALS, PERFORM TESTS, AND SUBMIT TESTS DURING CONCRETE COMPLETION. TESTS WILL BE PERFORMED ACCORDING TO ACI 301. CAST AND LABORATORY CURE ONE SET OF FOUR STANDARD CYLINDERS FOR EACH COMPOSITE SAMPLE FOR EACH DAY'S POUR OF EACH CONCRETE MIX EXCEEDING 5 CU. YD. BUT LESS THAN 25 CU. YD. PLUS ONE SET FOR EACH ADDITIONAL 50 CU. YD. OR FRACTION THEREOF. PERFORM COMPOUNDING STRENGTH TESTS ACCORDING TO ASTM C 39. TEST TWO SPECIMENS AT 7 DAYS AND TWO SPECIMENS AT 28 DAYS. PERFORM SLUMP TESTING ACCORDING TO ASTM C 143. PROVIDE ONE TEST AT POINT OF PLACEMENT FOR EACH COMPOSITE SAMPLE, BUT NOT LESS THAN ONE TEST FOR EACH DAY'S POUR OR EACH CONCRETE MIX. PERFORM ADDITIONAL TESTS WHEN CONCRETE CONSISTENCY APPEARS TO CHANGE.
- Z. PROTECT FRESHLY PLACED CONCRETE FROM PREMATURE DRYING AND EXCESSIVE COLD OR HOT TEMPERATURES. IN HOT, DRY, AND WINDY WEATHER, APPLY AN EVAPORATION-CONTROL COMPOUND ACCORDING TO MANUFACTURERS INSTRUCTIONS AFTER SCREEDING AND BULL FLOATING, BUT BEFORE POWER FLOATING AND TROWELING.
- AA. LIMIT MAXIMUM WATER/CEMENTIOUS RATIO OF CONCRETE EXPOSED TO FREEZING, THAWING AND DEICING SALTS TO 0.45.
- AB. TEST RESULTS WILL BE REPORTED IN WRITING TO THE DESIGN ENGINEER, READY MIX PRODUCER, AND CONTRACTOR WITHIN 24 HOURS AFTER TESTS. REPORTS OF COMPRESSIVE STRENGTH TESTS SHALL CONTAIN THE PROJECT IDENTIFICATION, NAME AND NUMBER, DATE OF CONCRETE PLACEMENT, NAME OF CONCRETE TESTING SERVICE, CONCRETE TYPE AND CLASS, LOCATION OF CONCRETE BATCH IN STRUCTURE, DESIGN COMPRESSION STRENGTH AT 28 DAYS, CONCRETE MIX PROPORTIONS AND MATERIALS, COMPRESSIVE BREAKING STRENGTH, AND TYPE OR BREAK FOR BOTH 7-DAY TESTS AND 28-DAY TESTS.

32 30 00 LANDSCAPING AND SITE STABILIZATION

- A. TOPSOIL: CONTRACTOR TO PROVIDE A MINIMUM OF 6" OF TOPSOIL FOR ALL DISTURBED OPEN AREAS. REUSE SURFACE SOIL STOCKPILED ON SITE AND SUPPLEMENT WITH IMPORTED OR MANUFACTURED TOPSOIL FROM OFF SITE SOURCES WHEN QUANTITIES ARE INSUFFICIENT. EXCAVATOR SHALL BE RESPONSIBLE FOR ROUGH PLACEMENT OF TOPSOIL TO WITHIN 1" OF FINAL GRADE PRIOR TO LANDSCAPER FINAL GRADING. LANDSCAPER TO PROVIDE PULVERIZED AND FINAL GRADING OF TOPSOIL. PROVIDE SOIL ANALYSIS BY A QUALIFIED SOIL TESTING LABORATORY AS REQUIRED TO VERIFY THE SUITABILITY OF SOIL TO BE USED AS TOPSOIL, AND TO DETERMINE THE NECESSARY SOIL AMENDMENTS. TEST SOIL FOR PRESENCE OF ATRAZINE AND INFORM EXCEL ENGINEERING, INC. IF PRESENT PRIOR TO BIDDING PROCESS. TOPSOIL SHALL HAVE A PH RANGE OF 5.5 TO 8, CONTAIN A MINIMUM OF 5 PERCENT ORGANIC MATERIAL CONTENT, AND SHALL BE FREE OF STONES 1 INCH OR LARGER IN DIAMETER. ALL MATERIALS HARMFUL TO PLANT GROWTH SHALL ALSO BE REMOVED.
- B. TOPSOIL INSTALLATION: LOOSEN SUBGRADE TO A MINIMUM DEPTH OF 6 INCHES AND REMOVE STONES LARGER THAN 1" IN DIAMETER. ALSO REMOVE ANY STICKS, ROCKS, RUBBISH, AND OTHER EXTRANEUS MATTER AND DEPOSITS OF THEM OFF THE PROPERTY. SPREAD TOPSOIL TO A DEPTH OF 6" OR BUT NOT LESS THAN WHAT IS REQUIRED TO MEET FINISHED GRADES AFTER LIGHT ROLLING AND NATURAL SETTLEMENT. DO NOT SPREAD TOPSOIL IF SUBGRADES IS FROZEN, MUDGY, OR EXCESSIVELY WET. GRADE PLANTING AREAS TO A SMOOTH, UNIFORM SURFACE PLANE WITH LOOSE, UNIFORMLY FINE TEXTURE. GRADE TO WITHIN 0.05' FEET OF FINISHED GRADE ELEVATION.
- C. SEEDING LAWNS:
- D. 1. PERMANENT LAWN AREAS SHALL BE SEEDDED WITH SEED PER CALIFORNIA DOT SPECIFICATIONS AND CITY OF VISALIA.
- E. 2. ALL TEMPORARY SEEDING SHALL BE SEEDDED WITH SEED PER CALIFORNIA DOT SPECIFICATIONS AND CITY OF VISALIA.
- F. SEEDED LAWN MAINTENANCE: CONTRACTOR TO PROVIDE MAINTENANCE OF ALL LANDSCAPING FOR A PERIOD OF 90 DAYS FROM THE DATE OF INSTALLATION. AT THE END OF THE MAINTENANCE PERIOD, A HEALTHY, UNIFORM, CLOSE STAND OF GRASS SHOULD BE ESTABLISHED FREE OF WEEDS AND SURFACE IRREGULARITIES. LAWN COVERAGE SHOULD EXCEED 90% AND BARE SPOTS SHOULD NOT EXCEED 55% . CONTRACTOR SHOULD REESTABLISH LAWNS THAT DO NOT COMPLY WITH THESE REQUIREMENTS AND CONTINUE MAINTENANCE UNTIL LAWNS ARE SATISFACTORY.

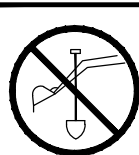
DIVISION 33 UTILITIES

33 10 00 SITE UTILITIES

- A. CONTRACTOR TO FIELD VERIFY ALL EXISTING UNDERGROUND UTILITIES ON SITE. CONTRACTOR TO VERIFY PIPE LOCATIONS, SIZES, AND DEPTHS AT POINT OF PROPOSED CONNECTIONS AND VERIFY PROPOSED UTILITY ROUTES ARE CLEAR PER CODE OF ALL EXISTING UTILITIES AND OTHER OBSTRUCTIONS PRIOR TO CONSTRUCTION. COSTS INCURRED FOR FAILURE TO DO SO SHALL BE THE CONTRACTORS RESPONSIBILITY.
- B. ALL UTILITIES SHALL BE INSTALLED PER STATE, LOCAL, AND INDUSTRY STANDARDS. WATER, SANITARY AND STORM SEWER SHALL BE INSTALLED CALIFORNIA DOT SPECIFICATIONS. CONTRACTOR SHALL BE RESPONSIBLE FOR THE DESIGN, OBTAINING STATE PLUMBING APPROVAL, AND OBTAINING ALL PERMITS REQUIRED TO INSTALL WATER, SANITARY AND STORM SEWER.

GENERAL PROJECT NOTES

- 1. ALL DRIVEWAYS AND CURB CUTS TO BE CONSTRUCTED ACCORDING TO LOCAL ORDINANCES. CONTRACTOR TO OBTAIN ALL NECESSARY PERMITS.
- 2. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL WORK IN ROW PERMITS.
- 3. CONTRACTOR/DEVELOPER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FOR CONSTRUCTION.



TO OBTAIN LOCATION OF PARTICIPANTS' UNDERGROUND FACILITIES BEFORE YOU DIG IN CALIFORNIA CALL USA NORTH 811 1-800-642-2444 CALIFORNIA 811 REQUIRES A MINIMUM OF 2 WORKING DAYS (NOT INCLUDING THE DAY CALLED) NOTICE, BUT NO MORE THAN 15 CALENDAR DAYS PRIOR TO EXCAVATION

CONTACTS

CLIENT WDS CONSTRUCTION 100 TOWER DRIVE BEAVER DAM, WI 53916 CONTACT: SCOTT SCHIMMERS P: (920) 256-1255 SCSCHIMMERS@WDSCONSTRUCTION.NET

CIVIL EXCEL ENGINEERING 100 CAMELOT DRIVE FOND DU LAC, WISCONSIN 54935 EOR: JAMES GERLOFF, P.E. PROJECT CONTACT: ERIC DRAKOWSKI P: (920) 926-9800 F: (920) 926-9801 eric.d@excelengineer.com

CIVIL COVER AND SPECIFICATION SHEET

Excel ENGINEERS • ENGINEERS • SURVEYORS Always a Better Plan 100 Camelot Drive Fond Du Lac, WI 54935 Phone: (920) 926-9800 www.EXCELENGINEER.com

PROJECT INFORMATION

PROPOSED REDEVELOPMENT FOR: BIOLIFE PLASMA SERVICES 2335 S. MOONEY BLVD. • VISALIA, CA 93277

PROFESSIONAL SEAL

PRELIMINARY DATES

APR. 15, 2021

JOB NUMBER

2107260

SHEET NUMBER

C0.1



SPECIFICATION NOTE:  
SEE SHEET C0.1 FOR PLAN  
SPECIFICATIONS AND REQUIREMENTS

SURVEY NOTE

EXISTING CONDITIONS SURVEY WAS COMPLETED BY LANE ENGINEERS, INC. ON MARCH 18, 2021. CONTACT BEN MULLINS AT: (559)668-5263 OR ben@laneengineers.com. ASBUILT UTILITY DRAWINGS/MARKINGS HAVE NOT BEEN PROVIDED TO SURVEYOR YET BY CITY AND UTILITY LOCATORS. ONCE THE UTILITY ASBUILTS HAVE BEEN OBTAINED, THE EXISTING CONDITIONS WILL BE UPDATED TO REFLECT KNOWN INFORMATION. **CONTRACTOR SHALL FIELD VERIFY ALL ELEVATIONS, UTILITIES, CONNECTIONS, INVERTS, SIZES, ETC. PRIOR TO CONSTRUCTION. ANY DISCREPANCIES, CONTRACTOR SHALL CONTACT SURVEYOR AND NOTIFY CIVIL ENGINEER.**



## PROJECT INFORMATION

**BIOLIFE PLASMA SERVICES**  
2335 S. MOONEY BLVD. • VISALIA, CA 93277

PROFESSIONAL SEAL

## PRELIMINARY DATES

APR. 15, 2021

**NOT FOR CONSTRUCTION**

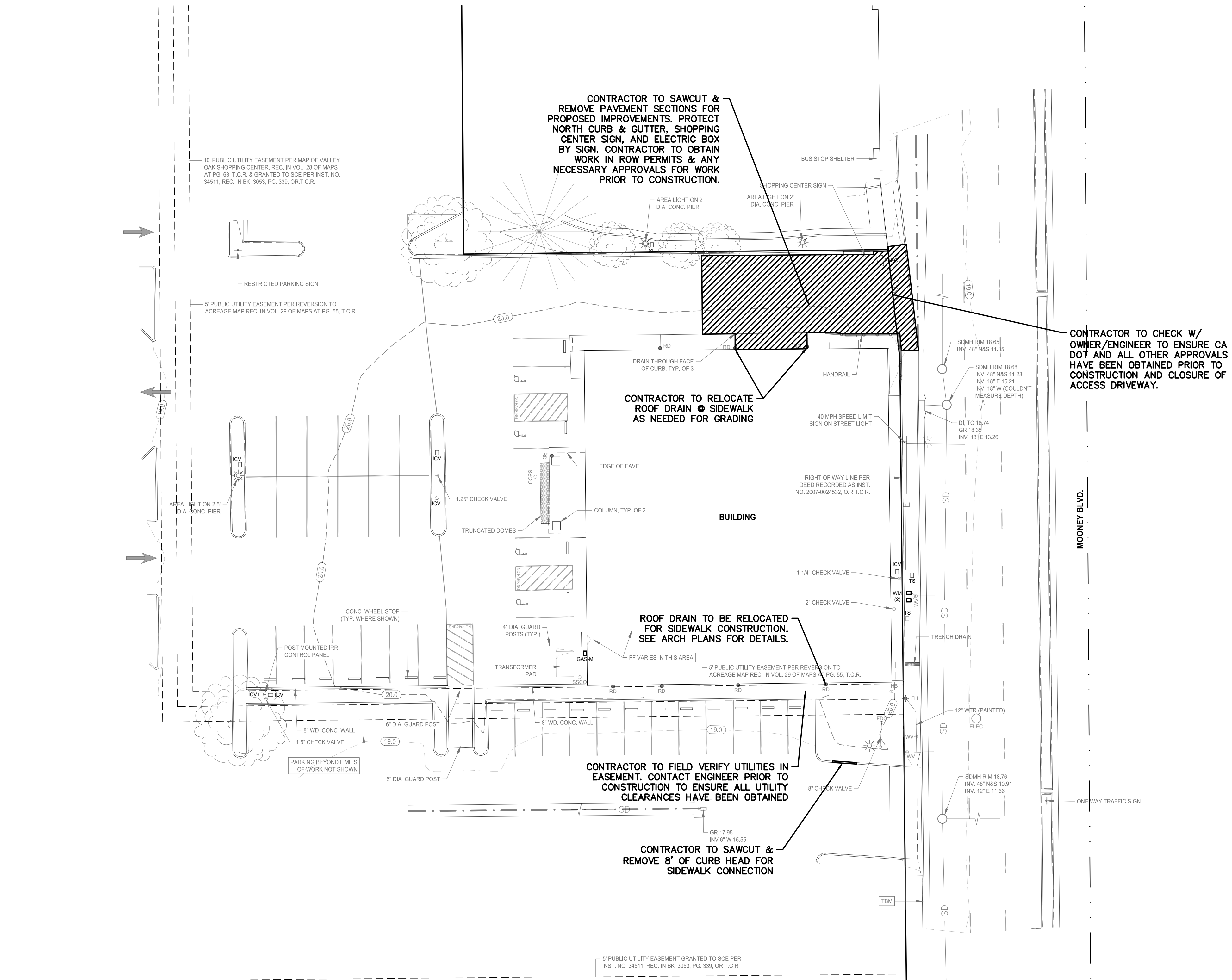
JOB NUMBER

2107260

SHEET NUMBER

# C1.0

EXCEL ENGINEERING, INC.



1" = 20'

20' 0 20' 40'

SCALE FEET

**NORTH**

CIVIL EXISTING SITE AND DEMOLITION PLAN

SPECIFICATION NOTE:  
SEE SHEET C0.1 FOR PLAN  
SPECIFICATIONS AND REQUIREMENTS



## PROJECT INFORMATION

PROPOSED REDEVELOPMENT FOR:  
**BIOLIFE PLASMA SERVICES**  
2335 S. MOONEY BLVD. • VISALIA, CA 93277

## PROFESSIONAL SEAL

### PRELIMINARY DATES

APR. 15, 2021

NOT FOR CONSTRUCTION

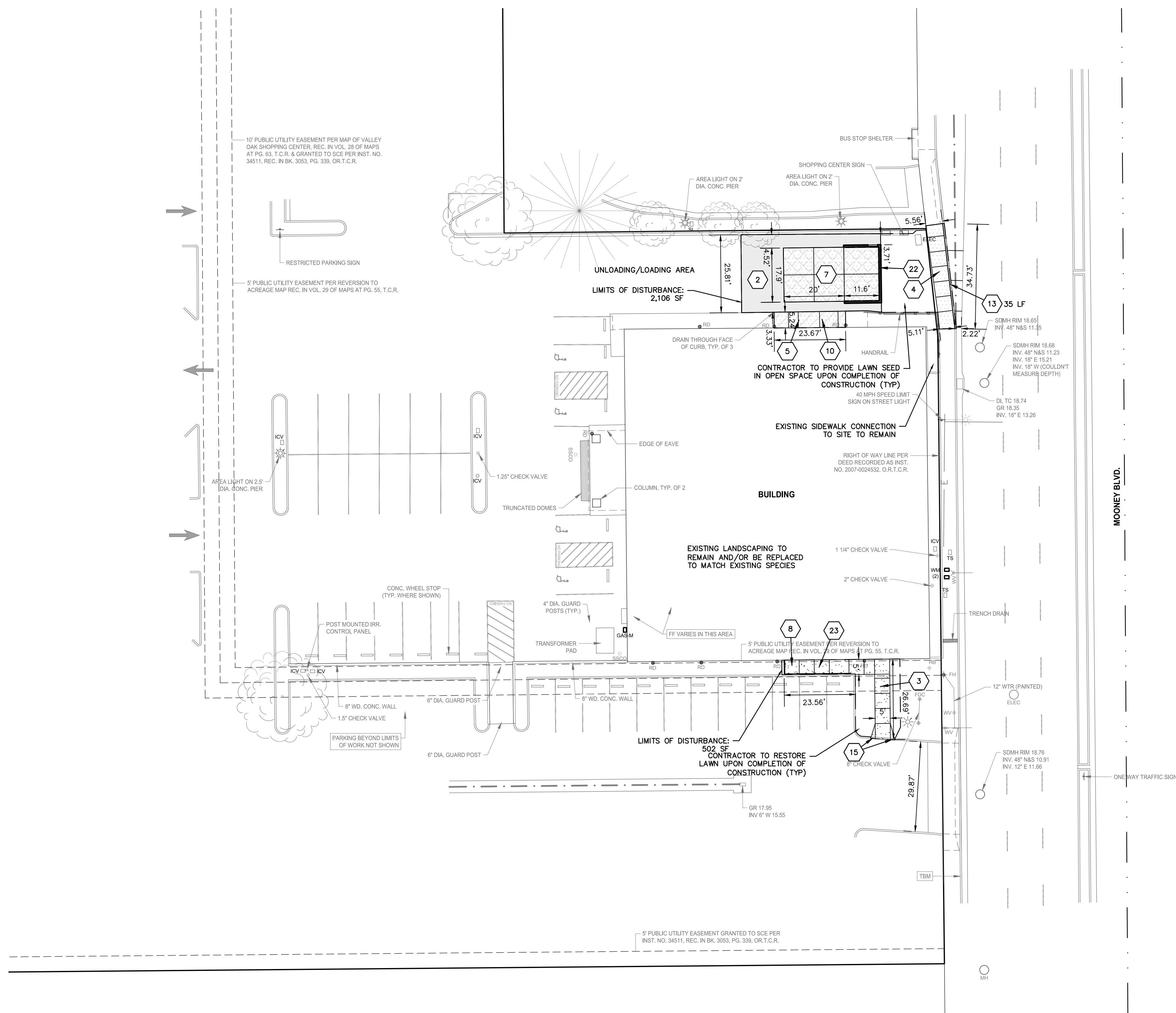
**JOB NUMBER**

2107260

SHEET NUMBER

## C1.1

2020 © EXCEL ENGINEERING, INC.



SITE INFORMATION:

PROPERTY AREA: AREA = 227,682 S.F. (5.23 ACRES).  
PROPERTY ZONING: MIXED USE COMMERCIAL  
PROPOSED USE: PLASMA COLLECTION CENTER  
AREA OF SITE DISTURBANCE: 0.06 AC

EXISTING SITE DATA (LIMITS OF DISTURBANCE)

	AREA (AC)	AREA (SF)	RATIO
PROJECT SITE	0.06	2,608	
BUILDING FLOOR AREA	0.00	0	0.00
PAVEMENT (ASP. & CONC.)	0.05	2,106	80.87
TOTAL IMPERVIOUS	0.05	2,106	80.87
LANDSCAPE/ OPEN SPACE	0.01	502	19.23





## PROPOSED SITE DATA (LIMITS OF DISTURBANCE)

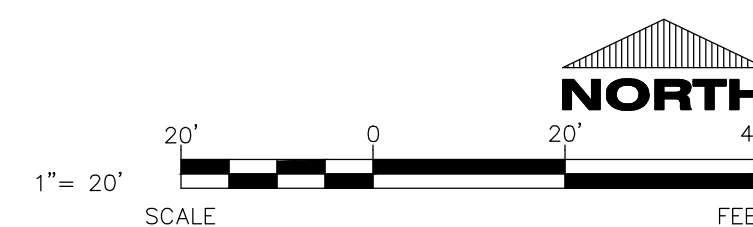
	AREA (AC)	AREA (SF)	RATIO
PROJECT SITE	0.06	2,608	
BUILDING FLOOR AREA	0.00	0	0.0%
PAVEMENT (ASP. & CONC.)	0.04	1,950	74.8%
TOTAL IMPERVIOUS	0.04	1,950	74.8%
LANDSCAPE/ OPEN SPACE	0.02	658	25.2%

## SITE PLAN KEYNOTES

2	HEAVY DUTY ASPHALT SECTION (TYP.)
3	SIDEWALK CONCRETE (TYP.)
4	PUBLIC SIDEWALK (TYP)
5	HEAVY DUTY CONCRETE (TYP)
7	DUMPSTER PAD/APRON CONCRETE (TYP)
8	CONCRETE STOOP (TYP.) SEE ARCH. PLANS FOR DETAILS.
10	FLUSH WALK (TYP.)
13	6" INTEGRAL CURB HEAD (TYP.)
15	CURB TAPER (TYP.)
22	DUMPSTER ENCLOSURE (SEE ARCH PLANS FOR DETAILS)
23	RAMP SYSTEM W/ RAILING (SEE ARCH/STRUC. PLANS FOR DETAILS)

## PAVEMENT HATCH KEY:

 SIDEWALK CONCRETE  
 HEAVY DUTY CONCRETE  
 DUMPSTER PAD / APRON CONCRETE  
 HEAVY DUTY ASPHALT



CIVIL SITE PLAN

CIVIL GRADING AND EROSION CONTROL PLAN



PROPOSED REDEVELOPMENT FOR:  
**BIOLIFE PLASMA SERVICES**  
2335 S. MOONEY BLVD. • VISALIA, CA 93277

**NOT FOR CONSTRUCTION**

# C2.0

020 © EXCEL ENGINEERING, INC.



NO SCALE

## **Operational Statement**

### **About BioLife**

BioLife Plasma Services is a plasma collection company owned by Takeda Pharmaceuticals, which prides itself on being an industry leader in the collection of plasma that is made into life-saving therapies, including treatments for diseases like COVID-19. BioLife operates over 150 centers across the country and Europe and is licensed by the Food and Drug Administration. BioLife's centers are always operated in a manner that protects the health, safety, and general welfare of the surrounding community. It does so by choosing locations near major retailers in growing healthy communities and by providing compensation in the form of gift cards to maintain no cash on site.

BioLife invests in their community and provides 50-70 well-paid job opportunities, as well as compensation opportunities for donors. Because no cash is paid out, BioLife is able to track where donor compensation is spent, and 80% is spent at local grocery stores, gas stations, and retailers.

BioLife also maintains very high standards for the plasma it collects. Unlike other plasma collection companies, who sell plasma to hospitals on the open market, BioLife uses all collected plasma in-house to develop therapies for blood-based diseases. Because of the high quality of plasma needed for these purposes, BioLife pre-screens all potential donors.

### **About the Project**

JCW Development is proposing to convert the existing space at 2335 S. Mooney Blvd. in the Valley Oaks shopping center, from a vacant health and fitness center, to a BioLife Plasma Services collection center. The space is in an existing shopping center, and is approximately 11,000 square feet. JCW plans to add 42 beds to the space, as well as freezer and medical waste facilities needed for plasma collection, but will not expand the footprint of the building. All BioLife facilities dispose of medical waste in an isolated medical waste storage room located on the interior of the facility. All medical waste will be collected and removed by a licensed specialized medical waste hauler in full compliance with FDA regulations.

Outside finishes will be consistent with surrounding properties, and BioLife's use will have similar parking demands as surrounding properties. Modifications will be generally limited to the interior of the space, and the building footprint will not be expanded.

Expected occupancy of the building is a maximum of approximately 20 employees and up to 42 donors at a given time. Donors will be required to make appointments, and as mentioned above, no cash is paid out or kept on site. At peak production, 250-300 donors can visit this facility per day.

Plasma collected at this facility will be picked up once weekly, by refrigerated trailers that are typically 53 feet in size. A delivery of supplies from a 53 foot trailer will occur once weekly, with additional daily deliveries and pickups by UPS, using a smaller box truck.

## **Plasma Collection Essential Critical Infrastructure**

Public health authorities and the Federal government have recognized the critical need for plasma, which is why plasma collection has been explicitly noted in guidelines issued by the U.S. Department of Homeland Security (OHS) as a critical service with a special responsibility to remain open during this time. In defining "critical infrastructure," in the attached guidance, dated March 19, 2020, the DHS advised that "blood and plasma donors and the employees of the organizations that operate and manage related activities" are essential and critical infrastructure (see page 5 of the attached guidelines). We are hopeful that due to the importance of this project, permitting can be completed in an efficient manner.

Please let us know if you require any additional information. As always, our team would be happy to jump on a call with your department to discuss any details.





March 19, 2020

## MEMORANDUM ON IDENTIFICATION OF ESSENTIAL CRITICAL INFRASTRUCTURE WORKERS DURING COVID-19 RESPONSE

FROM: Christopher C. Krebs  
Director  
Cybersecurity and Infrastructure Security Agency (CISA)

---

As the Nation comes together to slow the spread of COVID-19, on March 16<sup>th</sup>, the President issued updated Coronavirus Guidance for America. This guidance states that:

*“If you work in a critical infrastructure industry, as defined by the Department of Homeland Security, such as healthcare services and pharmaceutical and food supply, you have a special responsibility to maintain your normal work schedule.”*

The Cybersecurity and Infrastructure Security Agency (CISA) executes the Secretary of Homeland Security’s responsibilities as assigned under the Homeland Security Act of 2002 to provide strategic guidance, promote a national unity of effort, and coordinate the overall federal effort to ensure the security and resilience of the Nation’s critical infrastructure. CISA uses trusted partnerships with both the public and private sectors to deliver infrastructure resilience assistance and guidance to a broad range of partners.

In accordance with this mandate, and in collaboration with other federal agencies and the private sector, CISA developed an initial list of “Essential Critical Infrastructure Workers” to help State and local officials as they work to protect their communities, while ensuring continuity of functions critical to public health and safety, as well as economic and national security. The list can also inform critical infrastructure community decision-making to determine the sectors, sub-sectors, segments, or critical functions that should continue normal operations, appropriately modified to account for Centers for Disease Control (CDC) workforce and customer protection guidance.

The attached list identifies workers who conduct a range of operations and services that are essential to continued critical infrastructure viability, including staffing operations centers, maintaining and repairing critical infrastructure, operating call centers, working construction, and performing management functions, among others. The industries they support represent, but are not necessarily limited to, medical and healthcare, telecommunications, information technology systems, defense, food and agriculture, transportation and logistics, energy, water and wastewater, law enforcement, and public works.

We recognize that State, local, tribal, and territorial governments are ultimately in charge of implementing and executing response activities in communities under their jurisdiction, while the Federal Government is in a supporting role. As State and local communities consider COVID-19-related restrictions, CISA is offering this list to assist prioritizing activities related to continuity of operations and incident response, including the appropriate movement of critical infrastructure workers within and between jurisdictions.

**Accordingly, this list is advisory in nature. It is not, nor should it be considered to be, a federal directive or standard in and of itself.**

In addition, these identified sectors and workers are not intended to be the authoritative or exhaustive list of critical infrastructure sectors and functions that should continue during the COVID-19 response. Instead, State and local officials should use their own judgment in using their authorities and issuing implementation directives and guidance. Similarly, critical infrastructure industry partners will use their own judgment, informed by this list, to ensure continued operations of critical infrastructure services and functions. All decisions should appropriately balance public safety while ensuring the continued delivery of critical infrastructure services and functions.

CISA will continue to work with you and our partners in the critical infrastructure community to update this list as the Nation's response to COVID-19 evolves. We also encourage you to submit how you might use this list so that we can develop a repository of use cases for broad sharing across the country.

Should you have questions about this list, please contact CISA at [CISA.CAT@cisa.dhs.gov](mailto:CISA.CAT@cisa.dhs.gov).

**Attachment:** "Guidance on the Essential Critical Infrastructure Workforce: Ensuring Community and National Resilience in COVID-19 Response"





VISALIA, CA (1A)  
 2335 S. MOONEY BLVD  
 VISALIA, CA 93277  
 42 BEDS  
 11,000 SF

onyx | creative

25001 EMERY ROAD #400, CLEVELAND, OH 44128

EXISTING FRONT





EXTERIOR BUILDING  
SIGN SIZES: 35 SF

SIGN SHOWN BASED ON CODE  
REVIEW BY SIGN VENDOR



EXISTING STREET VIEW



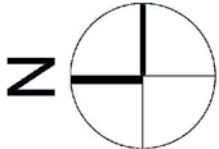


SIGN SHOWN BASED ON CODE  
REVIEW BY SIGN VENDOR

EXTERIOR BUILDING  
SIGN SIZES: 35 SF

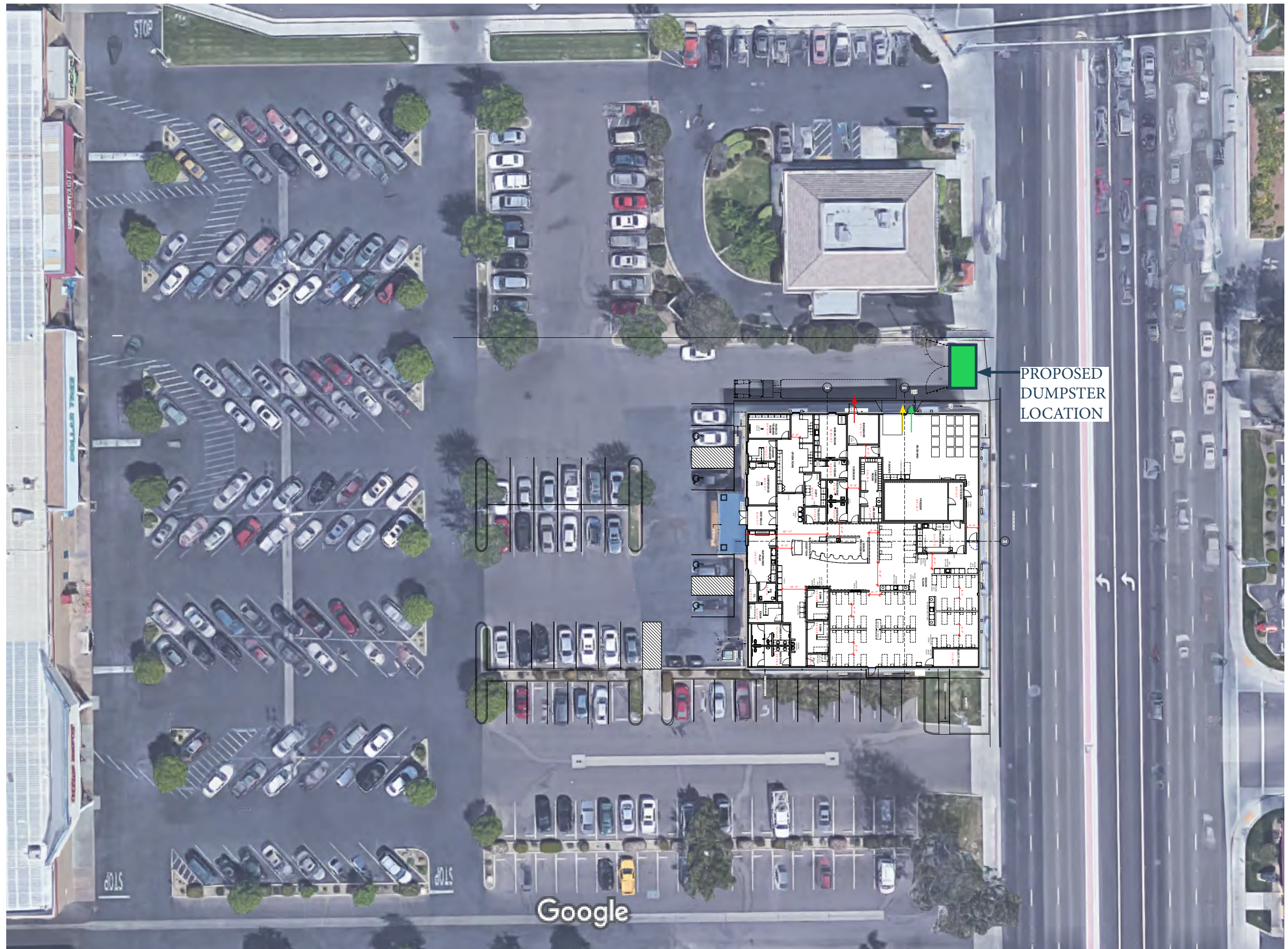




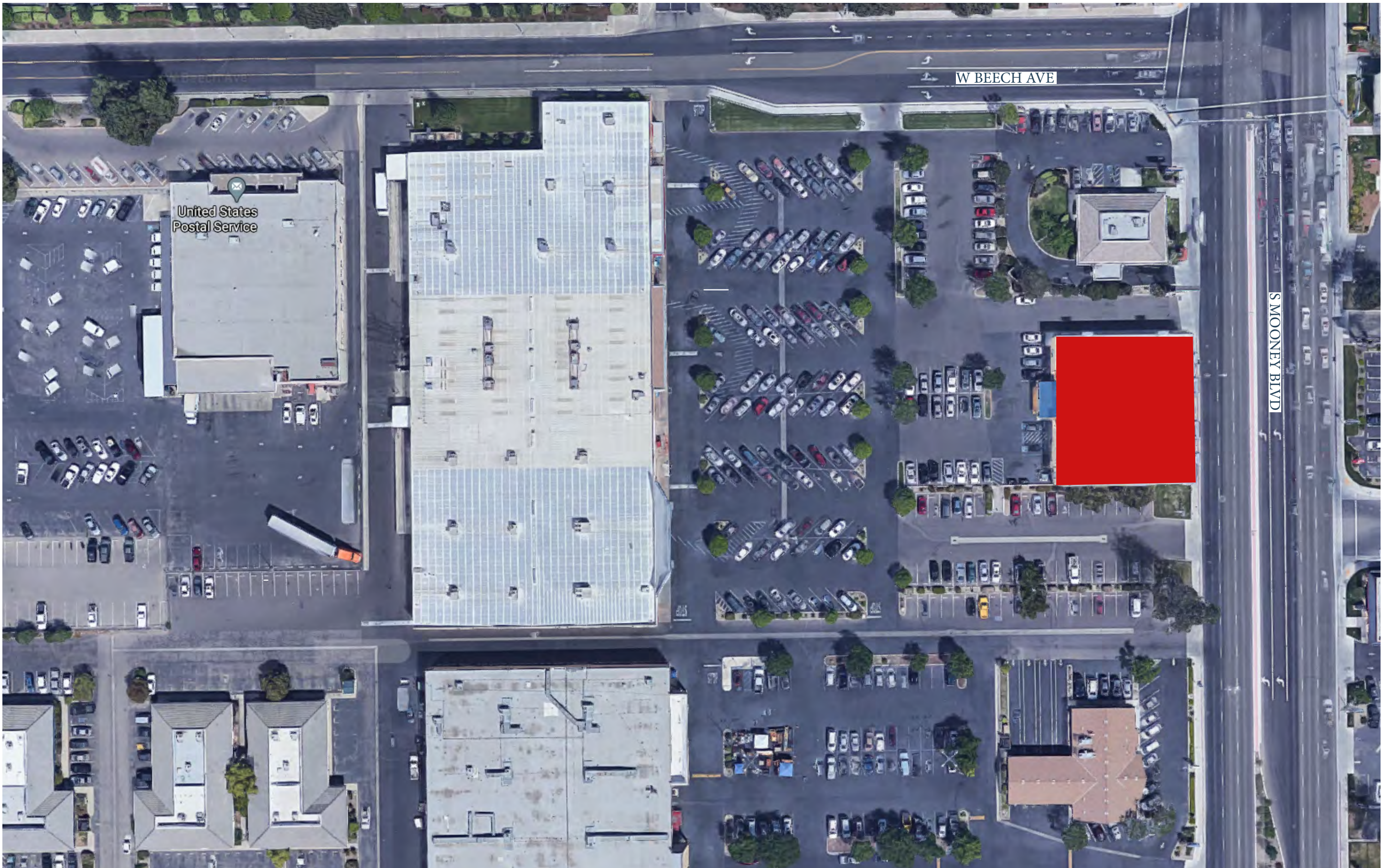


VISALIA, CA (1A)  
2335 S. MOONEY BLVD  
VISALIA, CA 93277  
42 BEDS  
11,000 SF











# CITY OF VISALIA SITE PLAN REVIEW APPLICATION

- Additional information and assistance in filling out this application can be found at the City of Visalia website ([www.visalia.city](http://www.visalia.city)) or by calling (559) 713-4440-



This application MUST be filled out in its entirety and submitted with an acceptable site plan (see site plan minimum requirements & submittal details on Page 2). Failure to provide all requested information may result in rejection of your application and exclusion from the Site Plan Review agenda.

- Site Plan Review meetings are held on Wednesdays at 9am at City Hall East - 315 E Acequia Ave - Applicant(s) or Representative(s) must be present -

- Application submittal deadline is 4pm on Thursdays to be scheduled for the next available meeting -

GENERAL PROJECT INFORMATION

Project/Business Name: Marcin Place TSM Date: 4/13/21

Project Description: Proposed 46 lot tentative subdivision map

Site Plan Review Resubmittal: Yes ☐ No ☒ If Resubmittal, Previous Site Plan Review Number: \_\_\_\_\_

Property Owner: VUSD

Applicant(s) Name: 4Creeks, Inc.

Project Address/Location: Marcin Court, NE corner of Marcin and Hurley

Assessor Parcel Number: 085-540-019 & 085-570-008

Parcel Size (Acreage or Square Feet): 8.73+/- acres Building or Suite Square Footage: \_\_\_\_\_

Are There Any Proposed Building Modifications: Yes ☐ No ☒

Estimated Cost of Modifications to Building: \$ N/A

Describe All Proposed Building Modifications: \_\_\_\_\_

--- THIS AREA FOR CITY STAFF USE ONLY ---

Date Received: \_\_\_\_\_

SPR Agenda: \_\_\_\_\_ Item No. \_\_\_\_\_

Zone: \_\_\_\_\_ SPR No. \_\_\_\_\_

Historic District: Yes ☐ No ☐

Flood Zone: X ☐ AE ☐ X/AE ☐

OPERATIONS & TRAFFIC INFORMATION

-- A SEPARATE, DETAILED OPERATIONAL STATEMENT IS HIGHLY RECOMMENDED FOR ALL SUBMITTALS --

Existing/Prior Building Use: N/A

Proposed Building Use: \_\_\_\_\_

Proposed Hours of Operation: \_\_\_\_\_

Days of Week In Operation (Circle): Su M T W Th F Sa

Number of Employees Per Day: Existing \_\_\_\_\_ Proposed \_\_\_\_\_

Number of Customers Per Day (Estimated): Existing \_\_\_\_\_ Proposed \_\_\_\_\_

Predicted Peak Operating Hour: \_\_\_\_\_

Describe Any Truck Delivery Schedule & Operations: \_\_\_\_\_

Please Identify Any Unique or Specific Traffic Patterns That Will Require Accommodations For Operations, Customers, or Employees

(Provide Separate Attachment if Necessary): \_\_\_\_\_

Describe Any Special Events Planned for the Facility: \_\_\_\_\_


### SITE PLAN MINIMUM REQUIREMENTS

SITE PLAN REQUIREMENTS

- ⇒ Submit a digital copy of the site plan(s) and completed application on a flash drive or equivalent (PDF format preferred, hard paper copies not accepted).
- ⇒ Digital copies must be clear, legible, and on a layout sized appropriately to convey all necessary project information.
- ⇒ Site plan shall provide for and indicate all of the following:
- |  |                                     |  |
|--|-------------------------------------|--|
| - North arrow  | - Existing & proposed structures    | - Loading/unloading areas  |
| - All existing & proposed site features  | - Adjacent street names             | - Accessible path of travel from right of way                                      |
| - Site dimensions, including building  | - Refuse enclosures & containers    | - Accessible path of travel from ADA stall   |
| - Existing and proposed fencing at site  | - Valley oak trees (show drip line) | - Location and width of drive approaches to site                                   |
| - Public improvements (curbs, sidewalks, utility poles, hydrants, street lights, etc.) | - Existing & proposed landscaping   | - Tentative maps shall adhere to requirements of Visalia Municipal Code Section 16 |
|  | - Parking stalls (include ADA)      |  |

REQUIRED SIGNATURE

Applicant Information (Final comments will be mailed to the name and address provided below)

Name: <u>Matt Ainley</u>	Signature of Owner or Authorized Agent*	
Address: <u>324 S. Santa Fe St.</u>	Owner	Date
City, State, Zip <u>Visalia, CA 93292</u>		<u>4/13/21</u>
Phone: <u>559-802-3052</u>	Authorized Agent*	Date
Email: <u>matta@4-creeks.com</u>		

\* If signed by an authorized agent, the "Agency Authorization" information below must be completed for this application to be considered acceptable.

### AGENCY AUTHORIZATION

AGENCY AUTHORIZATION FORM

OWNER:

I, \_\_\_\_\_, declare as follows; I am the owner of certain real property bearing assessor's parcel number (APN):

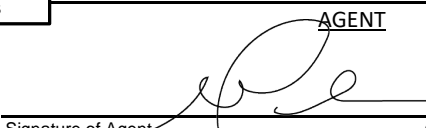
085-540-019 & 085-570-008

AGENT:

I designate 4Creeks, Inc (Matt Ainley), to act as my duly authorized agent for all purposes necessary to file an application for, and obtain a permit to subdivide property relative to the property mentioned herein.

I declare under penalty of perjury the foregoing is true and correct.

Executed this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_.

OWNER	Signatures	AGENT
Signature of Owner		
Owner Mailing Address		<u>324 S. Santa Fe St., Visalia, CA 93292</u>
		Agent Mailing Address
Owner Phone Number		<u>559-802-3052</u>
		Agent Phone Number

MARCH 2021



## MARCIN PLACE TENTATIVE SUBDIVISION MAP

BEING A PORTION OF THE NORTHWEST QUARTER OF SECTION 3, TOWNSHIP 19  
SOUTH, RANGE 24 EAST, MOUNT DIABLO BASE AND MERIDIAN, IN THE CITY OF  
VISALIA, COUNTY OF TULARE, STATE OF CALIFORNIA

ENGINEER/PLANNER: 4-CREEKS INC.  
APN: 085-540-019 & 085-570-008  
ACREAGE: 8.73 ±  
PROPOSED LOTS: 46  
FLOOD ZONE: AE & X  
EXISTING ZONING: R-1-5  
EXISTING GENERAL PLAN: LOW DENSITY RESIDENTIAL  
ELECTRICITY: SOUTHERN CALIFORNIA EDISON  
WATER: CAL WATER  
TELEPHONE: AT&T  
REFUSE DISPOSAL: CITY OF VISALIA  
NATURAL GAS: SOUTHERN CALIFORNIA GAS  
EXISTING USE: VACANT  
PROPOSED USE: LOW DENSITY RESIDENTIAL

### DENSITY:

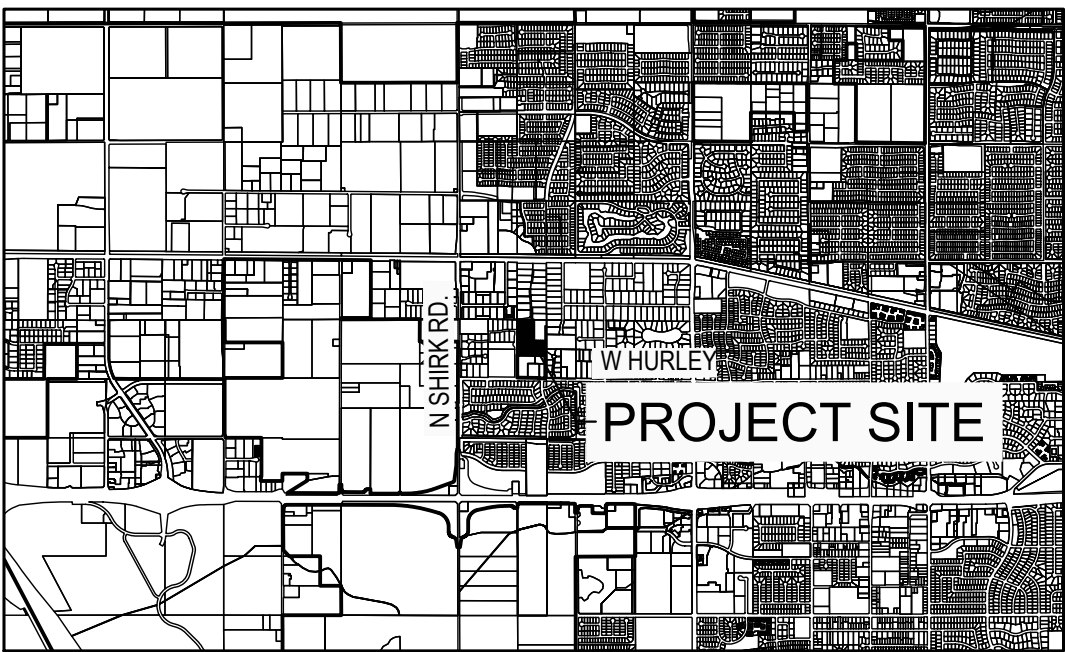
LOTS: 46

GROSS ACREAGE: 8.73  
GROSS DENSITY: 5.27 DU/AC

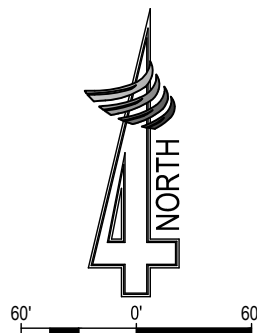
NET ACREAGE: XX  
NET DENSITY: XX DU/AC

### SETBACKS (MINIMUM):

FRONT YARD: 25'  
SIDE YARD: 5'  
CORNER LOTS: 10' (22' GARAGE STREET SIDE)  
REAR YARD: 25'



VICINITY MAP

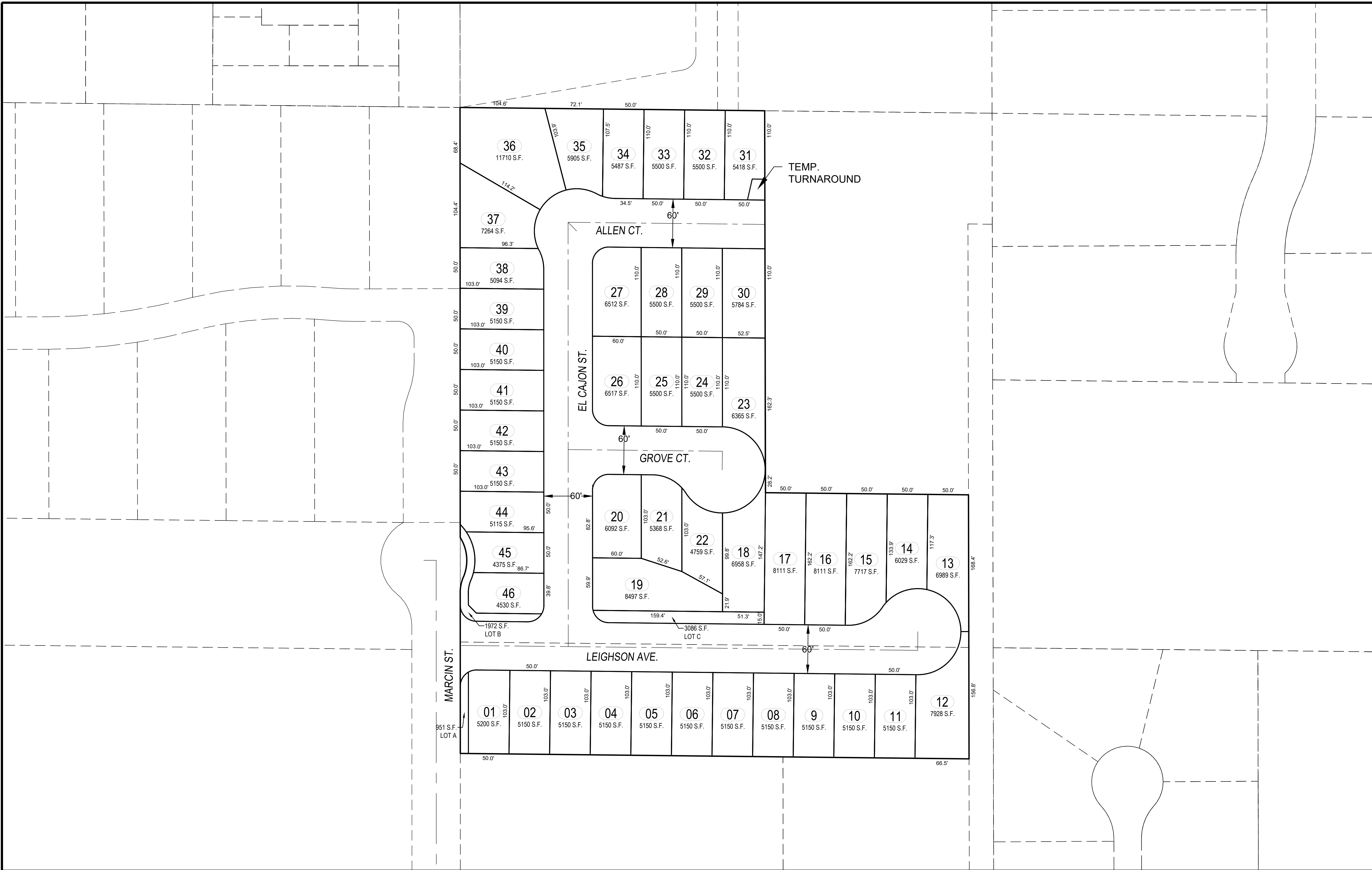


PREPARED BY:



4CREEKS

324 S. SANTA FE, STE. A  
P.O. BOX 7593  
VISALIA, CA 93292  
TEL: 559.802.3052  
FAX: 559.802.3215





# CITY OF VISALIA SITE PLAN REVIEW APPLICATION

- Additional information and assistance in filling out this application can be found at the City of Visalia website ([www.visalia.city](http://www.visalia.city)) or by calling (559) 713-4440-



This application MUST be filled out in its entirety and submitted with an acceptable site plan (see site plan minimum requirement details below). Failure to provide all requested information may result in rejection of your application and exclusion from the Site Plan Review agenda.

- Site Plan Review meetings are held on Wednesdays at 9am at City Hall East - 315 E Acequia Ave - Applicant(s) or Representative(s) must be present -

- Application submittal deadline is 4pm on Thursdays to be scheduled for the next available meeting -

GENERAL PROJECT INFORMATION

Project/Business Name: ADVANCE EQUIPMENT Date: 4-12-2021

Project Description: A NEW FACILITY FOR ADVANCE EQUIPMENT

Site Plan Review Resubmittal: Yes ☒ No ☐ If Resubmittal, Previous Site Plan Review Number: \_\_\_\_\_

Property Owner: GARRETT + KATHY CASEY

Applicant(s) Name: DAVID WARREN

Project Address/Location: 10725 W GOSHEN AVE.

Assessor Parcel Number: 073-160-011

Parcel Size (Acreage or Square Feet): 6,100 SQ FT Building or Suite Square Footage: 12,000 SQ FT

Are There Any Proposed Building Modifications: Yes ☐ No ☒

Estimated Cost of Modifications to Building: \$ \_\_\_\_\_

Describe All Proposed Building Modifications: \_\_\_\_\_

--- THIS AREA FOR CITY STAFF USE ONLY ---

Date Received: 04/15/2021

SPR Agenda: 04/15/2021 Item No. \_\_\_\_\_

Zone: I SPR No. \_\_\_\_\_

Historic District: Yes ☐ No ☒

Flood Zone: X ☐ AE ☒ X/AE ☐

-- A SEPARATE, DETAILED OPERATIONAL STATEMENT IS HIGHLY RECOMMENDED FOR ALL SUBMITTALS --

OPERATIONS & TRAFFIC INFORMATION

Existing/Prior Building Use: USED FOR FORK LIFT MAINTANCE

Proposed Building Use: EQUIPMENT SHOW ROOM, PARTS ROOM & MAINTANCE

Proposed Hours of Operation: 8am to 5pm

Days of Week In Operation (Circle): Su ☐ M ☒ T ☒ W ☒ Th ☒ F ☐ Sa ☐

Number of Employees Per Day: Existing 20 Proposed \_\_\_\_\_

Number of Customers Per Day (Estimated): Existing 10 Proposed \_\_\_\_\_

Predicted Peak Operating Hour: 10am to 2pm

Describe Any Truck Delivery Schedule & Operations: TRASH TRUCK (city),

DELIVERY TRUCKS FOR EQUIPMENT.

Please Identify Any Unique or Specific Traffic Patterns That Will Require Accommodations For Operations, Customers, or Employees

(Provide Separate Attachment if Necessary): \_\_\_\_\_

Describe Any Special Events Planned for the Facility: NONE



### SITE PLAN MINIMUM REQUIREMENTS

- ⇒ Plan(s) must be clear, legible, and on a sheet size appropriate to easily convey all necessary project information. Suggested minimum sheet size for site plans is 11"x17" (Excludes tentative parcel and final maps)
- ⇒ Site plan shall provide for and indicate all of the following:
- |  |                                     |  |
|--|-------------------------------------|--|
| - North arrow  | - Existing & proposed structures    | - Loading/unloading areas  |
| - All existing & proposed site features  | - Adjacent street names             | - Accessible path of travel from right of way                                      |
| - Site dimensions, including building  | - Refuse enclosures & containers    | - Accessible path of travel from ADA stall   |
| - Existing and proposed fencing at site  | - Valley oak trees (show drip line) | - Location and width of drive approaches to site                                   |
| - Public improvements (curbs, sidewalks, utility poles, hydrants, street lights, etc.) | - Existing & proposed landscaping   | - Tentative maps shall adhere to requirements of Visalia Municipal Code Section 16 |
| - Parking stalls (include ADA)   |                                     |  |
- ⇒ Submit 20 copies of the site plan with this application, folded to a legal size of 9" x 12" with the print on the outside (no rolled plans)

Applicant Information (Final comments will be mailed to the name and address provided below)

Name: Garrett Casey Signature of Owner or Authorized Agent\*  
Address: 10725 W. Goshen Ave Owner  
City, State, Zip: Visalia, CA 93291 Date: 4-12-21  
Phone: 559-733-2882  
Email: Garrett@KawachEquipment.com Authorized Agent\* Date:

\* If signed by an authorized agent, the "Agency Authorization" information below must be completed for this application to be considered acceptable.

### AGENCY AUTHORIZATION

OWNER:

I, \_\_\_\_\_, declare as follows; I am the owner of certain real property bearing assessor's parcel number (APN): \_\_\_\_\_

AGENT:

I designate \_\_\_\_\_, to act as my duly authorized agent for all purposes necessary to file an application for, and obtain a permit to \_\_\_\_\_ relative to the property mentioned herein.

I declare under penalty of perjury the foregoing is true and correct.

Executed this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_.

OWNER	Signatures	AGENT
Signature of Owner		Signature of Agent
Owner Mailing Address		Agent Mailing Address
Owner Phone Number		Agent Phone Number



[illegible]

SCALE: 1" = 2000'

SITE ADDRESS: 12725 W GOSHEN AVE.  
 VILASIA, CA 93274  
 APN: 073-166-0211  
 PARCEL SIZE: 1179 ACRES (117.92 SF.)  
 ZONING: I (INDUSTRIAL)  
 SETBACKS:  
 FRONT: 25'  
 REAR: 0'  
 SIDE (INTERIOR): 0'  
 SIDE (STREET): 15'  
 USE: COMMERCIAL SERVICE  
 PARKING REQ'D: 1 SPACE PER 500 SF.  
 EXISTING STRUCTURE: 11,100 SF.  
 PROPOSED STRUCTURE: 12,000 SF.  
 TOTAL: 23,100 SF.  
 PARKING REQUIRED:  $23,100 / 500 = 46.2$  OR 46 SPACES REQ'D.  
 PARKING PROVIDED: 49 SPACES  
 ACCESSIBLE: 2 TOTAL, 1 VAN + 1 AUTO  
 41

120 N. "L" STREET  
TULARE, CALIFORNIA 93274  
PH: (559) 688-2071  
FAX: (559) 688-2073  
INFO@TAGINC.COM  
WWW.TAGINC.COM

**AFFILIATIONS:**

- INTERNATIONAL CODE COUNCIL
- LEADERSHIP IN ENERGY AND ENVIRONMENTAL DESIGN

ARCHITECT:

KEITH H. REYNOLDS  
STATE OF CALIFORNIA LIC. NUM. - C-24255

RICHARD ROBERTS  
1950 20  
STATE OF CALIFORNIA LK. NUM. - C-28927

**CONSULTANT:**

## PROJECT

A NEW FACILITY FOR:  
**ADVANCE  
EQUIPMENT**  
VISALIA, CALIFORNIA

△	DATE	REVISION
△		
△		
△		
△		
△		

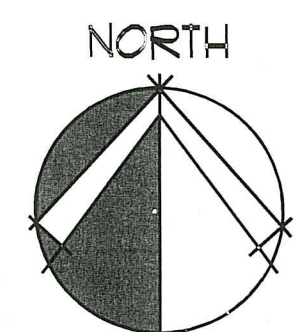
THIS IS AN ORIGINAL UNPUBLISHED WORK AND MAY NOT  
BE REPRODUCED, DUPLICATED, PUBLISHED OR OTHERWISE  
USED IN PART OR WHOLE WITHOUT WRITTEN CONSENT  
OF KEITH H. REYNOLDS, ARCHITECT, TAE INC. ©

# SHEET DEACTIVATION SITE PLAN

# THE ARMY

DRAWN: MIKE PORTER CHECKED:	SHEET NUMBER:  A1
SCALE: 1" = 20.00'	
DATE: 03/11/2021	OF SHEETS

PROJECT NUMBER: A.120.20

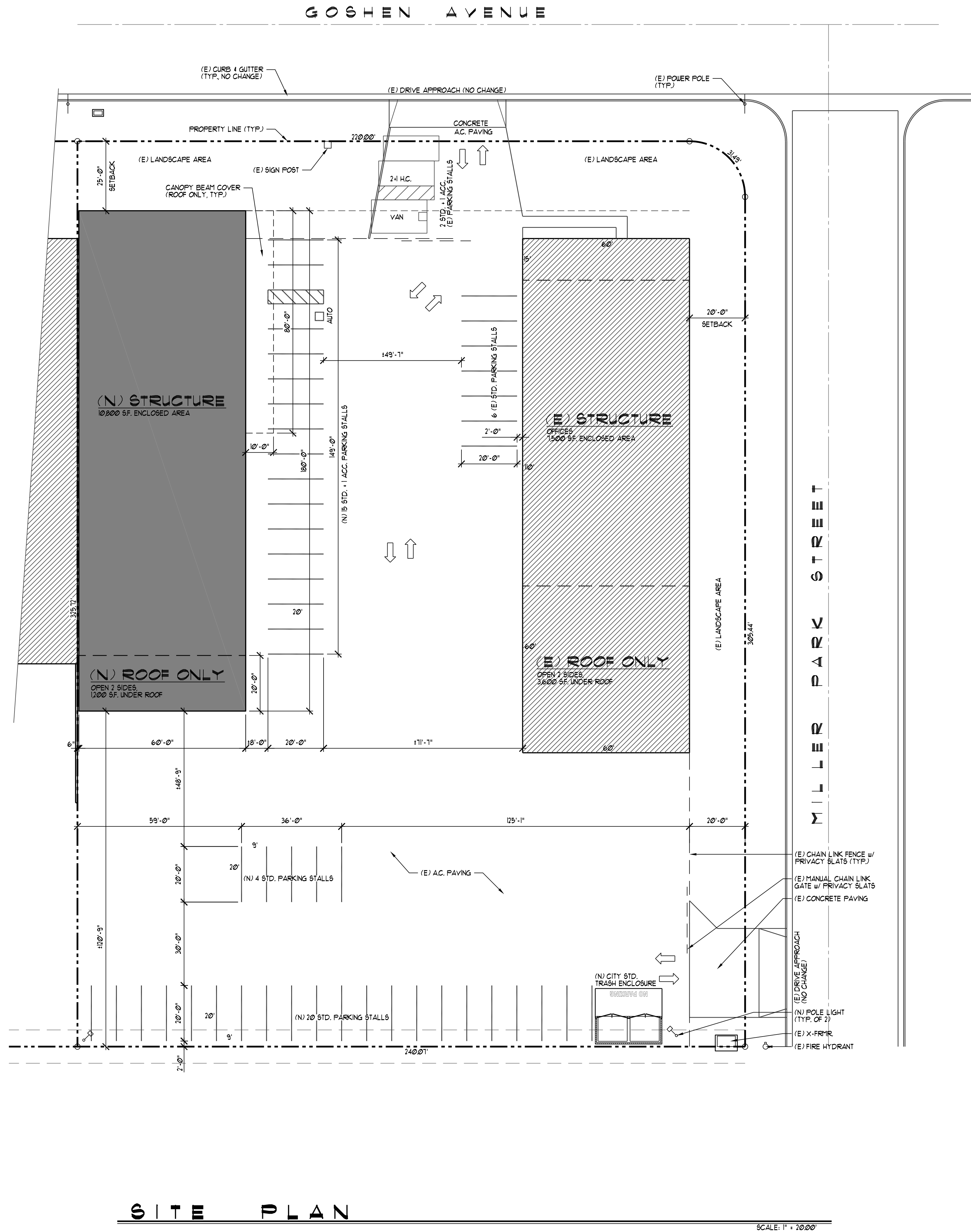


LAYOUT OF PROPERTY SHOWN IS BASED ON RECORD DATA AND NOT THE RESULT OF A PROPERTY SURVEY. PRIOR TO CONSTRUCTION OF THE FOUNDATION THE CONTRACTOR SHALL LOCATE ALL PROPERTY CORNERS AND REPORT ANY VARIATIONS FROM PLANS.

INFORMATION  
ONLY

MAR 11 2021





**PROJECT DATA**

SITE ADDRESS: 10125 W. GOSHEN AVE.  
VISALIA, CA 93214

APN: 013-160-001

PARCEL SIZE: 1.19 ACRES (111,912 SF.)

ZONING: I (INDUSTRIAL)

SETBACKS:

FRONT:	25'
REAR:	0'
SIDE (INTERIOR):	0'
SIDE (STREET):	15'

USE: COMMERCIAL SERVICE

PARKING REQ'D: 1 SPACE PER 500 SF.

EXISTING STRUCTURE: 11,000 SF.

PROPOSED STRUCTURE: 12,000 SF.

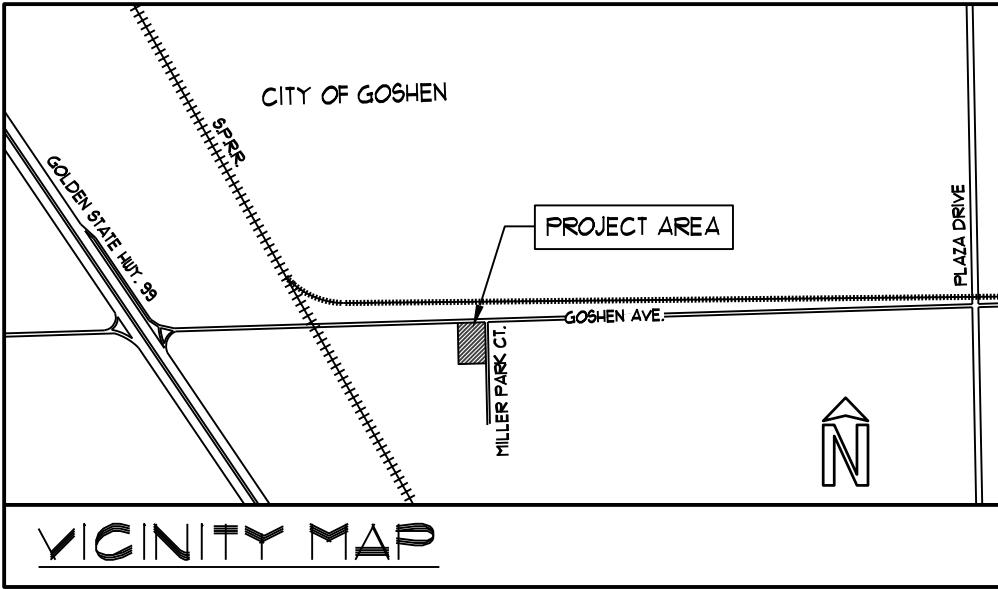
TOTAL: 23,000 SF.

PARKING REQUIRED: 23,000 / 500 = 46.2 OR 46 SPACES REQ'D.

PARKING PROVIDED: 49 SPACES

ACCESSIBLE: 2 TOTAL, 1 VAN + 1 AUTO

STANDARD: 41



**TAE**  
INCORPORATED

**ARCHITECTURE  
AND PLANNING**

120 N. "I" STREET  
TULARE, CALIFORNIA 93274  
PH: (559) 688-2071  
FAX: (559) 688-2073  
INFO@TAEINC.COM  
WWW.TAEINC.COM

**AFFILIATIONS:**

- INTERNATIONAL CODE COUNCIL
- LEADERSHIP IN ENERGY AND ENVIRONMENTAL DESIGN

**ARCHITECT:**

**KEITH H. REYNOLDS**  
STATE OF CALIFORNIA U.C. NUM. - C-24255

**MICHAEL PORTER**  
LEEDS AP  
STATE OF CALIFORNIA U.C. NUM. - C-28921

**CONSULTANT:**

**PROJECT:**

**A NEW FACILITY FOR:  
ADVANCE  
EQUIPMENT**

**VISALIA, CALIFORNIA**

DATE	REVISION

THIS IS AN ORIGINAL UNPUBLISHED WORK AND MAY NOT BE REPRODUCED, COPIED, PUBLISHED OR OTHERWISE USED IN PART OR WHOLE WITHOUT WRITTEN CONSENT OF KEITH H. REYNOLDS, ARCHITECT, TAE INC. ©

**SHEET DESCRIPTION:**  
**SITE PLAN**

DRAWN: MIKE PORTER  
CHECKED:  

SCALE: 1" = 20.00'

DATE: 04/14/2021

SHEET NUMBER: **A1**

PROJECT NUMBER: **A.120.20**

NORTH

LAYOUT OF PROPERTY SHOWN IS BASED ON RECORD DATA AND NOT THE RESULT OF A PROPERTY SURVEY. PRIOR TO CONSTRUCTION OF THE FOUNDATION THE CONTRACTOR SHALL LOCATE ALL PROPERTY CORNERS AND REPORT ANY VARIATIONS FROM PLANS.